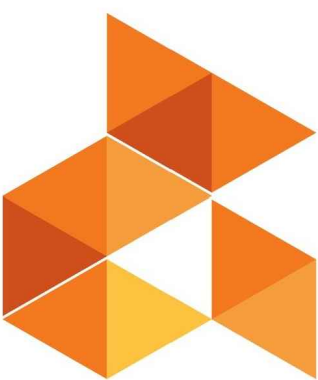
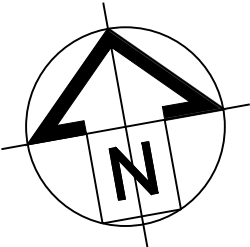


STORMWATER MANAGEMENT

252-254 NEW SOUTH HEAD RD, DOUBLE BAY



IGS
INTEGRATED
GROUP
SERVICES



LEGEND STORMWATER SERVICES

	RWD	RAINWATER DRAINAGE
	SW	STORMWATER
	SWRM	STORMWATER RISING MAIN
	SW	AUTHORITY STORM WATER MAIN

LEGEND - STORMWATER SYMBOLS

	PROPOSED STORMWATER PITS GRATE / SOLID COVER
	PROPOSED KERB INLET PIT
	EXISTING STORMWATER PITS GRATE / SOLID COVER
	EXISTING KERB INLET PIT

LEGEND - GENERAL SYMBOLS

	FLOW DIRECTION
	SERVICES TAG
	SERVICES DIAMETER
	FLOW DIRECTION
	RISER/TEE RISER SYMBOL
	DROPPER SYMBOL
	TEE DROP SYMBOL
	PIPE FLOW SYMBOL PRESSURE
	CAP SERVICE
	SERVICES CONTINUOUS
	SERVICES UNKNOWN CONTINUATION
	CONNECTION TO EXISTING

LEGEND - ABBREVIATIONS

DP	DOWNPIPE
IL	INVERT LEVEL
OF	OVERFLOW
RL	REDUCED LEVEL
RWC	RAINWATER OUTLET
SYDP	SYMPHONIC DOWNPIPE
STW	STORMWATER

SITE WORKS - ACCESS AND SAFETY

- ALL WORKS ARE TO BE UNDERTAKEN IN A SAFE MANNER IN ACCORDANCE WITH ALL STATUTORY AND INDUSTRIAL RELATION REQUIREMENTS.
- ACCESS TO ADJACENT BUILDINGS AND PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
- WHERE NECESSARY SAFE PASSAGE SHALL BE PROVIDED FOR VEHICLES AND PEDESTRIANS THROUGH OR ADJACENT TO THE SITE.

SITE WORKS - GENERAL

- ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH LOCAL COUNCIL, AUSTRALIAN AND AUTHORITY STANDARDS.
- ALL TRENCHING WORKS ARE TO BE RESTORED TO ORIGINAL CONDITION.
- THE INTEGRITY OF ALL EXISTING AND NEW SERVICES IS TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL PLANS ARE TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTS, STRUCTURAL ENGINEERS AND OTHER CONSULTANTS PLANS. ANY DISCREPANCIES ARE TO BE NOTIFIED TO THE ENGINEER FOR CLARIFICATION.
- THE ENGINEER SHALL BE GIVEN A MIN. OF 48 HOURS NOTICE FOR ALL STORMWATER DRAINAGE AND PAVEMENT INSPECTIONS. CONCRETE SHALL NOT BE DELIVERED UNTIL ENGINEERS APPROVAL IS OBTAINED.

