

Relevant Extracts from the Woollahra DCP 2015

To accompany Woollahra Draft DCP
Amendment No.19 (Chapter A3
Definitions and Chapter B2
Neighbourhood Heritage Conservation
Areas)

June 2021

Annotations:

Insertions - identified in blue and underline

~~Deletions - identified in red and scored through~~

Notes in the right hand margin of each section identify the source of the proposed amendments.

Chapter A3

Definitions

Part A ► Introduction and Administration

CHAPTER A3 APPROVED ON 27 APRIL 2015

AND COMMENCED ON 23 MAY 2015

Last amended on 7 December 2020

Chapter A3 Definitions

Part A ► Introduction and Administration

CHAPTER A3 APPROVED ON 27 APRIL 2015

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| | |
|------------------------------------|---|
| building height | as defined in Woollahra LEP 2014. |
| building line | as defined in Woollahra LEP 2014. |
| Burra Charter (and its guidelines) | the charter adopted by Australia International Council on Monuments and Sites (ICOMOS), which establishes the nationally accepted principles for the conservation of places of cultural significance. |
| character | the combination of features and qualities of a place. |
| coastal inundation | the storm-related flooding of coastal lands by ocean waters due to elevated still water levels (storm surge) and wave run-up. |
| compatible use | as defined in Heritage Terms and Abbreviations (NSW Heritage Manual). Note: A use for a heritage item which involves no change to its culturally significant fabric, changes which are substantially reversible or changes which make a minimal impact. |
| conservation | as defined in Heritage Terms and Abbreviations (NSW Heritage Manual). Note: All the processes of looking after an item so as to retain its cultural significance. It includes maintenance and may, according to circumstances, include preservation, restoration, reconstruction and adaptation and will be commonly a combination of more than one of these. |
| conservation policy | as defined in Heritage Terms and Abbreviations (NSW Heritage Manual). Note: A proposal to conserve a heritage item arising out of the opportunities and constraints presented by the statement of heritage significance and other considerations. |
| context | the particular built, natural, historical and/or social characteristics of a building or place's setting. |
| contributory building | <p>a building that makes an important and significant contribution to the character and significance of the heritage conservation area. It has a reasonable to high degree of integrity and dates from a key development period of significance of a heritage conservation area.</p> <p>A building which:</p> <ul style="list-style-type: none"> ▶ due to its materials, detailing, finishes, scale, form, siting and landscaping makes a positive impact and contribution to the streetscape character and to the cultural significance of the heritage conservation area; and ▶ due to its materials, detailing, finishes, scale, form, siting and landscaping makes a positive impact and contribution to the streetscape character and to the cultural significance of the heritage conservation area; and |

Commented [DCP1]: Delete repetition.

| | |
|----------------------------------|---|
| | <ul style="list-style-type: none"> ► is from a significant historical period and is highly or substantially intact; or ► is from a significant historical period and is altered yet recognisable and reversible. |
| contributory item | a building, work, archaeological site, tree or place and its setting, which contributes to the heritage significance of a conservation area. |
| courtyard | an area that is open to the sky and of sufficient size to be used as private open space. A courtyard does not include a lightwell or a breezeway. |
| courtyard housing | <p>a structure which:</p> <ul style="list-style-type: none"> ► must be wholly located at the rear of the existing principal building, ► must be separated from the principal building by a courtyard ► must be separated by a narrow, non-habitable lightweight linking structure, and ► must be subsidiary in form and scale to the principal building. <p>Courtyard housing is not infill development, or a garage, or a loft over a garage, or studio.</p> |
| cultural landscape | <p>as defined in Heritage Terms and Abbreviations (NSW Heritage Manual).</p> <p>Note: Those areas of the landscape which have been significantly modified by human activity. They include rural lands such as farms, villages and mining sites, as well as country towns.</p> |
| cultural plantings | plants including native plants that were planted for a deliberate purpose (see also 'significant cultural plantings'). |
| curtilage | as defined in Woollahra LEP 2014. |
| deep soil landscaped area | <p>the area of the site that contains landscaped area which has no above ground, ground level or subterranean development.</p> <p>Note: 'landscaped area' is defined in Woollahra LEP 2014.</p> |
| demolish | as defined in Woollahra LEP 2014. |
| dormer | a structure comprising a window, roof and side walls projecting from a sloping roof. |
| dual occupancy | as defined in Woollahra LEP 2014. |
| dwelling | as defined in Woollahra LEP 2014. |
| dwelling house | as defined in Woollahra LEP 2014. |

| | |
|-----------------------------------|---|
| loggia | an open sided, roofed space attached to the side of a building. |
| maintenance | as defined in Woollahra LEP 2014. |
| manor house | as defined in <i>State Environmental Planning Policy (Exempt and Complying Development Codes) 2008</i> . |
| mixed use development | as defined in Woollahra LEP 2014. |
| movable heritage | as defined in Heritage Terms and Abbreviations (NSW Heritage Manual). Note: Heritage items not fixed to a site or place (for example, furniture, locomotives and archives). |
| multi dwelling housing | as defined in Woollahra LEP 2014. |
| multi dwelling housing (terraces) | as defined in Woollahra LEP 2014. |
| native vegetation | has the same meaning as in the <i>Native Vegetation Act 2003</i> . |
| natural ventilation | ventilation by natural airflow, unassisted by mechanical means, through doors, operable windows and louvres. |
| neutral buildings | <p>a buildings that does not contribute or does not detract from the significant character of the heritage conservation area.</p> <p>Neutral buildings are:</p> <ul style="list-style-type: none"> ► from a significant historical period, but altered in form, unlikely to be reversed; or ► sympathetic contemporary infill or ► from a non-significant historical period but do that does not detract from the character of the heritage conservation area. |
| non-habitable room | <p>refer 'habitable room' in the Building Code of Australia (BCA).</p> <p>Note: A non-habitable room is a bathroom, laundry, water closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes-drying room, and other spaces of a specialised nature occupied neither frequently nor for extended periods.</p> |
| north facing | the orientation range within 20° west and 30° east of true solar north. |
| NSW Heritage Manual | a document prepared by the NSW Heritage Office which comprises a series of publications explaining the three steps of the NSW Heritage Management System and how they can be applied. |

Commented [DCP2]: Amend to clarify the definition of a neutral building.

Chapter B2 Neighbourhood HCAs

Part B ► General Residential

CHAPTER B2 APPROVED ON 27 APRIL 2015
AND COMMENCED ON 23 MAY 2015

Chapter B2 ► Neighbourhood HCAs

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B2.1 Introduction

This is Chapter B2 of the Woollahra Development Control Plan 2015 (DCP), Part B General Residential.

This chapter contains controls for 11 heritage conservation areas (HCAs), referred to as “neighbourhood HCAs” to distinguish these areas from the larger HCAs of Paddington, Woollahra and Watsons Bay.

These neighbourhood HCAs are identified in Schedule 5 of Woollahra Local Environmental Plan 2014 (Woollahra LEP 2014). ~~These groups of buildings are recognised as having a particular cultural heritage significance based on their aesthetic, historic, scientific and/or social values and they make a significant contribution to Woollahra’s rich heritage. Some of the individual buildings and sites within these HCAs are also heritage items, however, all other buildings (except for intrusive buildings) are contributory items as they make a positive contribution to the character of the area.~~

Commented [DCP1]: Enhance introduction to clearly identify their heritage significance and remove reference to contributory buildings.

These are areas in which the cultural significance and relationships between the various characteristics creates a sense of place that is worth conserving. The cultural significance is embodied in the subdivision pattern, building materials, styles, forms, details and arrangements of the heritage items, buildings and streetscape elements of the HCAs. Together these elements create a shared history, historic character, sense of place, and shared aesthetic or visual presence that has been identified as of particular value to the community.

These HCAs have been identified following studies and assessments by Council, including documentary investigation and fieldwork surveys. Specific elements of significance are identified in each HCA conservation area. The periods and styles of the buildings within the neighbourhood HCAs include Late Victorian cottages, Federation Arts and Crafts dwellings, Federation Queen Anne dwellings, Federation Bungalows, Inter-War dwellings and Inter-War flat buildings in the Art Deco, Spanish Mission, Georgian Revival and Functionalist styles.

Commented [DCP2]: Administrative amendment.

Commented [DCP3]: Include Inter-War dwellings to the typologies in the neighbourhood HCAs, to recognise their presence.

B2.1.1 Land where this chapter applies

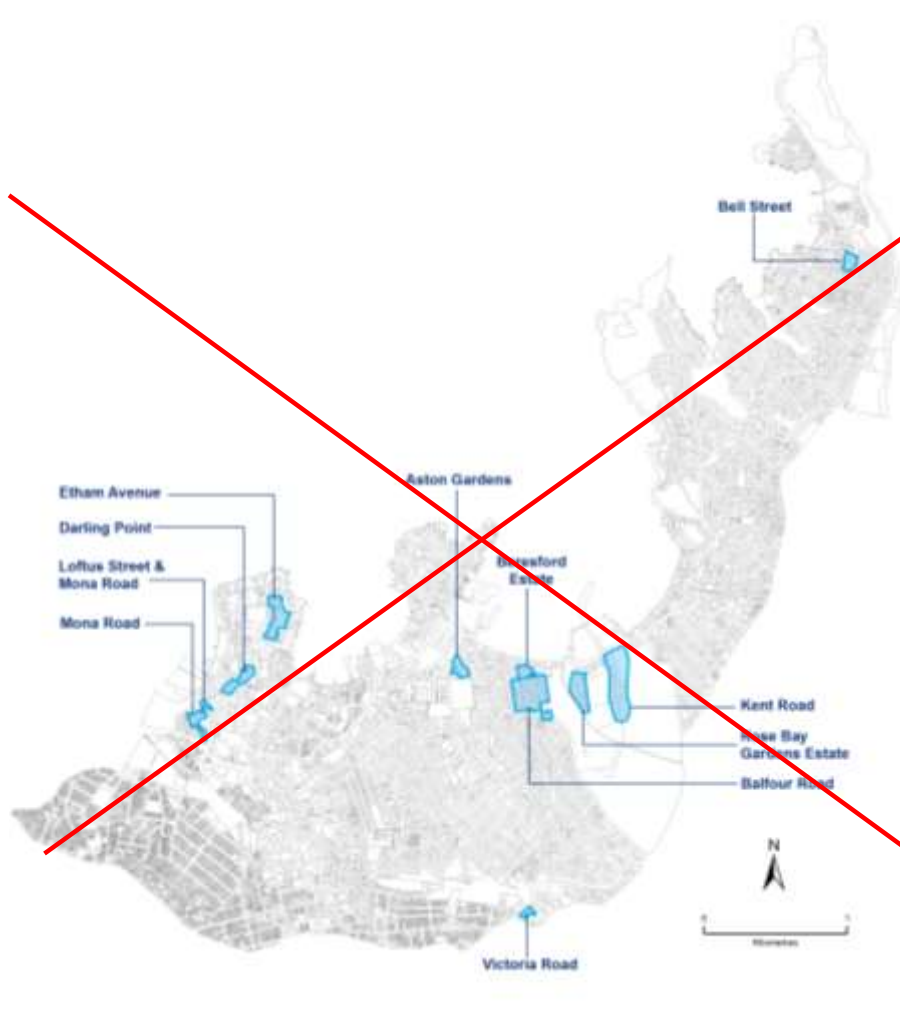
This chapter applies to the following neighbourhood HCAs:

- Etham Avenue, Darling Point
- Darling Point Road, Darling Point
- Mona Road, Darling Point
- Loftus Road and Mona Road, Darling Point
- Aston Gardens, Bellevue Hill
- Victoria Road, Bellevue Hill
- Balfour Road, Rose Bay
- Beresford Estate, Rose Bay
- Rose Bay Gardens Estate, Rose Bay
- Kent Road, Rose Bay

► Bell Street, Vaucluse

These neighbourhood HCAs are identified on [the](#) map below. A separate map of each HCA is also provided in the relevant sections of this chapter.

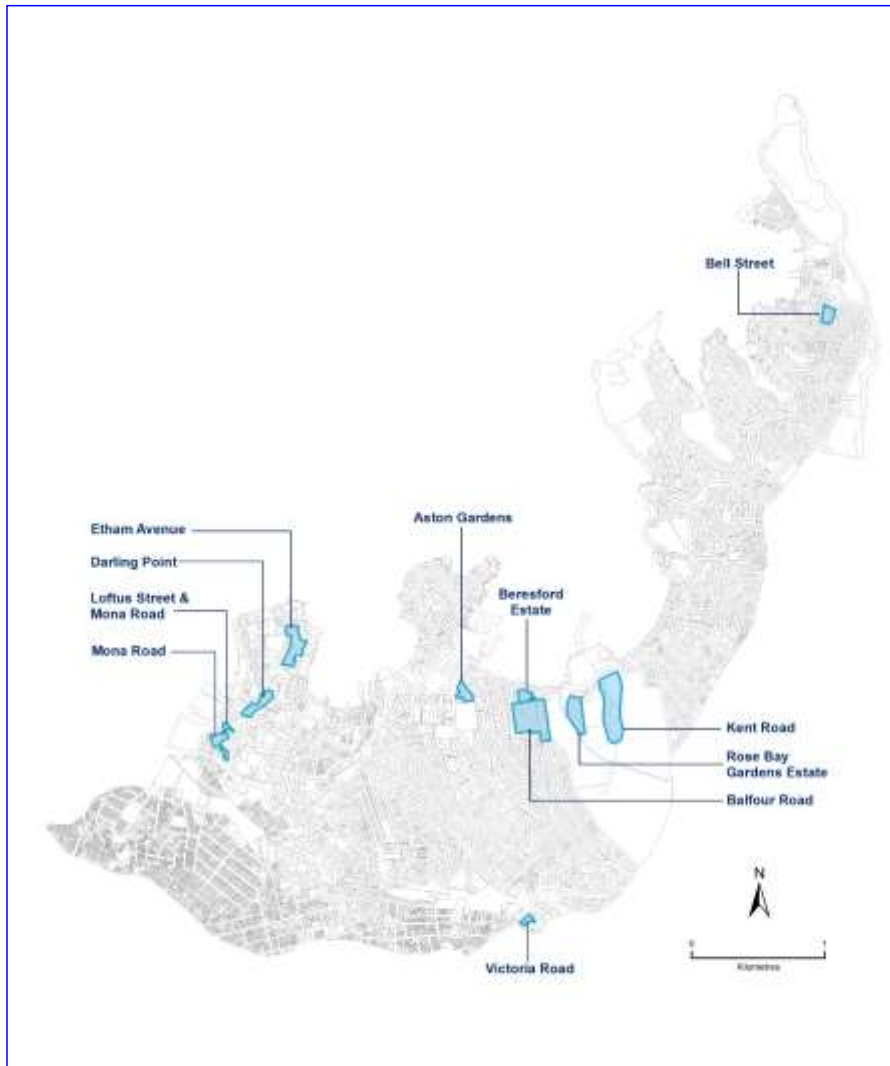
MAP 1 Map of the Neighbourhood HCAs in the Woollahra local government area



Commented [DCP4]: Administrative amendment.

Commented [DCP5]: Insert map title

Commented [DCP6]: Replace map because the boundary of Balfour Road HCA is inconsistent with the area identified in the Woollahra LEP 2014.



B2.1.2 Development to which this chapter applies

This chapter applies to development that requires development consent.

Generally this will be residential development, but may include other permitted uses such as child care centres, community facilities, educational establishments, neighbourhood shops and places of public worship, and other uses permitted in Woollahra LEP 2014.

B2.1.3 Objectives

The objectives of this chapter are:

- O1 To retain the cultural or heritage significance of the HCAs, including their cohesive character and distinctive historic features.
- O2 To retain and promote evidence of the historical development and cultural significance of the neighbourhood HCAs and enable the interpretation of that development.
- O3 To encourage the ongoing conservation of heritage items and the significant elements of contributory items.
- O4 To ensure that development is sympathetic to the heritage significance of buildings, their settings, the streetscape and the broader HCA.

O5 To ensure that development is compatible with the significant characteristics of the neighbourhood HCAs and respects the principles contained in the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter).

This chapter seeks to ensure that development has regard to the heritage significance of the area and is compatible with the desired future character for the neighbourhood HCA. The objectives in this chapter apply in addition to the objectives in Chapter B3 General Development Controls.

Note: The term 'original' as used throughout the DCP refers to any significant fabric. This may be from a range of historic periods.

Conservation philosophy

This chapter of the DCP adopts the conservation philosophy embodied in the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance (the Burra Charter).

The Burra Charter is widely accepted by Government Agencies and private industry as the standard philosophy for heritage conservation practice in Australia. The Charter sets down principles, processes and practices for the conservation of significant places.

Demolition of significant fabric within HCAs is contrary to the Woollahra LEP 2014, the Woollahra DCP 2015 and the Burra Charter. Conservation and restoration of significant fabric is a priority. Demolition should be a last resort where buildings cannot be reasonably retained and conserved, in accordance with the *Helou v Strathfield* planning principle.

Further information can be found in Council's DA Guide *Demolition report* when considering demolition within a HCA.

Commented [DCP7]: Insert new objective to make reference to the Australia ICOMOS Burra Charter, similar to the Paddington, Woollahra and Watsons Bay Chapters of the Woollahra DCP 2015.

Commented [DCP8]: Insert paragraph to clarify the conservation philosophy and use of the Australia ICOMOS Burra Charter, similar to existing provisions in the Paddington, Woollahra and Watsons Bay Chapters..

Commented [DCP9]: Insert reference to best planning practice by referring to the *Helou v Strathfield* planning principle.

B2.1.4 Relationship to other parts of the DCP

This chapter is to be read in conjunction with the other parts of the DCP that are relevant to the development proposal, including:

- Chapter B1 Residential precincts.
- Chapter B3 General Development Controls.
- Part E: General Controls for All Development - this part contains chapters on Parking and Access, Stormwater and Flood Risk Management, Tree Management, Contaminated Land, Waste Management, Sustainability, Signage and Adaptable Housing.
- Part F: Land Use Specific Controls - this part contains chapters on Child Care Centres, Educational Establishments, Licensed Premises and Telecommunications.

B2.1.5 How to use this chapter

The primary controls for the neighbourhood HCAs are set out in ~~two~~ **three** chapters:

- [Chapter B1 Residential Precincts](#);
- Chapter B2 Neighbourhood HCAs; and
- Chapter B3 General Development Controls.

[Chapter B1 Residential Precincts](#)

[Each neighbourhood HCA is part of a residential precinct with its own character and desired future character as detailed in Chapter B1.](#)

[Applicants need to demonstrate how their development fulfills the relevant objectives having particular regard to the provisions in B1.](#)

[The provisions in B1 supplement B2. Unless otherwise indicated, where there is an inconsistency between the objectives and controls in Chapters B1 and B2, the HCA specific objectives and controls in B2 take precedence over the general controls.](#)

Chapter B2 Neighbourhood HCAs

Each section in this chapter represents an HCA. Applicants only need to refer to the particular area that is relevant to their site.

The **controls** for each HCA comprise the following elements:

- map showing the extent of the HCA;
- statement of significance [identifying significant characteristics](#) ~~providing a brief description of the heritage significance~~ and architectural character of the HCA; ~~and~~
- desired future character [for each HCA](#) ~~, including a table of objectives and controls. The desired future character describes the outcomes that are required to be achieved through development within the precinct.~~—Applicants need to demonstrate how their development

Commented [DCP10]: Include reference to Chapter B1 Residential Precincts for completeness.

Commented [DCP11]: Include reference to Chapter B1 Residential Precincts for completeness.

Commented [DCP12]: Highlight the relevant sections of each neighbourhood HCA, including the proposed list of contributory items.

fulfills the relevant objectives having particular regard to the objectives and controls [at B2.1.3 and B2.1.7; and](#)

- ▶ [List of contributory items for each HCA.](#)

Note: refer also to clause 5.10 of the Woollahra LEP 2014 when assessing impacts to heritage items and heritage conservation areas.

Commented [DCP13]: Insert a list of contributory items for each neighbourhood HCA.

Commented [DCP14]: Insert a note to refer to Clause 5.10 of the Woollahra LEP 2014 which is a statutory instrument.

Chapter B3 General Development Controls

The general controls in Chapter B3 apply to all land where Chapter B2 applies.

Development is required to fulfil the relevant requirements of all the general controls. Unless otherwise indicated, where there is a disparity between the objectives and controls in Chapters B2 and B3, the HCA specific objectives and controls in this chapter take precedence over the general controls.

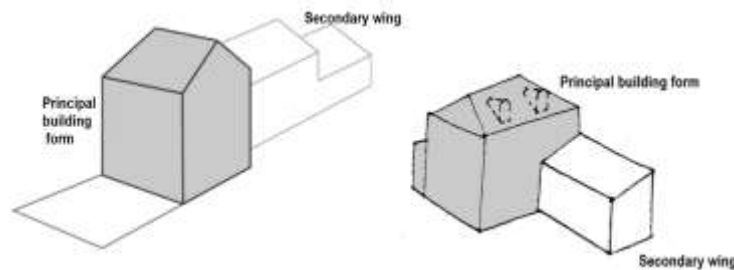
B2.1.6 Definitions

The definitions below define words and expressions for the purpose of this chapter.

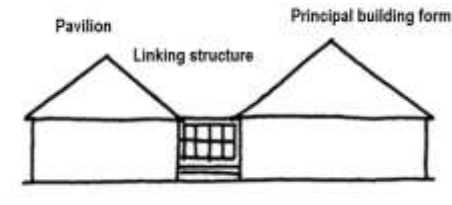
These definitions apply in addition to the definitions in Part A Chapter A3 of the Woollahra DCP 2014, the *Environmental Planning and Assessment Act 1979* and the Woollahra LEP 2014.

Commented [DCP15]: Insert new definitions to ensure the consistent interpretation of the new proposed provisions at B2.1.7.

Principal building form The original front building section and main roof, which contains the main rooms (see diagram below).



Pavilion addition A structure located at the rear of the existing building, separated from the principal building form by a linking structure (see diagram below).



B2.1.7 **General** Development Controls

The following objectives and controls apply to all neighbourhood HCAs. For Inter-War flat buildings, the provisions at B3.8.7 supplement the controls below.

Note: Refer to Figure 1 for design suggestions for rear additions.

General Development Controls

| Objectives | Controls |
|---|---|
| <u>O1 To ensure that the significant fabric of heritage items and contributory buildings is retained.</u> | <u>C1 Contributory items are retained and conserved, with no external alterations or additions made to significant elevations, details, materials or finishes except for maintenance or restoration.</u> <u>C2 Any replacement of significant building fabric is of a similar material and type (e.g. timber for timber, terracotta for terracotta).</u> <u>C3 Principal roof forms, including roof pitch, roof planes, eaves height and chimneys, are to be retained, with the exception of rear dormers and skylights.</u> <u>C4 Infilling (by glazing or otherwise) of original verandahs or balconies is not permitted. Where verandahs/balconies have been infilled, they are to be reinstated.</u> |

Commented [DCP16]: Insert new provisions that apply to all Neighbourhood HCAs, replacing the existing provisions in section B2.2 to B2.12.

Commented [DCP17]: Insert a reference to B3.8.7 for Inter-War flat buildings provisions.

Commented [DCP18]: Insert new consolidated provisions applying to all Neighbourhood HCAs in order to:

- achieve a consistent interpretation and application of provisions across all HCAs,
- ensure significant styles are protected, and
- avoid duplication of controls across the different HCAs.

General Development Controls**Objectives****Controls**

| | |
|--|---|
| | <u>C5 Painting, bagging or rendering of original face brickwork is not to occur. Reinstatement of facebrick finish is encouraged where brickwork has been painted or rendered.</u> |
| <u>O2 To ensure that significant internal fabric is retained and conserved.</u> | <u>C6 Original room layouts and proportions are retained. New openings in internal walls and floors and ceiling structures lateral to party walls must retain the structural integrity of the building and its neighbours, and should retain significant original ceilings and cornices. Interpretation of the original layout is to be provided with suitable portal frames, nibs or bulkheads.</u> <u>C7 Original internal features are retained wherever possible, including (but not limited to) staircases, joinery, fireplaces and ornated ceilings.</u> |
| <u>O3 To retain, restore and promote the significance, contribution and relationship of a building within the context of a pair or group of buildings</u> | <u>C8 The visual dominance and cohesiveness of a pair or group of buildings is retained and development does not obscure or reduce their visual relationship from the public domain.</u> |
| <u>O4 To ensure that the curtilage of heritage items and contributory buildings is retained and enhanced when opportunity arises.</u> | <u>C9 Additional storeys are not permitted to the principal building form. Additions may be located at the rear or in areas of less significance.</u> |
| <u>O5 To maintain the existing building scale, form and height of the main streetscape elevation, and ensure new development is compatible with the streetscape.</u> | <u>C10 Roof space within the principal building form may be used if there will be no change to the existing roof height, roof pitch, eaves height or ceiling below.</u> |
| <u>O6 To ensure that rear alterations and additions are of sympathetic design and construction.</u> | <u>C11 Where suitable, a rear pavilion addition connected to the principal building form via a linking structure can be allowed, if:</u> <ul style="list-style-type: none"> <u>The height of the rear addition is</u> |

Commented [DCP18]: Insert new consolidated provisions applying to all Neighbourhood HCAs in order to:

- achieve a consistent interpretation and application of provisions across all HCAs,
- ensure significant styles are protected, and
- avoid duplication of controls across the different HCAs.

Commented [DCP19]: Insert new objective aiming to protect significant interior fabric.

Commented [DCP20]: Insert new objective aiming to protect pair or group of buildings.

Commented [DCP21]: Insert new control for a pavilion, as per definition at B2.1.6

General Development Controls

| Objectives | Controls |
|--|---|
| <p><u>O7 To ensure that the architectural character of buildings is not compromised.</u></p> <p><u>O8 To ensure that alterations and additions are sympathetic to the original building and the predominant streetscape character contributing to the heritage conservation area's significance.</u></p> | <p><u>equal or inferior than the maximum ridgeline of the main building;</u></p> <ul style="list-style-type: none"> <u>The rear addition complements the character of the principal building form in terms of materials, solid-to-void ratio; and</u> <u>It will not adversely affect the setting of the main building by retaining the rear roof plane and rear wall intact.</u> <p><u>C12 New structures or additions visible from the public domain must use sympathetic materials and forms that are in character with the architectural style of the building and with other contributory buildings.</u></p> <p><u>C13 Additions to the side of a building may be permitted if set behind the main ridgeline of the existing building, and the additions:</u></p> <ul style="list-style-type: none"> <u>are subservient and do not visually dominate the main building.</u> <u>are designed to be sympathetic and complement the original building; and</u> <u>front, rear and side setbacks will retain uniformity with adjoining development.</u> |
| <p><u>O9 To achieve external materials, finishes and colour schemes sympathetic to the context.</u></p> | <p><u>C14 New materials and details to additions must complement the architectural style of the existing building and minimise the apparent bulk of the addition. Light and sympathetic colours are to be used instead of dark colours.</u></p> |
| <p><u>O10 To conserve established garden settings, including original landscape elements and features.</u></p> <p><u>O11 To ensure that the landscape character of the streetscape is maintained by preserving existing trees and sandstone</u></p> | <p><u>C15 Garden settings are retained, including mature trees, original and early pathways, gates and front fencing.</u></p> <p><u>C16 Existing street trees are retained.</u></p> <p><u>C17 Sandstone kerbs and gutters are</u></p> |

Commented [DCP18]: Insert new consolidated provisions applying to all Neighbourhood HCAs in order to:

- achieve a consistent interpretation and application of provisions across all HCAs,
- ensure significant styles are protected, and
- avoid duplication of controls across the different HCAs.

Commented [DCP22]: Insert a new objective aiming to ensure that external materials, finishes and colour schemes are sympathetic to the context for alterations and additions.

Commented [DCP23]: Introduce new provisions to protect sandstone kerbs and gutters, in line with best heritage practice and comparison with Chapter C1 for Paddington HCA.

General Development Controls**Objectives****Controls**

| <u>kerbs and gutters.</u> | <u>retained and protected.</u> |
|---|--|
| <u>O12 To ensure that on-site parking does not dominate the streetscape.</u> | <u>C18 Car parking is set back behind the front building line. Parking spaces, carports or garages are not permitted in the front setback.</u> |
| | <u>C19 Despite C18, where there is no side setback greater than 3m—a single pergola car parking structure forward of the building line may be built forward of the building line and to the side of the property. Soft paving is to be used to soften visual impact.</u> |
| <u>O13 To ensure that significant fences and sandstone walls are conserved.</u> | <u>C20 Sandstone fences and walls are retained and are not to be breached by additional openings.</u> |
| <u>O14 To ensure that fences do not detract from the streetscape.</u> | <u>C21 New fences are appropriate to the style and period of the building. They are made from masonry materials with brick or sandstone piers and infill and/or a timber pickets or steel balustrading with at least 25% transparency. Maximum height is 1.5m, pillars may extend to a maximum height of 1.8m.</u> |
| <u>O15 To ensure that infill development respects significant fabric, the existing subdivision layout and pattern of building separation.</u> | <u>C22 Subdivision or amalgamation will only be permitted if the resulting development respects the subdivision pattern and does not require the demolition of a heritage item or contributory building or compromise their setting.</u> |
| <u>O16 To ensure that infill development maintains the existing streetscape character and rhythm, building form and scale of buildings.</u> | <u>C23 Infill development is of a scale, form and character compatible with the surroundings and does not match a building that is excessive in terms of its bulk, height, scale or incompatible design.</u> |

Commented [DCP18]: Insert new consolidated provisions applying to all Neighbourhood HCAs in order to:

- achieve a consistent interpretation and application of provisions across all HCAs,
- ensure significant styles are protected, and
- avoid duplication of controls across the different HCAs.