STORMWATER

- ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE FOLLOWING AUSTRALIAN STANDARDS AS2032, AS3500 AND AS3725 AS A MINIMUM.
- ALL PIPES LESS THAN OR EQUAL TO Ø300mm IN SIZE ARE TO BE SOLVENT WELD-JOINTED UPVC CLASS SN8 U.N.O.
- ALL PIPES Ø375mm OR GREATER IN SIZE ARE TO BE MIN. CLASS 2 REINFORCED CONCRETE PIPE (RCP) OR FIBRE REINFORCED CONCRETE (FRC) RUBBER RING JOINTED (RRJ) U.N.O.
- ALL PIPES ARE TO BE LAID AT MIN. 1.0% GRADE U.N.O.
- PIPE BEDDING IS TO BE HS2 UNDER ROADS AND TRAFFICKED AREAS AND SHALL BE H2 IN LANDSCAPED AND PEDESTRIAN TRAFFICKED AREAS U.N.O.
- ALL PIPE BENDS AND JUNCTIONS ARE TO BE MADE WITH EITHER PURPOSE MADE FITTINGS OR STORMWATER DRAINAGE PITS.
- MINIMUM COVER FROM THE OBVERT OF THE STORMWATER PIPE OF 300mm IS TO BE PROVIDED IN LANDSCAPED AREAS AND 600mm IN VEHICULAR TRAFFICKED AREAS U.N.O.
- WHERE MINIMUM COVER CANNOT BE ACHIEVED CONCRETE ENCASEMENT OF THE AFFECTED PIPE IS MAY BE UNDERTAKEN WITH 20MPa CONCRETE. WITH A MIN. COVER OF 150mm TO ALL SIDES OF THE PIPE. THE CONTRACTOR SHALL CONFIRM THIS REQUIREMENT WITH THE ENGINEER OR SUPERINTENDENT.
- LAID PIPELINES ARE TO HAVE THE FOLLOWING CONSTRUCTED TOLERANCES:
 - HORIZONTAL-1:300 ANGULAR DEVIATION FROM REQUIRED ALIGNMENT;
 - VERTICAL-1:300 ANGULAR DEVIATION FROM REQUIRED ALIGNMENT.
- ALL DRAINAGE PITS ARE TO BE CAST IN-SITU, PRECAST DRAINAGE PITS MAY BE USED WITH APPROVAL FROM THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A PRECAST PIT INSTALLATION WORK METHOD STATEMENT FOR ASSESSMENT BY THE ENGINEER FOR APPROVAL.
- DRAINAGE PIT COVERS ARE TO BE EITHER GALVANISED STEEL OR CAST IRON CLASS 'B' IN LANDSCAPED AND PEDESTRIAN TRAFFICKED AREAS AND CLASS 'D' IN ALL VEHICULAR TRAFFICKED AREAS U.N.O.
- DRAINAGE PIT COVERS ARE TO BE 'HEELSAFE' TYPE IN ALL PEDESTRIAN TRAFFICKED AREAS U.N.O.
- EXISTING STORMWATER PIT LOCATIONS AND INVERT LEVELS TO BE CONFIRMED PRIOR TO COMMENCING WORKS ON SITE.
- PROVIDE CLEANING EYES (RODDING POINTS) TO PIPES AT ALL CORNERS AND T-JUNCTIONS WHERE NO PITS ARE PRESENT.
- DOWN PIPES CONNECTED DIRECT TO PIPES TO BE CONNECTED AT 45° TO THE FLOW DIRECTION WITH A CLEANING EYE PROVIDED AT GROUND LEVEL.

DESIGN CRITERIA:

LOCAL GOVERNING AUTHORITY: WOOLLAHRA COUNCIL

CONCEPT STORMWATER MANAGEMENT PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH, WOOLLAHRA DCP CHAPTER E2, STORMWATER AND FLOOD RISK MANAGEMENT 2016

SITE AREA = 935 m²

REFER TO SW04 FOR CATCHMENT PLAN

INSPECTION SUMMARY

AN INSPECTION OF THE EXISTING DRAINAGE SYSTEM SUGGESTS THE CURRENT BUILDING UTILISES GRAVITY FED STORMWATER DRAINAGE. SURVEY INFORMATION AND AVAILABLE DATA WAS UNABLE TO LOCATE THE EXISTING DRAINAGE NETWORK. FURTHER DETAILED INVESTIGATION IS REQUIRED TO DETERMINE THE EXTENT AND DISCHARGE ROUTE OF THE EXISTING SYSTEM, AS TO CONFIRM ABILITY TO ADOPT A SIMILAR GRAVITY FED SYSTEM.