General Development Controls

| Objectives | Controls |
|---|---|
| <u>O17 To maintain the streetscape appearance with uniform setbacks.</u> | <u>C24 Elevations visible from the public domain do not incorporate large expanses of glass and openings are vertically proportioned.</u> <u>C25 Infill development has a consistent front setback, with appropriate landscaping. Where adjoining lots have different setbacks, then an average of the two is to be provided.</u> <u>C26 Infill development and additions must not extend beyond the predominant rear building setbacks at any level of a building.</u> <u>C27 Infill development maintains the existing building separation pattern to enable planting of side setbacks and maintenance of views.</u> |
| <u>O18 To ensure that the pattern of roofscapes is maintained.</u> | <u>C28 Infill development has a consistent roof form, pitch and materials of the adjoining buildings.</u> <u>C29 Roof additions and utilities, such as skylights, dormers and solar panels, are not to be visible from the public domain.</u> |
| <u>O19 To promote high quality design, materials, finishes and detailing which is appropriate to the architectural style, building type and historic context.</u> | <u>C30 Infill development does not replicate traditional details.</u> <u>C31 Colour schemes employ light and traditional colours.</u> |

Commented [DCP18]: Insert new consolidated provisions applying to all Neighbourhood HCAs in order to:

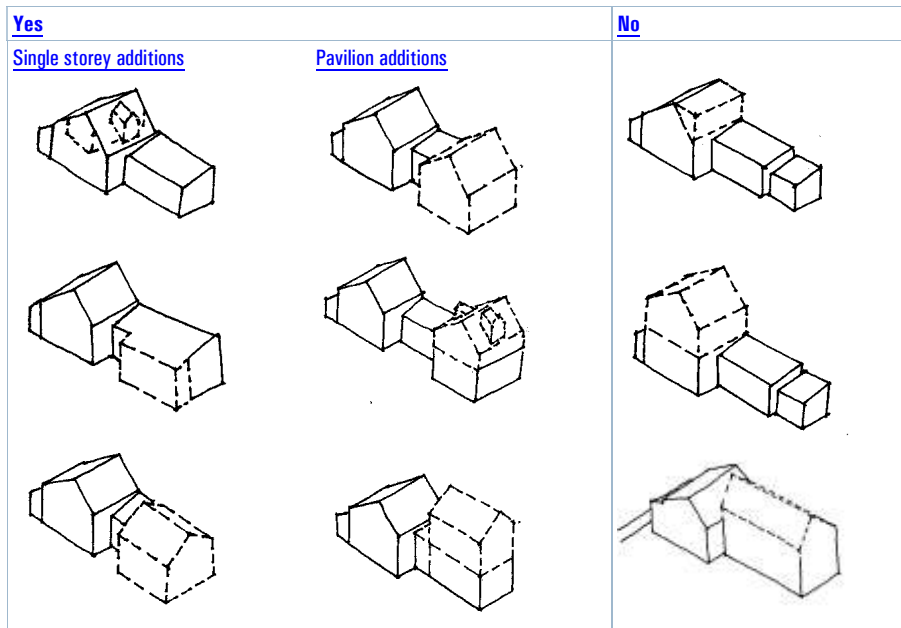
- achieve a consistent interpretation and application of provisions across all HCAs,
- ensure significant styles are protected, and
- avoid duplication of controls across the different HCAs.

Commented [DCP24]: Insert a new objective aiming to ensure that external materials, finishes and colour schemes are sympathetic to the context for infill development.

Commented [DCP25]: Introduce new control aiming to avoid replication of traditional details.

Commented [DCP26]: Introduce new control aiming to use light and traditional colours.

FIGURE 1 Design suggestions for rear additions to contributory buildings, applicable to single storey houses, multi storey houses or flat buildings.



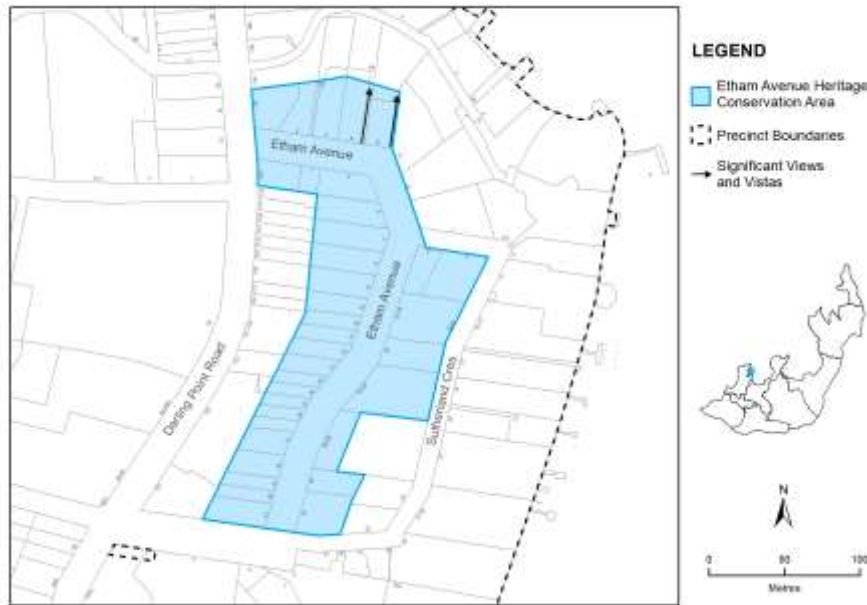
Commented [DCP27]: Insert new Figure 1 outlining design suggestions for rear additions to contributory buildings.

New diagrams include sympathetic single storey additions, pavilion additions (which can be applied to various typologies) and an example of undesirable additions.

These diagrams are applicable to different typologies, including single storey buildings, multi-storey dwellings or flat buildings.

B2.2 Etham Avenue, Darling Point

MAP 42 Etham Avenue HCA heritage conservation area



Commented [DCP28]: Renumber map number and include acronym for HCA.

Statement of significance

The Etham Avenue HCA is located within the Darling Point residential precinct and is characterised by high quality Federation residences and Inter-War flat buildings of varying styles.

The Etham Avenue HCA provides a physical record of a significant historical phase in the urban subdivision of Darling Point. The historical subdivision pattern reflects the staged subdivision of part of the Etham Estate dating from 1900 and a subsequent re-subdivision after the demolition of the Etham Mansion circa 1920. There are distinct groups of buildings that provide physical evidence of the evolutionary development of the area when more compact residences were being designed with distinctly less accommodation for servants.

Commented [DCP29]: Enhance this paragraph by identifying that this HCA is part of the Etham Estate.

The Etham Avenue HCA has the distinctive character and layout of a compact early 20th century 'Garden Suburb', a movement based on the urban planning principles of Sir Ebenezer Howard. The streetscape has a high aesthetic value which is enhanced by the serpentine layout of the road along the contour, which creates closed vistas that focus on small cohesive groups of houses. The winding road provides a more complex view of the housing and is typical of the movement. The constant width of the road with its grass nature strip and avenue plantings contributes to the quality of streetscape. It retains sandstone remnants of the Etham Mansion in the form of its gate and fence pillars.

Commented [DCP30]: Administrative amendment.

Commented [DCP31]: Remove this statement as no evidence has been provided which justifies this statement.

~~The entry points to Etham Avenue are defined by substantial corner residences providing a strong sense of arrival.~~ The circa 1900 suburban subdivision pattern is largely intact and most of the housing derives from this period with characteristic stylistic details that make an important contribution to the HCA.

Commented [DCP32]: Strengthen the statement of significance by removing this sentence which is an interpretation of built form rather than an assessment of significance.

The housing displays the quality and distinction of a wide range of Federation styles from the excellent highly intact Federation Queen Anne housing at the southern end, to the English Arts and Craft styles and the American-influenced Federation Bungalow style at the northern end.

The consistency of the dominant roof forms and stylistic elements such as verandahs, porches, bay windows, chimneys, semi-transparent and low front fencing and front gardens without terracing contributes to the strong streetscape qualities and create an aesthetically pleasing character.

Commented [DCP33]: Enhance wording for front fencing.

Desired future character

- ~~Development is to~~ retain the significant fabric and key values of the Etham Avenue HCA included in the statement of significance. This includes retaining heritage items and contributory items as well as their curtilage. Development is to comply with the provisions outlined in B2.1. including These include the historic subdivision pattern, the significant street trees, significant dwellings and flat buildings housing, gardens and fences that demonstrate the wide range of Federation styles and patterns of development which contribute to the strong streetscape qualities.

Commented [DCP34]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Commented [DCP35]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Commented [DCP36]: Insert a note to ensure all heritage items in NHCAs are also considered contributory items.

| <u>Contributory items</u> | |
|-------------------------------|--------------------------------------|
| <u>145 Darling Point Road</u> | <u>Federation house</u> |
| <u>147 Darling Point Road</u> | <u>Inter-War Mediterranean house</u> |
| <u>1 Etham Avenue</u> | <u>Federation house</u> |
| <u>2 Etham Avenue</u> | <u>2 storey Federation house</u> |
| <u>3 Etham Avenue</u> | <u>Federation house</u> |
| <u>4 Etham Avenue</u> | <u>2 storey Federation house</u> |
| <u>6 Etham Avenue</u> | <u>Federation house</u> |
| <u>7 Etham Avenue</u> | <u>Federation house</u> |
| <u>8 Etham Avenue</u> | <u>Inter-War flat building</u> |
| <u>11 Etham Avenue</u> | <u>Inter-War flat building</u> |

Contributory items

| | |
|------------------------------------|---|
| 13 Etham Avenue | Federation house |
| 15 Etham Avenue | Federation house |
| 16-18 Etham Avenue | Federation house |
| 17 Etham Avenue | Federation house |
| 19 Etham Avenue | Victorian house |
| 21 Etham Avenue | Federation house |
| 22 Etham Avenue | Inter-war flat building |
| 23 Etham Avenue | Federation house |
| 25 Etham Avenue | Federation house |
| 27 Etham Avenue | Federation house |
| 33 Etham Avenue | Federation house |
| Etham Avenue | Street trees |

Note:

- ▶ The Etham Avenue HCA is located within the Darling Point precinct. The precinct character statement for the Darling Point precinct in Chapter B1 ~~in this part of the DCP~~ [and B2.2](#) is to be read in conjunction with the ~~controls below~~ [provisions at B2.1](#).
- ▶ The ~~controls below~~ [provisions at B2](#) apply in addition to the general development controls in Chapter B3 in this part of the DCP, including controls for Inter-War residential flat buildings (Section [B3.8.7](#)). Where there is an inconsistency, the ~~controls below~~ [provisions at B2.1](#) take precedence.

Commented [DCP37]: Administrative change, to insert reference to new provisions at B2.1.

~~B2.2 Etham Avenue, Darling Point~~

| Objectives | Controls |
|--|---|
| O1 To ensure that the significant fabric of contributory items is retained. | C1 Original principal roof forms, including roof pitch, eaves height and chimneys, are retained. C2 No alteration to the original details, materials or finishes of the principal form, except to allow for restoration or reconstruction. C3 Original verandahs are not in-filled. Where verandahs have been in-filled, uncharacteristic additions are removed and the verandahs reinstated. C4 Original room layouts and proportions are retained. |

Commented [DCP38]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP39]: Replaced by O1 in B2.1.7

Commented [DCP40]: Replaced by C3 and C9 in B2.1.7

Commented [DCP41]: Replaced by C1 in B2.1.7

Commented [DCP42]: Replaced by C4 in B2.1.7

Commented [DCP43]: Replaced by C6 in B2.1.7.

B2.2 Etham Avenue, Darling Point

| Objectives | Controls |
|--|---|
| | C5 Original internal features are retained wherever possible, including (but not limited to) staircases, joinery, fireplaces and ceilings. |
| O2 To conserve the established garden settings, including original elements and features. | C6 Established garden settings are retained, including, but not limited to, mature trees, original and early pathways, gates and front fencing, particularly forward of the building line. |
| O3 To ensure that fences and parking do not detract from the streetscape and heritage significance. | C7 Car parking is set back behind the front building line. |
| | C8 Fences are appropriate to the building style and period. Front fences are generally made from masonry materials with steel balustrading (25% transparent), and a maximum height of 1.5m. Pillars may extend to a maximum height of 1.8m. |
| O4 To conserve the principal elevation of the original buildings. | C9 Additions may be located at the rear or within the principal roof form, provided no alterations including dormers and skylights, compromise the significant roof forms. |
| O5 To ensure that the architectural character of buildings is not compromised. | C10 Additions at the side of a residential building may be permitted if set behind the main ridgeline of the existing building, and the additions: <ul style="list-style-type: none"> a) do not visually dominate the existing building. For example, are set down at least 300mm from the existing ridgeline; and b) are designed to be sympathetic and complementary to the original building. |

Commented [DCP38]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP44]: Replaced by C7 in B2.1.7

Commented [DCP45]: Replaced by O4 and O10 in B2.1.7

Commented [DCP47]: Replaced by C15 in B2.1.7

Commented [DCP46]: Replaced by O14 in B2.1.7

Commented [DCP48]: Replaced by C18 in B2.1.7

Commented [DCP49]: Replaced by C21 in B2.1.7

Commented [DCP50]: Replaced by O1 in B2.1.7

Commented [DCP52]: Replaced by C9 and C11 in B2.1.7

Commented [DCP51]: Replaced by O7 in B2.1.7

Commented [DCP53]: Replaced by C13 in B2.1.7

B2.2 Etham Avenue, Darling Point

| Objectives | Controls |
|--|--|
| O6 To ensure that development does not impact on the significance of heritage items and the heritage conservation area. | C11 Development is a maximum of two storeys at the street elevation. |
| O7 To ensure that development is compatible with the scale and rhythm of the streetscape. | C12 Roof forms, scale and character are consistent with the scale and character of the group. |
| | C13 Existing front and rear setbacks are retained. |
| | C14 New development is consistent with the setbacks of adjoining dwellings. |
| | C15 Subdivision or amalgamation will only be permitted if the resulting development is a form that reflects the character of the conservation area and does not require the demolition of a heritage item or contributory item or compromise their setting. |

Commented [DCP38]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP54]: Replaced by more specific objectives in B2.1.7

Commented [DCP56]: Remove this numerical control to avoid potential conflicts with the WLEP 2014 development standards.

Commented [DCP57]: Replaced by more specific controls for alterations and additions at C11 and infill development at C28 in B2.1.7

Commented [DCP55]: Replaced by more specific objectives O5 (for alterations and additions), and O15, O16, O17 and O18 (for infill development) in B2.1.7

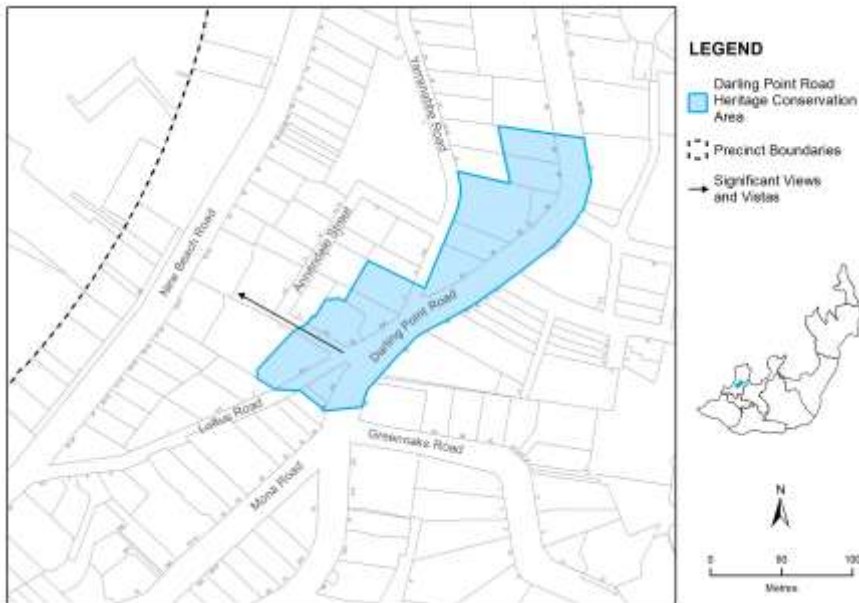
Commented [DCP58]: Replaced by C13 (for alterations and additions) and C25 (for infill development) in B2.1.7

Commented [DCP59]: Replaced by C13 (for alterations and additions), C25 and C26 (for infill development) in B2.1.7

Commented [DCP60]: Replaced by C22 in B2.1.7

B2.3 Darling Point Road, Darling Point

MAP 23 Darling Point Road HCA heritage conservation area, Darling Point



Commented [DCP61]: Renumber map number and include acronym for HCA.

Statement of significance

The Darling Point Road HCA is located within the Darling Point residential precinct and comprises a cohesive group of substantial late 19th and early 20th century **houses buildings** in the Federation Gothic and Federation Arts and Crafts styles.

The conservation area makes an important contribution to the identity of Darling Point with its prominent steeply pitched roofscapes and mature garden settings with traditional fences.

Darling Point Road, as the main thoroughfare since the layout of Mrs Darling's Point in 1833, winds along the ridge through the township towards the harbour. This central location is historically associated with the influential members of colonial society and the establishment of the Anglican Church of St Marks during the mid-19th century.

The earlier stage of more intense residential development at Darling Point is represented by the large and architecturally distinctive Gothic houses adjacent to the St Marks Church precinct, which were part of the c1841 Glenhurst Estate subdivision.

Examples include:

- **Cloncorrick at No. 32 Darling Point Road, which was designed by the notable architect John Horbury Hunt for the Honourable George Simpson; and**

Commented [DCP62]: Enhance the statement of significance to include residential flat buildings formed by the alteration of big houses.

Commented [DCP63]: Enhance reference to the historic significance of the HCA.

Commented [DCP64]: Remove references to individual properties since the statement of significance is a general statement for the whole HCA.

- ~~St Canice at 9 Loftus Road, which was designed for the Honourable Edward Butler.~~

The second significant phase of development was associated with the 1907 Springfield Estate subdivision. Examples include the substantial houses at Nos. 42, 44-46 and 48 Darling Point Road which are representative of the Federation Queen Anne style with Arts and Crafts influence. ~~style in a distinct derivation that uses face brickwork that is rare in the Woollahra Municipality.~~ Their siting as a group on the winding Darling Point Road following the contours and their honest use of local materials reflects the principles of the Garden Suburb movement.

Commented [DCP65]: Reword to enhance the significant elements that are present in this HCA.

- ~~The house at No. 42 is a substantial intact house, designed in the restrained English Queen Anne style with Arts and Crafts influences. It has a stepped plan, face brickwork and multi-gabled roof which address both the southern and eastern approaches.~~
- ~~The pair of semi-detached dwellings at Nos. 44 and 46 is skillfully designed to read as a single house in the Federation Arts and Craft style. They feature characteristic elements of tall tapered roughcast chimney, large face brick arches, intersecting gables and tapering columns with restrained timberwork.~~
- ~~Leamington, the house at No. 48 is a relatively rare example of the Federation Arts and Craft movement in Sydney. It retains a high level of external intactness and integrity of its original Australian design in face brickwork rather than being covered in roughcast. It responds to the local climate by incorporating side verandahs and wider eaves.~~

Commented [DCP66]: Remove references to individual heritage listed properties since the statement of significance is a general statement for the whole HCA.

Desired future character

- Development is to retain the significant fabric and key values of the Darling Point Road HCA included in the statement of significance. This includes retaining heritage items and contributory items as well as their curtilage. Development is to comply with the provisions outlined in B2.1, including the substantial housing, gardens and fences that are representative examples of the Federation Arts and Crafts movement and the Victorian Gothic residences that contribute to the streetscape of Darling Point Road.

Commented [DCP67]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Commented [DCP68]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Commented [DCP69]: Insert a note to ensure all heritage items in NHCAs are also considered contributory items.

Contributory items

| | |
|-------------------------------|----------------------------------|
| <u>32A Darling Point Road</u> | <u>'Awelon', Inter-War house</u> |
| <u>34 Darling Point Road</u> | <u>House</u> |
| <u>36 Darling Point Road</u> | <u>House</u> |
| <u>Loftus Reserve</u> | <u>Council reserve</u> |

Note:

- The Darling Point Road HCA is located within the Darling Point precinct. The precinct character statement for the Darling Point precinct in Chapter B1 ~~in this part of the DCP and B2.3~~ is to be read in conjunction with the ~~controls below~~ [provisions at B2.1](#).
- The ~~controls below~~ [provisions at B2](#) apply in addition to the general development controls in Chapter B3 in this part of the DCP, including controls for Inter-War residential flat buildings (Section [B3.8.7](#)). Where there is an inconsistency, the ~~controls below~~ [provisions at B2.1](#) take precedence.

Commented [DCP70]: Make reference to new provisions at B2.1.

B2.3 Darling Point Road, Darling Point**Objectives****Controls**

~~O1 To ensure that the significant fabric of heritage items and contributory items is retained.~~

~~C1 Original principal roof forms, including roof pitch, eaves height and chimneys, are retained.~~

~~C2 No alteration to the original details, materials or finishes of the principal form, except to allow for restoration or reconstruction.~~

~~C3 Original verandahs are not in-filled. Where verandahs have been in-filled, uncharacteristic additions are removed.~~

~~C4 Original room layouts and proportions are retained.~~

~~C5 Original internal features are retained wherever possible, including (but not limited to) staircases, joinery, fireplaces and ceilings.~~

~~O2 To conserve the established garden settings, including original elements and features.~~

~~C6 Established garden settings are retained, including mature trees, original and early pathways, gates and front fencing particularly forward of the building line.~~

~~O3 To ensure that fences and parking do not detract from the streetscape and heritage significance.~~

~~C7 Car parking is set back behind the front building line.~~

~~C8 Fencing is appropriate to the style and period of the building. Front fences should generally be made from masonry materials with steel balustrading (25% transparent), and a maximum height of 1.5m. Pillars may extend to a maximum height of 1.8m.~~

Commented [DCP71]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP72]: Replaced by O1 in B2.1.7

Commented [DCP73]: Replaced by C3 and C9 in B2.1.7

Commented [DCP74]: Replaced by C1 in B2.1.7

Commented [DCP75]: Replaced by C4 in B2.1.7

Commented [DCP76]: Replaced by C6 in B2.1.7.

Commented [DCP77]: Replaced by C6 in B2.1.7

Commented [DCP78]: Replaced by O4 and O10 in B2.1.7

Commented [DCP80]: Replaced by C15 in B2.1.7

Commented [DCP79]: Replaced by O12 and O14 in B2.1.7

Commented [DCP81]: Replaced by C18 in B2.1.7

Commented [DCP82]: Replaced by C21 in B2.1.7

B2.3 Darling Point Road, Darling Point

| Objectives | Controls |
|---|---|
| O4 To conserve the principal elevation of the original buildings. | C9 Additions may be located at the rear or within the principal roof form, provided no alterations including dormers and skylights compromise significant roof forms. |
| O5 To ensure that the architectural character of buildings is not compromised. | C10 Additions at the side of a residential building may be permitted if set behind the main ridgeline of the existing building, and the additions: <ul style="list-style-type: none"> a) do not visually dominate the existing building. For example, are set down at least 300mm from the existing ridgeline; and b) are designed to be sympathetic and complementary to the original building. |
| O6 To ensure that development does not affect the significance of heritage items and the heritage conservation area. | C11 Development is a maximum two storeys at the street elevation. |
| O7 To ensure that development is compatible with the scale and rhythm of the streetscape. | C12 Roof forms, scale and character are consistent with the scale and character of the group. |
| | C13 Existing front and rear setbacks are retained. |
| | C14 New development is consistent with the setbacks of adjoining dwellings. |
| | C15 Subdivision or amalgamation will only be permitted if the resulting development is a form that reflects the character of the conservation area and does not require the demolition of a heritage item or contributory item or compromise their setting. |

Commented [DCP71]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP83]: Replaced by O1 in B2.1.7

Commented [DCP85]: Replaced by C3, C9, C10 and C11 in B2.1.7

Commented [DCP84]: Replaced by O7 in B2.1.7

Commented [DCP86]: Replaced by C13 in B2.1.7

Commented [DCP87]: Replaced by more specific objectives in B2.1.7.

Commented [DCP89]: Remove this numerical control to avoid potential conflicts with the Woollahra LEP 2014 development standards.

Commented [DCP90]: Replaced by C8 in B2.1.7.

Commented [DCP88]: Replaced by more specific objectives O5 (for alterations and additions), and O15, O16, O17 and O18 (for infill development) in B2.1.7.

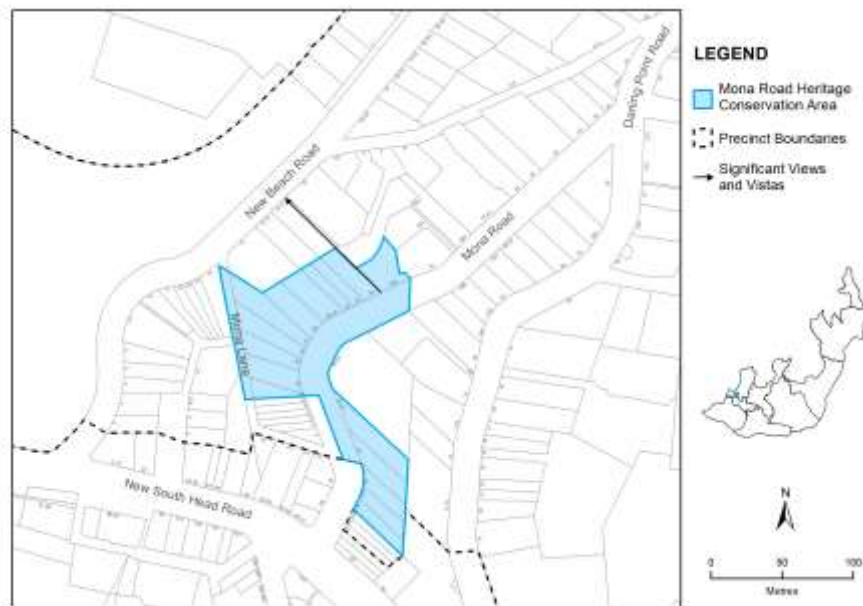
Commented [DCP91]: Replaced by C13 (for alterations and additions), C25 and C26 (for infill development) in B2.1.7

Commented [DCP92]: Replaced by C13 (for alterations and additions), C25 and C26 (for infill development) in B2.1.7

Commented [DCP93]: Replaced by C22 in B2.1.7

B2.4 Mona Road, Darling Point

MAP 43 Mona Road HCA heritage conservation area



Commented [DCP94]: Renumber map number and include acronym for HCA.

Statement of significance

The Mona Road HCA is located within the Darling Point residential precinct and comprises dwelling houses, semi-detached houses and ~~apartments~~ flat buildings that demonstrate the important characteristics of the Victorian, Federation Arts and Crafts and Federation Queen Anne styles.

Commented [DCP95]: Rephrase for consistency with other chapters of the Woollahra DCP 2015.

Commented [DCP96]: Include the Victorian styles as part of the HCA to ensure buildings built up until 1890 are also included, if any.

This HCA contains a cohesive group of substantial but speculative housing built within the first decade of the 20th century on part of the Mona Estate that demonstrates the more intense residential development pattern of Darling Point. Some of the dwellings were subsequently converted to duplexes or triplexes in the 1920s without changing their form or altering their integrity.

The winding alignment of Mona Road through the steep topography results in extensive rusticated ashlar or brick retaining walls which, together with the mature Hill's Weeping Fig street trees and the Federation subdivision pattern, form a distinctive streetscape with cohesive groups of buildings on each side of Mona Road ~~which are orientated towards the harbour view~~.

Commented [DCP97]: Insert reference to the significant subdivision pattern.

Commented [DCP98]: Remove characteristic not relevant to the significance of the HCA.

On the western side of the street, the buildings are characterised by the rhythmic tiled roofscapes of Federation dwellings and semi-detached dwellings designed to read as single houses, ~~albeit partially obscured by car parking~~.

Commented [DCP99]: Remove as this element does not enhance the statement of significance.

Examples include:

- ▶ The houses at Nos. 14–16 are adjoining two-storey red brick houses in the Federation Queen Anne style with rusticated sandstone foundation walls and terracotta tiled roofs.
- ▶ The houses at Nos. 18–22 are substantial adjoining identical houses designed in the Federation Queen Anne style with face brick, rusticated sandstone foundation walls and slate roofs. Together with Nos. 14 and 16, the sandstone retaining wall to Mona Lane continues the characteristic relationship of the building with the landforms.
- ▶ No. 36a is a landmark face brick building in the Federation Queen Anne 'Old English' style at the northern end of the group, adjacent to Mona.

These houses are orientated towards the harbour and were designed to be accessed from Rushcutters Park via Mona Lane, rather than Mona Road. ~~Significant views of the major elevations of the group are available from Mona Lane, New Beach Road and Rushcutters Bay Park.~~

On the eastern side of the street, examples include:

- ▶ Nos. 15–17 which comprise elevated dwellings and semi-detached dwellings that are fine red brick examples of the Federation Queen Anne style with bow windows, prominent gable ends, decorative fretwork balustrades and tiled with Marseille pattern terracotta tile.
- ▶ No. 27 which is a three-storey Federation Arts and Crafts styled apartment building in an elevated setting that demonstrates a strong massing with heavy articulation of its roughcast and face brick elevations with restrained decoration and weatherboard balustrading.

Desired future character

- ▶ Development is to retain the significant fabric and key values of the Mona Road HCA. ~~including the historic subdivision pattern, the street trees, the group of Federation Arts and Craft and Queen Anne housing that contribute to the cohesive streetscape of Mona Road. This includes retaining heritage items and contributory items as well as their curtilage.~~ Development is to comply with the provisions outlined in B2.1.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Contributory items

| | |
|------------------------|---|
| <u>22 Mona Road</u> | <u>Federation house</u> |
| <u>24 Mona Road</u> | <u>Federation house</u> |
| <u>26–30 Mona Road</u> | <u>Federation flat building</u> |
| <u>32 Mona Road</u> | <u>'Radnor', Federation semi-detached house</u> |
| <u>34 Mona Road</u> | <u>'Booren', Federation semi-detached house</u> |
| <u>36 Mona Road</u> | <u>Federation house</u> |

Commented [DCP100]: Remove references to individual properties since the statement of significance is a general statement for the whole HCA.

Commented [DCP101]: Remove as this is overly detailed for a statement of significance.

Commented [DCP102]: Remove references to individual properties since the statement of significance is a general statement for the whole HCA.

Commented [DCP103]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Commented [DCP104]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Commented [DCP105]: Insert a note to ensure all heritage items in NHCAs are also considered contributory items.

Contributory items

| | |
|---------------------------|--------------------------------|
| Mona Lane | Sandstone wall |
| Mona Road | Street trees |

Note:

- The Mona Road HCA is located within the Darling Point precinct. The precinct character statement in Chapter B1 ~~in this part of the DCP and B2.4~~ is to be read in conjunction with the [provisions at B2.1](#) ~~controls below~~.
- The ~~controls below~~ [provisions at B2](#) apply in addition to the general development controls in Chapter B3 in this part of the DCP, including controls for Inter-War residential flat buildings (Section [B3.8.7](#)). Where there is an inconsistency, the ~~controls below~~ [provisions at B2.1](#) take precedence.

Commented [DCP106]: Make reference to new provisions at B2.1 and enhance existing wording.

B2.4 Mona Road, Darling Point

| Objectives | Controls |
|--|---|
| O1 To ensure that the significant fabric of heritage items and contributory items is retained. | C1 Original principal roof forms, including roof pitch, eaves height and chimneys, are retained. C2 No alteration to the original details, materials or finishes of the principal form, except to allow for restoration or reconstruction. C3 Original verandahs are not in-filled. Where verandahs have been in-filled, uncharacteristic additions are removed. C4 Original room layouts and proportions are retained. C5 Original internal features are retained wherever possible, including (but not limited to) staircases, joinery, fireplaces and ceilings. |
| O2 To conserve the established garden settings, including original elements and features. | C6 Established garden settings are retained, including mature trees, original and early pathways, gates and front fencing particularly forward of the building line. |
| O3 To ensure that fences and parking do not detract from the streetscape and heritage significance. | C7 Sandstone and brick retaining walls are not to be breached by additional openings. C8 Car parking is set back behind the front |

Commented [DCP107]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP108]: Replaced by O1 in B2.1.7. Note that heritage items are already protected by virtue of their listing in the Woollahra LEP 2014.

Commented [DCP109]: Replaced by C3 and C9 in B2.1.7

Commented [DCP110]: Replaced by C1 in B2.1.7

Commented [DCP111]: Replaced by C4 in B2.1.7

Commented [DCP112]: Replaced by C6 in B2.1.7.

Commented [DCP113]: Replaced by C7 in B2.1.7

Commented [DCP114]: Replaced by O10 in B2.1.7

Commented [DCP116]: Replaced by C15 in B2.1.7

Commented [DCP115]: Replaced by O14 in B2.1.7

Commented [DCP117]: Replaced by C20 in B2.1.7

Commented [DCP118]: Replaced by C18 in B2.1.7

B2.4 ~~Mona Road, Darling Point~~

| Objectives | Controls |
|---|---|
| | building line. |
| | C9 Fencing is appropriate to the style and period of the building. Front fences should generally be made from masonry materials with steel balustrading (25% transparent), and a maximum height of 1.5m. Pillars may extend to a maximum height of 1.8m. |
| O4 To conserve the principal elevations of the original buildings. | C10 Additions may be located at the rear or in the principal roof form, provided no alterations including dormers and skylights, compromise the significant roof forms. |
| O5 To ensure that the architectural character of buildings is not compromised. | C11 Additions at the side of a residential building may be permitted if set behind the main ridgeline of the existing building, and the additions: <ul style="list-style-type: none"> a) do not visually dominate the existing building. For example, are set down at least 300mm from the existing ridgeline; and b) are designed to be sympathetic and complementary to the original building. |

Commented [DCP107]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP119]: Replaced by C21 in B2.1.7

Commented [DCP120]: Replaced by O1 in B2.1.7

Commented [DCP122]: Replaced by C9 and C11 in B2.1.7

Commented [DCP121]: Replaced by O7 in B2.1.7

Commented [DCP123]: Replaced by C13 in B2.1.7

B2.4 ~~Mona Road, Darling Point~~

| Objectives | Controls |
|---|--|
| O6 — To ensure that development does not affect the significance of heritage items and the heritage conservation area. | C12 — Development is to be a maximum of two storeys at the street elevation. |
| O7 — To ensure that development is compatible with the scale and rhythm of the streetscape. | C13 — Roof forms, scale and character are to be consistent with the scale and character of the group. |
| | C14 — Existing front and rear setbacks are retained |
| | C15 — New development is consistent with the setbacks of adjoining dwellings. |
| | C16 — Subdivision or amalgamation will only be permitted if the resulting development is a form that reflects the character of the conservation area and does not require the demolition of a heritage item or contributory item or compromise their setting. |

Commented [DCP107]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP124]: Replaced by more specific objectives in B2.1.7

Commented [DCP126]: Remove this numerical control to avoid potential conflicts with the Woollahra LEP 2014 development standards.

Commented [DCP127]: Replaced by more specific control for alterations and additions at C11 and infill development at C28 in B2.1.7

Commented [DCP125]: Replaced by more specific objectives O5 (for alterations and additions), and O15, O16, O17 and O18 (for infill development) in B2.1.7

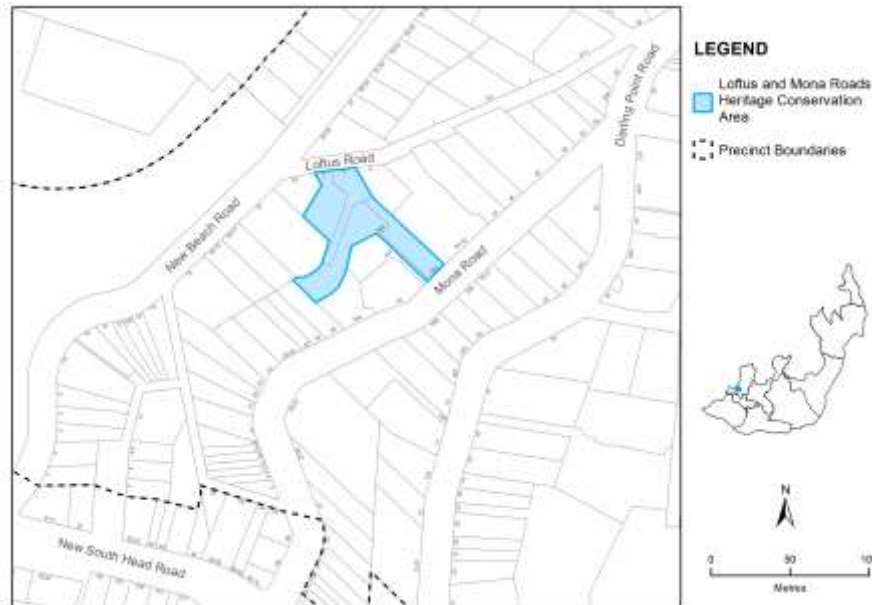
Commented [DCP128]: Replaced by C13 (for alterations and additions) and C24 (for infill development) in B2.1.7

Commented [DCP129]: Replaced by C13 (for alterations and additions), C25 and C26 (for infill development) in B2.1.7

Commented [DCP130]: Replaced by C22 in B2.1.7

B2.5 Loftus Road and Mona Road, Darling Point

MAP 45 Loftus Road and Mona Road HCA heritage conservation area



Commented [DCP131]: Renumber map number and include acronym for HCA

Statement of significance

The Loftus Road and Mona Road HCA is a group of four residential flat buildings of similar scale, bulk, design and materials, located at 2 and 4 Loftus Road and 38a and 38b Mona Road. These were built on steep land subdivided from the grounds of the Victorian Regency styled house Mona, currently adaptively re-used as a flat building, ~~which has been converted to flats, and visually forms part of the group.~~

Commented [DCP132]: Enhance the statement of significance by clarifying that Mona is currently used as a flat building.

The Loftus Road and Mona Road group is a significant group of Inter-War flat buildings which appear as a cohesive and substantial presence on the slopes of Darling Point. The area is significant in demonstrating the trend towards closer subdivision and development of fashionable flats in Darling Point during the 1920s and 1930s as a response to the changing planning regulations.

Each building was designed by prominent architectural firms of the time, Peddle Thorpe & Walker and Crane & Scott, in the Inter-War Mediterranean style. Each of the buildings contain architectural features which are highly representative of the Inter-War Mediterranean style such as timber shutters, Marseille tiled roofs, Juliet balconies and arched openings.

The flats are generously sized and some originally included maid's rooms within the lower levels. The group is unusually intact and has retained the garden terraces with Inter-War plantings and substantial sandstone retaining walls from earlier estates.

In more detail:

- ▶ ~~Brailsford at 38a Mona Road is a three-storey apartment building built in the Inter-War Mediterranean style circa 1927. It is characterised by Mediterranean elements such as Marseille tiles, timber shutters, blind arches, circular arches and columns, and a paved courtyard.~~
- ▶ ~~Burford House at 38b Mona Road is a small elevated three-storey apartment building in the Inter-War Mediterranean style circa 1934. The building has a staggered 'sawtooth' plan form, deep balconies with columns and arched openings, and timber shutters and wrought iron balustrades.~~
- ▶ ~~2 Loftus Road is a two storey Inter-War Mediterranean apartment building circa 1939. It has a central entrance hall with a Juliet balcony and French doors over, between the two apartment wings. It has Marseille tiles and restrained detailing, including blind arches and mock Juliet balconies.~~
- ▶ ~~St Martin's at 4 Loftus Road is a large imposing Inter-War Mediterranean style three-storey apartment building. It has simplified classical detailing in the Mediterranean style, with a terracotta tiled roof with a band of medallions beneath, timber shutters, and a parapet with a deep entablature featuring medallions.~~

Commented [DCP133]: Remove references to individual properties since the statement of significance is a general statement for the whole HCA.

Desired future character

- ▶ ~~Development is to conserve the significant fabric and cohesive character of the Inter-War flat buildings in the Loftus Road and Mona Road HCA. This includes retaining heritage items and contributory items as well as their curtilage. Development is to comply with the provisions outlined in B3.8.7, including the garden terraces, landscape plantings and substantial sandstone retaining walls.~~

Commented [DCP134]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Commented [DCP135]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Commented [DCP136]: Insert a note to ensure all heritage items in NHCAs are also considered contributory items.

Contributory items

| | |
|-----------------------|---|
| <u>38 A Mona Road</u> | <u>'Brailsford', Inter-War flat building</u> |
| <u>38B Mona Road</u> | <u>'Burford House', Inter-War flat building</u> |
| <u>2 Loftus Road</u> | <u>Inter-War flat building</u> |

Note:

- ▶ The Loftus Road and Mona Road HCA is located within the Darling Point precinct. The precinct character statement in Chapter B1 in this part of the DCP and B2.5 is to be read in conjunction with the controls at B2.1.

Commented [DCP137]: Make reference to new provisions at B2.1.

- The ~~controls below~~ [provisions at B2](#) apply in addition to the general development controls in Chapter B3 in this part of the DCP; this includes controls for Inter-War flat buildings (Chapter B3 Section [B3.8.7](#)). Where there is an inconsistency, the ~~controls below~~ [provisions at B2.1](#) take precedence.

~~B2.5~~ ~~Leftus Road and Mona Road, Darling Point~~

| Objectives | Controls |
|--|---|
| O1 To ensure that the significant characteristics of Inter-War flat buildings are retained and protected. | C1 Original fabric, finishes and architectural features representative of the Inter-War Mediterranean style are retained, including: |
| O2 To conserve the principal elevation of the heritage items and contributory items. | a) timber shutters b) Marseille tiled roofs; c) Juliet balconies; and d) arched openings. |
| O3 To conserve the established garden settings, including original elements and features. | C4 Established garden settings are retained, including the garden terraces, landscape plantings and sandstone retaining walls. |

Commented [DCP138]: Remove these provisions as there are now new provisions for all NHCAs at B2.1. For Inter-War flat buildings, the existing provisions at B3.8.7 also apply.

Commented [DCP139]: Remove to avoid duplication with provisions at B3.8.7.

Commented [DCP141]: Remove to avoid duplication with provisions at B3.8.7.

Commented [DCP140]: Replaced by O1 in B2.1.7

Commented [DCP142]: Replaced by O10 in B2.1.7

Commented [DCP143]: Replaced by C15 in B2.1.7

B2.6 Aston Gardens, Bellevue Hill

MAP 65 Aston Gardens HCA heritage conservation area



Commented [DCP144]: Renumber map number and include acronym for HCA.

Statement of significance

The Aston Gardens HCA is an outstanding group of significant **Inter-War** flat buildings designed by prominent architects that remain largely intact **in their fabric, 1927 subdivision pattern and garden settings**. ~~The subdivision pattern of the street dates from 1927 and also remains largely intact. The garden settings are also mostly intact.~~

Commented [DCP145]: Enhance wording outlining significant elements of this HCA.

Aston Gardens is rare in that nearly every architectural style of the Inter-War period is represented in the one street. Many of the flats are large and many originally included servant's quarters. The area is significant in demonstrating the move away from large freestanding houses to modern and fashionable flats during the Inter-War period and the changing planning regulations increasing the density of the inner suburbs of Sydney.

The **Inter-War** flat buildings are 2 to 4 storeys in height, in Spanish Mission, Georgian Revival and Art Deco styles in a landscaped garden setting. The intact subdivision occupies the north-east facing slope that falls steeply away from Victoria Road. The buildings are constructed of face brick or rendered brick with generally timber double hung windows (some with timber shutters) and generally hipped and gabled roof forms with terra cotta roof tiles. The facades feature decorative render/plasterwork, and/or brick detailing. ~~There are limited view corridors to Rose Bay between the buildings and most of the garaging is accessed from the rear lane.~~

Commented [DCP146]: Remove as this is a note that does not enhance the statement of significance.

Desired future character

- Development is to conserve the significant ~~fabric character elements~~ of the Aston Gardens HCA, ~~particularly the buildings, their settings and street presentation~~. This includes retaining contributory items as well as their curtilage. Development is to comply with the provisions outlined in B3.8.7.

Commented [DCP147]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Commented [DCP148]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Commented [DCP149]: Insert a note to ensure all heritage items in NHCA are also considered contributory items.

| Contributory items | |
|---------------------------------|---|
| 1 Aston Gardens | ‘Gloucester House’, Inter-War flat building |
| 2 Aston Gardens | Inter-War flat building |
| 3 Aston Gardens | ‘Novar’, Inter-War flat building |
| 4 Aston Gardens | ‘Kalorama’, Inter-War flat building |
| 5 Aston Gardens | Inter-War flat building |
| 6 Aston Gardens | ‘Braemar’, Inter-War flat building |
| 7 Aston Gardens | ‘Miramar’, Inter-War flat building |
| 8 Aston Gardens | ‘Mirradong’, Inter-War flat building |
| 9 Aston Gardens | ‘Cranston’, Inter-War flat building |

Note:

- The Aston Gardens HCA is located within the Bellevue Hill North precinct. The precinct character statement for the Bellevue Hill North precinct in Chapter B1 ~~in this part of the DCP and B2.6~~ is to be read in conjunction with the ~~controls below~~ [provisions at B2.1](#).
- The ~~controls below~~ [provisions at B2](#) apply in addition to the general development controls in Chapter B3 in this part of the DCP; this includes controls for Inter-War flat buildings (Chapter B3 Section [B3.8.7](#)). Where there is an inconsistency, the ~~controls below~~ [provisions at B2.1](#) take precedence.

Commented [DCP150]: Make reference to new provisions at B2.1.

B2.6 Aston Gardens, Bellevue Hill**Objectives****Controls**

~~O1 To conserve the buildings and their settings.~~

~~O2 To conserve the principal elevation.~~

~~O3 To protect important views from the public domain to the harbour and to the surrounding districts.~~

~~Note: Refer to Part B of the DCP, Chapter B3, General Development Controls Section 3.8.7 Inter War flat buildings~~

~~C1 Development maintains the views and glimpses between buildings from the public domain as shown on the HCA precinct map.~~

~~C2 Development on the low side of the street preserves views from the street to surrounding areas by providing substantial breaks between buildings, car parking and other structures and front fences.~~

Commented [DCP151]: Remove these provisions as there are now new provisions for all NHCAs at B2.1. For Inter-War flat buildings, the existing provisions at B3.8.7 also apply.

Commented [DCP152]: Replaced by O1 and O10 in B2.1.7

Commented [DCP154]: Removed to avoid duplication

Commented [DCP153]: Replaced by O1 in B2.1.7

Commented [DCP155]: Remove to avoid duplication with B3.5.3

Commented [DCP156]: Replaced by C27 in B2.1.7 and B3.5.3

Commented [DCP157]: Replaced by C27 in B2.1.7 and B3.5.3

B2.7 Victoria Road, Bellevue Hill

MAP 76 Victoria Road HCA heritage conservation area



Commented [DCP158]: Renumber map number and include acronym for HCA.

Statement of significance

The Victoria Road HCA is located to the southern side of Victoria Road near the upper limits of Cooper Park at 165-179 Victoria Road, Bellevue Hill. The HCA contains a cohesive group of buildings which demonstrates the forms and styles employed in the consolidation of residential areas of the Woollahra Municipality in the late Inter-War period.

The buildings demonstrate the aesthetic preferences of late Inter-War development by a variety of persistent revival styles, namely the Inter-War Old English and Georgian Revival styles, and the increasingly modern Inter-War Art Deco and Functionalist styles. The buildings are consistent in scale, mass and orientation to the street.

The buildings are of smooth and textured face brick construction with terracotta Marseille tile roofs, partially concealed by raised and detailed brick parapets to the street frontage. ~~These generally retain painted timber frame windows and glazed doors, which contrast with the deep red of the face brick exteriors. The use of common finishes of textured and smooth faced brickwork, terra cotta tile, quarry faced sandstone and timber framed windows and doors, provides cohesiveness within the group and enhances its aesthetic significance.~~

Commented [DCP159]: Remove as this is more of a description and does not enhance the statement of significance. Information on finishes which enhance the significance is contained in the following paragraph.

Typical materials include polychromatic brickwork incorporating heraldic motifs and label moulds, tapestry pattern brickwork and stepped and vertically aligned brickwork to parapets

which enhances the HCA's aesthetic significance. Coloured lead lighting patterned glazing to express stairways and multi-paned window sashes reinforce the eclectic use of stylistic elements in the buildings. Raised parapets and high gables provide silhouetted forms against the skyline whilst sandstone faced basement garages provide a pediment to many of the buildings. Specialised finishes include limited use of glazed architectural terracotta, chromed door hardware and timber panelling to the entry lobbies.

Commented [DCP160]: Enhancing the aesthetic significance of the HCA.

The buildings, whilst commonly altered in detail, retain external forms, fabric, detailing and hard landscaping from the original period of construction. ~~For example, the residential flats retain some terraced flagstone paving and entry stairs to narrow side passageways.~~

Commented [DCP161]: Remove reference to individual examples as the statement of significance references the whole HCA.

~~In addition,~~ ~~the~~ group retains much of its original landmark relationship to Victoria Road and the ridgeline setting opposite the upper boundary of Cooper Park.

Commented [DCP162]: Enhance wording to conclude the statement of significance.

Desired future character

- Development is to conserve the significant fabric and cohesive character of the Inter-War flat buildings in the Victoria Road HCA, ~~including the external building forms, fabric, detailing and hard landscaping from the original period of construction.~~ This includes retaining heritage items and contributory items as well as their curtilage. Development is to comply with the provisions outlined in B3.8.7.

Commented [DCP163]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Commented [DCP164]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Commented [DCP165]: Insert a note to ensure all heritage items in NHCA are also considered contributory items.

| Contributory items | |
|------------------------------|---|
| <u>169-171 Victoria Road</u> | <u>'Hillcrest,' Inter-War flat building</u> |
| <u>175 Victoria Road</u> | <u>Inter-War flat building</u> |
| <u>177 Victoria Road</u> | <u>Inter-War flat building</u> |
| <u>179 Victoria Road</u> | <u>Inter-War flat building</u> |

Note:

- The Victoria Road HCA is located within the Bellevue Hill South precinct. The precinct character statement for the Bellevue Hill South precinct in Chapter B1 ~~in this part of the DCP and B2.7~~ is to be read in conjunction with the ~~controls below provisions at B2.1.~~
- The ~~controls below provisions at B2~~ apply in addition to the general development controls in Chapter B3 in this part of the DCP; this includes controls for Inter-War flat buildings (Chapter B3 Section B3.8.7). Where there is an inconsistency, the ~~controls below provisions at B2.1~~ take precedence.

Commented [DCP166]: Make reference to new provisions at B2.1.

B2.7 Victoria Road, Bellevue Hill

| Objectives | Controls |
|---|--|
| O1 To conserve the buildings and their settings. | C1 The visual dominance and cohesiveness of the group of Inter War flat buildings is retained. |
| O2 To conserve the principal elevation. | C2 Development does not obscure or reduce the visual relationship of the buildings to each other, and to the street frontage. |

Commented [DCP167]: Remove these provisions as there are now new provisions for all NHCAs at B2.1. For Inter-War flat buildings, the existing provisions at B3.8.7 also apply.

Commented [DCP168]: Replaced by O1 and O10 in B2.1.7 and also O1 and O2 of B3.8.7

Commented [DCP170]: Replaced by C8 in B2.1.7

Commented [DCP169]: Replaced by O1 in B2.1.7

Commented [DCP171]: Replaced by C8 in B2.1.7

B2.8 Balfour Road, Rose Bay Bellevue Hill**MAP 78 Balfour Road HCA heritage conservation area**

Commented [DCP172]: Administrative change.

Commented [DCP173]: Renumber map number and include acronym for HCA.

Replace map as the boundary is inconsistent with the area identified in the Woollahra LEP 2014.



Statement of significance

The Balfour Road HCA lies in the valley of Rose Bay in proximity to the harbour foreshore just south of New South Head Road, and is characterised by Inter-War houses and flat buildings ~~which form a substantially cohesive and intact group.~~

This HCA represents the intensified residential development of Bellevue Hill and Rose Bay in the Inter-War period following subdivisions of the Beresford Estate ~~Ryan's Dairy earlier in the century~~ and the introduction of regular public transport along New South Head Road after 1903.

The housing stock comprises bungalows and flat buildings ~~Most buildings in this HCA are high-quality two and three-storey 'builder's blocks' of residential flat buildings~~ dating from the mid-1920s and mid-1930s, ~~which display distinctive architectural characteristics of the Inter-War period.~~ Many demonstrate outstanding craftsmanship in brick detailing and remain substantially unaltered from their original appearance, incorporating distinctive design motifs and original low brick fences of the Inter-War period. The facebrick flat buildings ~~combine to~~ create cohesive streetscapes of similarly scaled and detailed buildings with open landscaped front yards set in wide tree lined avenues. The houses are typical bungalows dating from the late Federation and Inter-War period.

The precinct has heritage significance at a local level for values related to historic evolution and aesthetic values and represents the local heritage theme of suburban expansion and consolidation. ~~The significant streetscape is the Balfour Road streetscape, between Powell Road and Plumer Road.~~

Commented [DCP174]: Amend the statement of significance to include houses as contributory items and remove the reference to a cohesive group, given the lack of cohesiveness of the HCA noted in the field surveys.

Commented [DCP175]: Remove, as there is no evidence to support this statement.

Commented [DCP176]: Enhance the statement of significance to make it stronger.

Commented [DCP177]: Amend the statement of significance to include houses as contributory items.

Commented [DCP178]: Remove this text as it does not enhance the HCA's statement of significance.

The Beresford Estate subdivision ~~public domain~~ is characterised by a rectilinear road and subdivision pattern that provides visual and functional links to surrounding areas including the harbour and the nearby golf club.

Commented [DCP179]: Enhance the wording in the statement of significance to make it stronger.

Note: This HCA contains a local neighbourhood centre, known as the Plumer Road shops. The shops have a business zoning; the relevant objectives and controls for these buildings are contained in Part D of the DCP, Chapter D2 Mixed Use Centres and Chapter D3 General Controls for Neighbourhood and Mixed Use Centres ~~D4 Neighbourhood Centres and Chapter~~.

Desired future character

- Development is to retain the significant fabric and key values of the Balfour Road HCA included in the statement of significance. Development is to comply with the provisions outlined in B2.1. ~~To maintain the cohesive streetscape appearance of the two to three storey Inter-War flat buildings, of face brickwork, with low brick fences, uniform setbacks, side driveways for parking and substantial street plantings.~~

Commented [DCP180]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Commented [DCP181]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Commented [DCP182]: Insert a note to ensure all heritage items in NHCAs are also considered contributory items.

| Contributory items | |
|--|--|
| <u>11 Balfour Road</u> | <u>Inter-War flat building</u> |
| <u>13 Balfour Road</u> | <u>Inter-War flat building</u> |
| <u>14 Balfour Road</u> | <u>Inter-War flat building</u> |
| <u>15 Balfour Road</u> | <u>Inter-War house</u> |
| <u>16 Balfour Road</u> | <u>Inter-War Californian Bungalow</u> |
| <u>17 Balfour Road</u> | <u>'Bognor', Inter-War flat building</u> |
| <u>20 Balfour Road</u> | <u>'Gladstone Hall', Inter-War flat building</u> |
| <u>22 Balfour Road</u> | <u>'Ashton', Inter-War flat building</u> |
| <u>24 Balfour Road</u> | <u>'Woodburn', Inter-War flat building</u> |
| <u>26 Balfour Road</u> | <u>'Tudor Towers', Inter-War flat building</u> |
| <u>27 Balfour Road</u> | <u>Inter-War flat building</u> |
| <u>28 Balfour Road</u> | <u>Inter-War flat building</u> |
| <u>29 Balfour Road</u> | <u>Inter-War flat building</u> |
| <u>30 Balfour Road</u> | <u>'Loxley', Inter-War flat building</u> |
| <u>31 Balfour Road (aka 5 Plumer Road)</u> | <u>Inter-War flat building</u> |

| Contributory items | |
|--|--|
| 32 Balfour Road | ‘Chiltern’, Inter-War flat building |
| 33 Balfour Road (aka 22 Plumer Road) | Inter-War flat building |
| 34-36 Balfour Road (aka 3 Plumer Road) | ‘Yalabee’, Inter-War flat building |
| 7 Plumer Road | Inter-War substation |
| 9-23 Plumer Road | Inter-War commercial building |
| 2 Powell Road | Inter-War flat building |
| 4 Powell Road | Inter-War flat building |
| 71 O’Sullivan Road | Inter-War flat building |
| 73 O’Sullivan Road | Inter-War house |
| 81 O’Sullivan Road | ‘Golf View Court’, Inter-War flat building |
| 83 O’Sullivan Road | Inter-War flat building |
| 85 O’Sullivan Road | ‘Knowle Court’, Inter-War flat building |
| 87 O’Sullivan Road | Inter-War flat building |
| 89-93 O’Sullivan Road (aka 24 Plumer Road) | Inter-War commercial building |
| 99 O’Sullivan Road | ‘Glamis’, Inter-War flat building |
| 20 Salisbury Road | Inter-War Bungalow |
| 22 Salisbury Road | Inter-War Bungalow |
| 24 Salisbury Road | Inter-War Bungalow |
| 26 Salisbury Road | Inter-War Bungalow |
| 28 Salisbury Road | ‘St Dunstons’ Inter-War flat building |
| 30 Salisbury Road | ‘Inter-War flat building’ |
| 32 Salisbury Road | ‘Tarana’, Inter-War flat building |
| 34 Salisbury Road | Inter-War flat building |
| 36 Salisbury Road | ‘Cranston’, Inter-War flat building |
| 38 Salisbury Road | ‘Darlington’, Inter-War flat building |
| 40 Salisbury Road (aka 1 Plumer Road) | Inter-War flat building |
| Balfour Road | Street trees |
| Salisbury Road | Street trees |
| O’Sullivan Road | Street trees |

Note:

- ▶ The Balfour Road HCA is located within the Bellevue Hill North precinct. The precinct character statement for the Bellevue Hill North precinct in Chapter B1 ~~in this part of the DCP and B2.8~~ is to be read in conjunction with the ~~controls~~ provisions at B2.1 below.
- ▶ The ~~controls below provisions at B2~~ apply in addition to those in Chapter B3 of this part of the DCP, General Development Controls, including controls for Inter-War flat buildings (Section B3.8.7). Where there is an inconsistency, the ~~controls below~~ provisions at B2.1 take precedence.

Commented [DCP183]: Make reference to new provisions at B2.1.

B2.8 Balfour Road, Rose Bay

| Objectives | Controls |
|--|--|
| O1 To conserve the buildings and their landscape settings. | C1 Development maintains a uniform front setback with no substantial structures within this setback. |
| O2 To maintain the streetscape appearance with uniform setbacks. | C2 New development provides front setbacks which are the same as those on adjoining lots. Where adjoining lots have different setbacks, then an average of the two is provided. |
| | C3 New development maintains the existing building separation pattern by providing a side driveway, or similar setback to one side boundary. |
| | C4 For corner sites the secondary frontage may have a small setback, similar to existing corner developments. |
| | C5 New development provides additional street tree plantings and includes appropriate landscaping of the front setback. |
| | C6 The existing tree canopy is retained. |
| | C7 No avenue street trees are removed unless they pose a risk. |
| O3 To maintain existing building scale, form and height, and ensure new development is compatible with the streetscape. | C8 No increase in height of existing buildings. |
| | C9 New development is not more than three storeys. |
| | C10 Notwithstanding C9 above, new development is not higher than |

Commented [DCP184]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP185]: Replaced by O1 and O10 in B2.1.7

Commented [DCP187]: Replaced by C13, C15 and C25 in B2.1.7

Commented [DCP186]: Replaced by O15, O16 and O17 in B2.1.7

Commented [DCP188]: Replaced by C13 and C25 in B2.1.7

Commented [DCP189]: Replaced by C27 in B2.1.7

Commented [DCP190]: Removed as this control is captured in C13 for side additions and C25 for infill development in B2.1.7

Commented [DCP191]: Partly replaced by C15 and C16 in B2.1.7.

Commented [DCP192]: Replaced by C16 in B2.1.7

Commented [DCP193]: Replaced by C16 in B2.1.7

Commented [DCP194]: Replaced by more specific objectives O5 (for alterations and additions), and O15, O16, O17 and O18 (for infill development) in B2.1.7

Commented [DCP195]: Remove this numerical control to avoid potential conflicts with the Woollahra LEP 2014 development standards.

Commented [DCP196]: Remove this numerical control to avoid potential conflicts with the Woollahra LEP 2014 development standards.

Commented [DCP197]: Remove this numerical control to avoid potential conflicts with the Woollahra LEP 2014 development standards.

B2.8 Balfour Road, Rose Bay

| Objectives | Controls |
|--|---|
| | development on the adjoining land. |
| | C11 New development displays similar roof form and pitch of the adjoining buildings, particularly when viewed from the street. |
| O6 To ensure that the character of original roofscapes is maintained. | C12 An additional storey is not permitted in the roof structure of existing buildings. |
| | C13 New roofs are a similar pitch and style (i.e. hipped and gabled) and use similar materials (i.e. terracotta tiles/slate). |
| | C14 Dormer windows are not permitted in existing or proposed roofs. |
| O7 To maintain the streetscape appearance of low brick fences. | C15 New front fences are low and open, typically with low brick piers and infill. |
| | C16 Low hedges may be used as infill for fences. |
| | C17 Fences are not permitted in the front setback area to divide the area into courtyards for individual flats. |
| | C18 Secondary frontages on corner blocks have no fence, or a very low fence and landscaping. |
| O8 To ensure that parking and access does not detract from the cohesive streetscape appearance. | C19 Parking spaces, carports or garages are not permitted in the front setback. |
| | C20 Parking is located at the rear of buildings with side driveways, consistent with the historical pattern in the area. |

Commented [DCP184]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP198]: Replaced by C28 in B2.1.7

Commented [DCP199]: Replaced by O1 and O8 of B2.1.7

Commented [DCP200]: Replaced by C1, C3, C9 and C11 in B2.1.7

Commented [DCP201]: Replaced by C2 and C28 in B2.1.7

Commented [DCP202]: Remove as it conflicts with C3 of B2.1.7

Commented [DCP203]: Replaced by O14 in B2.1.7

Commented [DCP204]: Replaced by C21 in B2.1.7

Commented [DCP205]: Replaced by C21 in B2.1.7

Commented [DCP206]: Replaced by C21 in B2.1.7

Commented [DCP207]: Replaced by C21 in B2.1.7

Commented [DCP208]: Replaced by O12 in B2.1.7

Commented [DCP209]: Replaced by C18 and C19 in B2.1.7

Commented [DCP210]: Replaced by C18 and C19 in B2.1.7

B2.9 Beresford Estate, Bellevue Hill Rose Bay

MAP 89 Beresford Estate HCA heritage conservation area



Commented [DCP211]: Renumber map number and include acronym for HCA.

Statement of significance

The Beresford Estate HCA in Balfour Road, Rose Bay, is a Federation Arts and Crafts Group, which represents the early subdivision and development of the Beresford Estate close to New South Head Road in the first decades of the 20th century. It provides evidence of the historic processes related to this part of the suburb through the subdivision of the grounds of the Rose Bay Lodge and as a result of the introduction of the Rose Bay Tram service in 1903.

The group demonstrates a variety of characteristic external elements of the Federation Arts and Crafts style of architecture, including broad walls of rough cast render with face brick often on sandstone bases, dominant roofs in slate or terracotta tiles with prominent chimneys, and decorative timber detailing. These demonstrate the fashionable use of prominent gable features and arched openings and occasional buttressed walls. The gardens generally remain as informal layouts, retaining mature trees and original stone walls with wrought iron details or brick fencing with timber details.

The dwellings and their gardens form a cohesive and aesthetically significant group, and are representative of Federation dwellings in Rose Bay. ~~although the buildings have undergone some degree of modification, these are generally sympathetic to their original character.~~

Commented [DCP212]: Reword as this text does not enhance the statement of significance.

Desired future character

- Development is to conserve the significant fabric elements of the Federation Arts and Crafts Group in the Beresford Estate HCA, including the dominant roofs, prominent chimneys, decorative timber detailing of the buildings, mature trees, original stone walls and fences. This includes retaining heritage items, contributory items as well as their curtilage. Development is to comply with the provisions outlined in B2.1.

Commented [DCP213]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Commented [DCP214]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Commented [DCP215]: Insert a note to ensure all heritage items in NHCAs are also considered contributory items.

Contributory items

| | |
|------------------------|---------------------------------------|
| <u>2 Balfour Road</u> | <u>'Glen Alpin', Federation house</u> |
| <u>3 Balfour Road</u> | <u>Federation house</u> |
| <u>4 Balfour Road</u> | <u>Federation house</u> |
| <u>6 Balfour Road</u> | <u>Federation house</u> |
| <u>8 Balfour Road</u> | <u>Federation house</u> |
| <u>10 Balfour Road</u> | <u>Federation house</u> |
| <u>12 Balfour Road</u> | <u>Federation house</u> |

Note:

- The Beresford Estate HCA is located within the Bellevue Hill North precinct. The precinct character statement for the Bellevue Hill North precinct in Chapter B1 in this part of the DCP and B2.9 is to be read in conjunction with the provisions at B2.1-controls below.
- The controls below provisions at B2 apply in addition to the general development controls in Chapter B3 in this part of the DCP, including controls for Inter-War residential flat buildings (Section B3.8.7). Where there is an inconsistency, the controls below-provisions at B2.1 take precedence.

B2.9 Beresford Estate, Rose Bay

| <u>Objectives</u> | <u>Controls</u> |
|---|---|
| <u>O1 To maintain the streetscape character.</u> | <u>C1 Original principal roof forms, including roof pitch, eaves height and chimneys, are retained.</u> |
| <u>O2 To conserve the buildings and their settings.</u> | <u>C2 Alterations to the original details, materials or finishes of the principal form are not permitted, except for restoration or reconstruction.</u> |

Commented [DCP216]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP217]: Replaced by O7 in B2.1.7

Commented [DCP219]: Replaced by C3, C9 and C10 in B2.1.7

Commented [DCP218]: Replaced by O1 and O10 in B2.1.7

Commented [DCP220]: Replaced by C1 in B2.1.7

B2.9 Beresford Estate, Rose Bay

| Objectives | Controls |
|--|--|
| | C3 Original verandahs are not in-filled. |
| | C4 Room layout and original proportions are retained. |
| | C5 Elements of the established garden settings are retained, including mature trees, original pathways, gates and front fencing forward of the building line. |
| O3 To maintain the streetscape appearance with uniform setbacks. | C6 Front setbacks are consistent with the group. |
| O4 To ensure that parking and access does not detract from the streetscape appearance. | C7 Car parking is located behind the building line. |
| | C8 Where there is no side setback greater than 3m any existing car parking structure forward of the building line may only be replaced by a single pergola structure forward of the building line and to the side of the property. |
| O5 To maintain the existing building scale, form and height, and ensure new development is compatible with the streetscape. | C9 Development is a maximum two-storey high with pitched roof forms. The scale and character is consistent with the group. |
| | C10 Additions may be located at the rear or in the principal roof form, provided no alteration to the principal roof form, including dormers, is visible from the public domain. |
| | C11 Additions at the side of a residential building may only be permitted if: <ul style="list-style-type: none"> a) the addition is designed to respect and enable interpretation of the form of the existing building; and b) additions are set behind the main ridgeline of the existing building so that the forms are secondary to the existing building. |

Commented [DCP216]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP221]: Replaced by C4 in B2.1.7.

Commented [DCP222]: Replaced by C6 in B2.1.7.

Commented [DCP223]: Replaced by C15 in B2.1.7.

Commented [DCP224]: Replaced by O15, O16 and O17 in B2.1.7.

Commented [DCP226]: Replaced by C13, C15 and C25 in B2.1.7.

Commented [DCP225]: Replaced by O12 in B2.1.7.

Commented [DCP227]: Replaced by C18 and C19 in B2.1.7.

Commented [DCP228]: Replaced by C19 in B2.1.7.

Commented [DCP229]: Replaced by more specific objectives O5 (for alterations and additions), and O15, O16, O17 and O18 (for infill development) in B2.1.7.

Commented [DCP230]: Remove this numerical control to avoid potential conflicts with the Woollahra LEP 2014 development standards. Partially replaced by C11, C12 and C23 in B2.1.7.

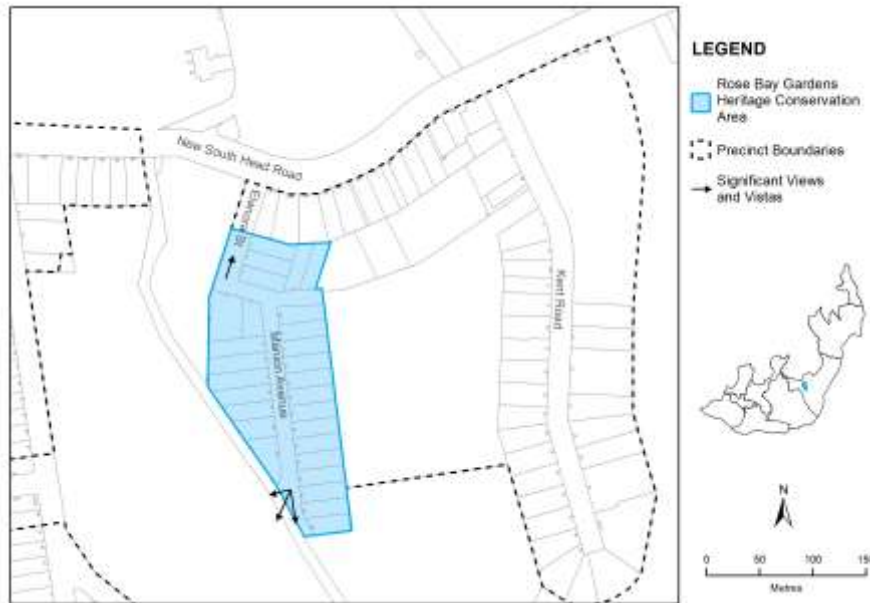
Commented [DCP231]: Replaced by C1, C3, C9 and C11 in B2.1.7.

Commented [DCP232]: Replaced by C13 in B2.1.7.

B2.10 Rose Bay Gardens Estate, Rose Bay

MAP 910 Rose Bay Gardens Estate HCA heritage-conservation area

Commented [DCP233]: Renumber map number and include acronym for HCA.



Statement of significance

The Rose Bay Gardens Estate HCA is situated in the flat valley behind Rose Bay south of New South Head Road and Lyne Park. This HCA contains an outstanding group of largely intact Inter-War flat buildings dating from 1930 to 1939, some of which were designed by prominent architects.

The buildings are two to three storeys and constructed of face brick with Art Deco detailing, generally timber double-hung windows and generally hipped and gabled roof forms with terracotta roof tiles. The facades feature decorative render, plasterwork, and/or brick detailing. The buildings also have a landscaped garden setting and low masonry front fences, which complement the buildings.

The group has retained their garden settings, and the subdivision pattern of the street is intact. The area is significant in demonstrating the move away from large freestanding houses to modern and fashionable flats in the Inter-War period and the changing planning regulations increasing the density of the inner suburbs of Sydney.

Desired future character

- Development is to retain the significant fabric and cohesive character ~~character elements~~ of the Inter-War flat buildings in the Rose Bay Gardens Estate HCA, ~~including the buildings, their settings and the views from the public domain to and between the buildings, the golf course and Lyne Park.~~ This includes retaining contributory items as well as their curtilage. Development is to comply with the provisions outlined in B3.8.7.

Commented [DCP234]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Commented [DCP235]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Commented [DCP236]: Insert a note to ensure all heritage items in NHCAs are also considered contributory items.

Contributory items

| | |
|-------------------------|--|
| <u>1 Elanora Street</u> | <u>'Bonny View', Inter-War flat building</u> |
| <u>3 Elanora Street</u> | <u>'Tintagel', Inter-War flat building</u> |
| <u>5 Elanora Street</u> | <u>'Toorak', Inter-War flat building</u> |
| <u>1 Iluka Street</u> | <u>'Cardwell', Inter-War flat building2</u> |
| <u>2 Iluka Street</u> | <u>'Roslyn', Inter-War flat building</u> |
| <u>3 Iluka Street</u> | <u>Inter-War flat building</u> |
| <u>4 Iluka Street</u> | <u>'Dorchester', Inter-War flat building</u> |
| <u>1 Manion Avenue</u> | <u>'Gainsborough', Inter-War flat building</u> |
| <u>2 Manion Avenue</u> | <u>'Kinvarra', Inter-War flat building</u> |
| <u>3 Manion Avenue</u> | <u>'Embassy', Inter-War flat building</u> |
| <u>4 Manion Avenue</u> | <u>'Carnarvon', Inter-War flat building</u> |
| <u>5 Manion Avenue</u> | <u>'Werrington', Inter-War flat building</u> |
| <u>6 Manion Avenue</u> | <u>'Clairvaux', Inter-War flat building</u> |
| <u>7 Manion Avenue</u> | <u>'Rosemont', Inter-War flat building</u> |
| <u>8 Manion Avenue</u> | <u>Inter-War flat building</u> |
| <u>9 Manion Avenue</u> | <u>'Toronto', Inter-War flat building</u> |
| <u>10 Manion Avenue</u> | <u>'Greystanes', Inter-War flat building</u> |
| <u>11 Manion Avenue</u> | <u>'Novacastria', Inter-War flat building</u> |
| <u>12 Manion Avenue</u> | <u>'Cardington', Inter-War flat building</u> |
| <u>13 Manion Avenue</u> | <u>'Marlborough', Inter-War flat building</u> |
| <u>14 Manion Avenue</u> | <u>'Chiswick', Inter-War flat building</u> |
| <u>15 Manion Avenue</u> | <u>'Cambridge', Inter-War flat building</u> |

Contributory items

| | |
|----------------------------------|---|
| 16 Manion Avenue | ‘Chatsworth’, Inter-War flat building |
| 18 Manion Avenue | ‘Brenchley’, Inter-War flat building |
| 20 Manion Avenue | ‘Chesterton’, Inter-War flat building |
| 22 Manion Avenue | Inter-War flat building |
| 24 Manion Avenue | Inter-War flat building |
| 26 Manion Avenue | ‘Grantham’, Inter-War flat building |

Note:

- The Rose Bay Gardens Estate is located within the Rose Bay precinct. The precinct character statement for the Rose Bay precinct in Chapter B1 ~~in this part of the DCP~~ [and B2.10](#) is to be read in conjunction with the [provisions at B2.1](#) ~~controls below~~.
- The ~~controls below~~ [provisions at B2](#) apply in addition to the general development controls in Chapter B3 of this part of the DCP, General Development Controls, including controls for Inter-War flat buildings (Section [B3.8.7](#)). Where there is an inconsistency, the ~~controls below~~ [provisions at B2.1](#) take precedence.

~~B2.10 Rose Bay Gardens Estate, Rose Bay~~

| Objectives | Controls |
|--|--|
| O1 To retain and conserve the buildings and their settings. | C1 The building and its setting is conserved in accordance with the Inter-War flat building controls in Chapter B3 Section 3.8.7. |
| O2 To protect important views from the public domain. | C2 Views from the street and public open space areas to the harbour and other parts of the city must be retained. |
| | C3 Development maintains the significant views and vistas identified on the map for the HCA. |

Commented [DCP237]: Make reference to new provisions at B2.1 and enhance existing wording.

Commented [DCP238]: Remove these provisions as there are now new provisions for all NHCAs at B2.1. For Inter-War flat buildings, the existing provisions at B3.8.7 also apply.

Commented [DCP239]: Removed to avoid duplication with B3.8.7

Commented [DCP240]: Removed as it is more of a note than a control.

Commented [DCP241]: Removed to avoid duplication with B3.5.3

Commented [DCP242]: Replaced by C27 in B2.1.7 and B3.5.3

Commented [DCP243]: Replaced by C27 in B2.1.7 and B3.5.3

B2.11 Kent Road, Rose Bay

MAP 1011 Kent Road HCA heritage conservation area



Commented [DCP244]: Renumber map number and include acronym for HCA.

Statement of significance

Kent Road is a long cul-de-sac located off the southern side of New South Head Road opposite the reclaimed land, which forms Lyne Park. It is an important part of the extended setting of the Royal Sydney Golf Club, with the road and its related subdivision creating the western edge of the golf links. The golf clubhouse is located at the lower northern end where it is the dominant element.

The Kent Road HCA represents a distinct, isolated pocket of residential development in the Rose Bay area, arising directly from the historical development and financial activities of the Royal Sydney Golf Club.

The road is dominated at its lower end by the impressive mass and detail of the historically, aesthetically and socially significant 1920s Clubhouse building and its immediate setting.

~~The other Contributory~~ buildings in the street ~~are fall into three broad categories:~~

- ▶ substantial late Federation era Arts & Crafts style houses on the eastern side of the road overlooking the golf links which were well established before the 1919 "Knoll" subdivision sale ~~and are now largely modified;~~ and
- ▶ Inter-War flats and houses built between 1920 and the late 1930s which were a direct result of rapid residential expansion of Rose Bay following the First World War; ~~and~~

Commented [DCP245]: Enhance the statement of significance in light of the recent court approval for 30 Kent Road, where the Commissioner interpreted this paragraph of the statement of significance as a simple list of features and not a list of significant items in the HCA.

- ~~infill developments which have replaced earlier buildings or vacant sites in the late 20th century.~~

Amongst these buildings are a number of excellent representative and rare examples of Inter-War residential development by prominent architects which are of local significance within the Woollahra Municipality.

Kent Road itself is wide with street trees of varying species and maturity, along with wide verges and footpaths. It rises steeply to the 'knoll' and contains a double bend following the contours, which adds to the character of the streetscape, creating a series of enclosed vistas. The road terminates in the cul-de-sac with views over the Golf links and beyond up to Dover Heights.

The area also has significant aesthetic qualities arising from the overall form and layout of the subdivision, the presence of prominent mature gardens and the character created by a variety of substantial street tree plantations.

Desired future character

- Development is to retain significant fabric and key values of the Kent Road HCA included in the statement of significance. This includes retaining heritage items and contributory items as well as their curtilage. Development is to comply with the provisions outlined in B2.1.
- ~~To conserve the streetscape characteristics that gives the Kent Road HCA its special sense of identity.~~
- ~~To ensure that individual heritage items are retained and conserved, as well as their streetscape context and curtilage.~~

Commented [DCP246]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Commented [DCP247]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Commented [DCP248]: Insert a note to ensure all heritage items in NHCAs are also considered contributory items.

Contributory items

| | |
|----------------------|---|
| <u>2 Kent Road</u> | <u>'Kentwood', Inter-War flat building</u> |
| <u>10 Kent Road</u> | <u>'Nerong', Inter-War flat building</u> |
| <u>10A Kent Road</u> | <u>'Erifilli', Inter-War flat building</u> |
| <u>12 Kent Road</u> | <u>'Gleneagle', Inter-War flat building</u> |
| <u>14 Kent Road</u> | <u>Inter-War house</u> |
| <u>18 Kent Road</u> | <u>'Penrhos', Inter-War house</u> |
| <u>22 Kent Road</u> | <u>Inter-War house</u> |
| <u>23 Kent Road</u> | <u>'Te Puke', Federation house</u> |
| <u>24 Kent Road</u> | <u>Inter-War flat building</u> |
| <u>25 Kent Road</u> | <u>'Belsize', Federation house</u> |

Commented [DCP249]: Note: The Court has approved the demolition of this flat building. Should the building be demolished, we will amend the list of contributory items.

Contributory items

| | |
|---------------------------------|--|
| 27 Kent Road | ‘Lynton’, Federation house |
| 28 Kent Road | ‘Narua Flats’, Inter-War flat building |
| 29-31 Kent Road | ‘Sama Jean’, Federation house |
| 30 Kent Road | Inter-War house |
| 36 Kent Road | Inter-War house |
| 38 Kent Road | Inter-War flat building |
| Kent Road | Street trees |

Commented [DCP250]: Note: The Court has approved the demolition on this house. Should the building be demolished, we will amend the list of contributory items.

Note:

- The Kent Road HCA is located within the Rose Bay precinct. The precinct character statement for the Rose Bay precinct in Chapter B1 ~~in this part of the DCP~~ [and B2.11](#) is to be read in conjunction with the [provisions at B2.1](#) ~~controls below~~.
- The ~~controls below~~ [provisions at B2](#) apply in addition to the general development controls in Chapter B3 of this part of the DCP, General Development Controls, including controls for Inter-War flat buildings (Section [B3.8.7](#)). Where there is an inconsistency, the ~~controls below~~ [provisions at B2.1](#) take precedence.

Commented [DCP251]: Make reference to new provisions at B2.1.

B2.11 Kent Road, Rose Bay

| Objectives | Controls |
|---|--|
| O1 To conserve the buildings and their settings. | C1 The original fabric of Federation Arts and Crafts buildings is retained. |
| O2 To maintain the streetscape character and scale of buildings. | C2 New buildings, while also encouraging architectural diversity, are of a scale and form compatible with existing buildings and do not dominate the streetscape. |
| O3 To ensure that the landscape character of the streetscape is maintained by preserving the existing tree canopy and encouraging additional planting. | C3 The dominance of vegetation over buildings in the streetscape is conserved. |
| | C4 New development provides additional street tree plantings and includes appropriate landscaping in the front setback. |

Commented [DCP252]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP253]: Replaced by O1 and O10 in B2.1.7.

Commented [DCP255]: Replaced by C1, C2, C3 and C5 in B2.1.7.

Commented [DCP254]: Replaced by O15, O16, O17 and O18 in B2.1.7.

Commented [DCP256]: Replaced by C23, C25, C26, C27 and C28 in B2.1.7.

Commented [DCP257]: Replaced by O11 in B2.1.7.

Commented [DCP258]: Replaced by C15 and C16 in B2.1.7.

Commented [DCP259]: Replaced by C15 and C16 in B2.1.7.

B2.11 Kent Road, Rose Bay

| Objectives | Controls |
|--|--|
| O4 To ensure that development respects the existing subdivision layout and pattern of building separation. | C5 Front setbacks are the same as on adjoining lots. Where adjoining lots have different setbacks, then an average of the two is provided. C6 New development maintains the existing building separation pattern to enable planting of side setbacks and maintenance of views. |
| O5 To ensure development maintains the amenity of the public domain by preserving views to adjoining open space areas and the enclosed vistas of the streetscape. | C7 Development maintains and enhances views between buildings. |
| O6 To maintain the variety of exterior building materials and ensure conservation of streetscape character. | C8 Any replacement of original building fabric is of a similar material and type (e.g. timber for timber, terracotta tiles). |
| O7 To ensure that external facades are sympathetic to the original building and the predominant streetscape character. | C9 No painting, bagging or rendering of original face brickwork. C10 No infilling (by glazing or otherwise) of original verandahs or balconies. C11 New structures or additions visible from the public domain use compatible materials. C12 New roofs are a similar pitch and style (i.e. hipped or gabled), and use similar materials (i.e. terracotta tiles or slate). C13 Roof structures, such as skylights and solar panels, are not to be visible from the street. |

Commented [DCP252]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP260]: Replaced by O15 and O16 in B2.1.7.

Commented [DCP261]: Replaced by C13 for alterations and additions and C25 for infill development in B2.1.7.

Commented [DCP262]: Replaced by C27 in B2.1.7.

Commented [DCP263]: Remove to avoid duplication with B3.5.3

Commented [DCP264]: Replaced by C27 in B2.1.7 and B3.5.3

Commented [DCP265]: Replaced by O7 in B2.1.7

Commented [DCP267]: Replaced by C2 in B2.1.7

Commented [DCP266]: Replaced by O7 and O8 for alterations and additions and O17 for infill development in B2.1.7

Commented [DCP268]: Replaced by C5 in B2.1.7

Commented [DCP269]: Replaced by C4 in B2.1.7

Commented [DCP270]: Replaced by C14 in B2.1.7

Commented [DCP271]: Replaced by C2 and C28 in B2.1.7

Commented [DCP272]: Replaced by C29 in B2.1.7

B2.11 Kent Road, Rose Bay

| Objectives | Controls |
|---|---|
| O8 To ensure that significant fences are conserved. | C14 Sandstone walls are retained. |
| O9 To ensure that new front fences are compatible with the streetscape character of the HCA. | C15 Original front fences and gates are retained, where practical. |
| | C16 New front fences and gates designed to be compatible with the streetscape: <ul style="list-style-type: none"> a) On the western side of Kent Road fences are low. b) On the eastern side fences reflect the characteristic sandstone base with open or vegetated infill. |
| | C17 New fences and gates are a height similar to fences on adjoining blocks (generally 400mm-900mm). |
| O10 To ensure that on-site parking does not dominate the streetscape. | C18 No garages or carports are located within the front building setback. |

Commented [DCP252]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP273]: Replaced by O13 in B2.1.7.

Commented [DCP275]: Replaced by C19 in B2.1.7.

Commented [DCP276]: Replaced by C20 in B2.1.7.

Commented [DCP274]: Replaced by O14 in B2.1.7.

Commented [DCP277]: Replaced by C21 in B2.1.7.

Commented [DCP278]: Replaced by C21 in B2.1.7.

Commented [DCP279]: Replaced by O12 in B2.1.7.

Commented [DCP280]: Replaced by C18 and C19 in B2.1.7.

B2.12 Bell Street, Vaucluse

MAP 1112 Bell Street HCA heritage conservation area



Commented [DCP281]: Renumber map number and include acronym for HCA.

Statement of significance

Bell Street runs south-west of Old South Head Road and falls in that direction. This HCA contains a cohesive collection of 1 and 2 storey late Victorian cottages dating from 1877 to 1892, constructed of weatherboard and corrugated iron with timber double-hung windows and timber panelled doors.

Commented [DCP282]: Enhance the statement of significance by removing a description of the location and remove the reference to individual years in order to ensure all Victorian cottages are protected, regardless of the date of construction.

~~Although some of the buildings have been altered and added to, the alterations and additions are generally sympathetic and allow the original form of the building to still be interpreted.~~ The streetscape includes timber picket fences and street trees.

Commented [DCP283]: Remove this sentence as it does not enhance the statement of significance for the HCA.

Bell Street has strong historical associations with the village of Watsons Bay as it functioned as part of the adjoining village. The group of cottages can still be seen and understood in the context of the nearby Anglican and Roman Catholic Churches which served the village.

On the route to South Head the street forms an important visual introduction to the historic Watsons Bay village, and this scenic quality is enhanced by its location next to the bend of Old South Head Road from where the whole group can be appreciated as a single entity.

The conservation area was part of the Beaconsfield Estate owned by Sir John Robertson and the subdivision pattern he created in 1887 remains intact. Bell Street's weatherboard and corrugated

iron cottages, which form a coherent and contiguous group, are rare in the Woollahra Municipality.

Examples include:

- ▶ ~~No. 7 Bell Street which is associated with a noted 19th century Australian watercolourist Pilford Fletcher Watson, as the cottage was built and used as his home; and~~
- ▶ ~~No. 12 Bell Street, which in fabric and form is a surviving intact example of a late 19th century pattern book construction.~~

Commented [DCP284]: Remove references to individual properties since the statement of significance is a general statement for the whole HCA.

Desired future character

- ▶ Development is to retain the significant fabric and key values of the Bell Street HCA, and enhance the contributory items and their settings in the Bell Street HCA. This includes retaining contributory items as well as their curtilage. Development is to comply with the provisions outlined in B2.1.

Commented [DCP285]: Enhance the desired future character so that it is not formulated as an objective and avoid repetition from the statement of significance.

Contributory Items

While not individually listed as heritage items, contributory items contribute to the character of the HCA and are consisted to contain significant fabric. Contributory items have been identified through heritage studies and surveys undertaken by Council.

Commented [DCP286]: Add new section listing all contributory items identified during recent street-by-street survey and review of development approvals.

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items.

Commented [DCP287]: Insert a note to ensure all heritage items in NHCAs are also considered contributory items.

Contributory items

| | |
|-----------------------|--|
| <u>4 Bell Street</u> | <u>Weatherboard house</u> |
| <u>6 Bell Street</u> | <u>Weatherboard house</u> |
| <u>7 Bell Street</u> | <u>Weatherboard house, associated with noted 19th century Australian watercolourist Pilford Fletcher Watson</u> |
| <u>8 Bell Street</u> | <u>Weatherboard house</u> |
| <u>10 Bell Street</u> | <u>Weatherboard house</u> |
| <u>11 Bell Street</u> | <u>Weatherboard house</u> |
| <u>12 Bell Street</u> | <u>Weatherboard house</u> |
| <u>14 Bell Street</u> | <u>Weatherboard house</u> |
| <u>16 Bell Street</u> | <u>Weatherboard house</u> |
| <u>18 Bell Street</u> | <u>Weatherboard house</u> |

Note:

- ▶ The Bell Street HCA is located within the Vaucluse East precinct. The precinct character statement for the Vaucluse East precinct in Chapter B1 ~~in this part of the DCP and B2.12~~ is to be read in conjunction with the provisions at B2.1 controls below.
- ▶ The ~~controls below~~ provisions at B2 apply in addition to the general development controls in Chapter B3 in this part of the DCP, including controls for Inter-War residential flat buildings

Commented [DCP288]: Make reference to new provisions at B2.1.

(Section B3.8.7). Where there is an inconsistency, the ~~controls below~~ provisions at B2.1 take precedence.



[Figure 2: 12 Bell Street, Vaucluse](#)

Commented [DCP289]: Insert a new caption to Figure 2

B2.12 Bell Street, Vaucluse**Objectives****Controls**

~~O1 To retain the significant character elements of the built form in the Bell Street HCA.~~

~~O2 To ensure that alterations and additions are sympathetic and allow interpretation of the original building form.~~

~~O3 To protect views to and from the public domain of the precinct and to maintain view corridors to the harbour.~~

~~C1 Development corresponds to the front alignment of adjoining buildings.~~

~~C2 Building height corresponds to the height of adjoining buildings and is to be limited to a single storey with attic level and/or, where site and context are suitable, a two storey pavilion style rear extension connected to the cottage by a smaller scaled structure.~~

~~C3 Development follows the established cottage forms with simple, rectangular volumes and traditionally pitched roofs. No flat roofs on primary, street facing, volumes.~~

~~C4 Materials are timber lining boards for walls and corrugated steel for roofs. Exposed or rendered brickwork may be used for walls and tiles for roofs in the case of additions depending on context.~~

~~C5 Garages and car parking structures are set back beyond the front building line.~~

~~C6 Front fences are a maximum 1.2m in height using: timber pickets, timber post and rail with wire inserts, or rendered masonry consistent with the character of the house on the site.~~

~~C7 Views from the street and public open space areas to the harbour and other parts of the city are retained.~~

~~C8 Development maintains the significant views and vistas identified on the map for the HCA.~~

Commented [DCP290]: Remove these provisions as there are now new provisions for all NHCAs at B2.1.

Commented [DCP291]: Replaced by O1 and O7 in B2.1.7

Commented [DCP293]: Replaced by C13 and C25 in B2.1.7

Commented [DCP294]: Replaced by C11 in B2.1.7 and new diagrams at Figure 1

Commented [DCP292]: Replaced by O5, O6 and O8 in B2.1.7

Commented [DCP295]: Replaced by C3 for alterations and additions and C23 in B2.1.7

Commented [DCP296]: Replaced by C14 in B2.1.7

Commented [DCP297]: Replaced by C18 and C19 in B2.1.7

Commented [DCP298]: Replaced by C21 in B2.1.7

Commented [DCP299]: Remove to avoid duplication with B3.5.3

Commented [DCP300]: Replaced by C27 in B2.1.7 and B3.5.3

Commented [DCP301]: Replaced by C27 in B2.1.7 and B3.5.3