CLAUSE 2.2.4 ON SITE STORAGE OF STORMWATER

C1 - OSD WILL BE REQUIRED FOR ALL DEVELOPMENTS WHERE THE TOTAL SITE AREA IS MORE THAN 500m² AND THE ADDITIONAL GROSS IMPERCIOSUS AREA IS GREATER THAN 40m²

C3 - OSD STORAGE REQUIREMENTS

- SSR - 1% AEP (100 yr ARI) = 20 x ($\frac{835}{1000}$) = 18.7 m³
- PSD - 1% AEP (100 yr ARI) = 34 x ($\frac{835}{1000}$) = 31.8 L/S

MAXIMUM DISCHARGE TO KERB AND GUTTER 20 L/S

CLAUSE 2.2.5 CONNECTION TO COUNCILS DRAINAGE SYSTEM

C3 - WHERE AN OVERFLOW SYSTEM IS NOT AVAILABLE THE DRAINAGE SYSTEM IS DESIGNED TO CATER TO A MINIMUM 1 IN 100 ARI EVENT

CONNECTION TO KERB AND GUTTER. ONLY APPLIES TO DWELLING HOUSES AND DEVELOPMENTS INVOLVING ALTERATIONS AND ADDITIONS WHERE THE ADDITIONAL GROSS IMPERVIOUS AREA LESS THAN 40m² MAXIMUM DISCHARGE RATE OF 20 L/S

CLAUSE 2.2.3 STORMWATER TREATMENT

C1 - STORMWATER TREATMENT REQUIRED FOR ALL NEW COMMERCIAL AND RESIDENTIAL FLAT BUILDINGS

C7 - WATER QUALITY TARGETS

- 90% REMOVAL OF GROSS POLLUTANTS
- 85% REMOVAL OF TOTAL SUSPENDED SOLIDS
- 65% REMOVAL OF TOTAL PHOSPHOROUS
- 45% REMOVAL OF TOTAL NITROGEN

CLAUSE 2.2.12 PUMP AND SUMP SYSTEMS

C5 - PROPERTIES SEEKING TO INSTALL A PUMP SYSTEM MUST ALSO INSTALL A RAINWATER TANK IN ACCORDANCE WITH SECTION 2.2.2. A RAINWATER TANK IS AT LEASE 6 m³ PER 100 m² OF IMPERVIOUS AREA ACROSS THE SITE

CATCHMENT AREA UN-ABLE TO DRAIN VIA GRAVITY SHALL DRAIN TO PUMP OUT SYSTEM ON LEVEL 1, THEN DISCHARGE INTO OSD TANK ON LEVEL 4

PERVIOUS AREA TO PUMP OUT 322 m²
IMPERVIOUS AREA TO PUMP OUT 57 m²

THEREFORE ALLOWING FOR 100% OF BOTH PERVIOUS AND IMPERVIOUS CATCHMENTS THE PUMP OUT PIT SHALL BE:

22.8 m³ + 20% (AS ABSORPTION CAN NOT BE UTILISED) = 28 m³



LOCATION PLAN

NOT TO SCALE - COURTESY OF SIXMAPS

STORMWATER MANAGEMENT DRAWING LIST

SW00 - STORMWATER LEGEND AND COVER SHEET
SW01 - LEVEL 1
SW02 - LEVEL 4
SW03 - ROOF PLAN
SW04 - STORMWATER SCHEMATIC
SW05 - CATCHMENT PLAN
SW06 - DETAIL SHEET
SW07 - SEDIMENT AND EROSION CONTROL PLAN

AMENDMENTS/REVISIONS				AMENDMENTS/REVISIONS			
Rev	Description	Initials	Date	Rev	Description	Initials	Date
01	PRELIMINARY ISSUE	BM	27.02.20				
02	DA ISSUE	BM	03.03.20				

CLIENT

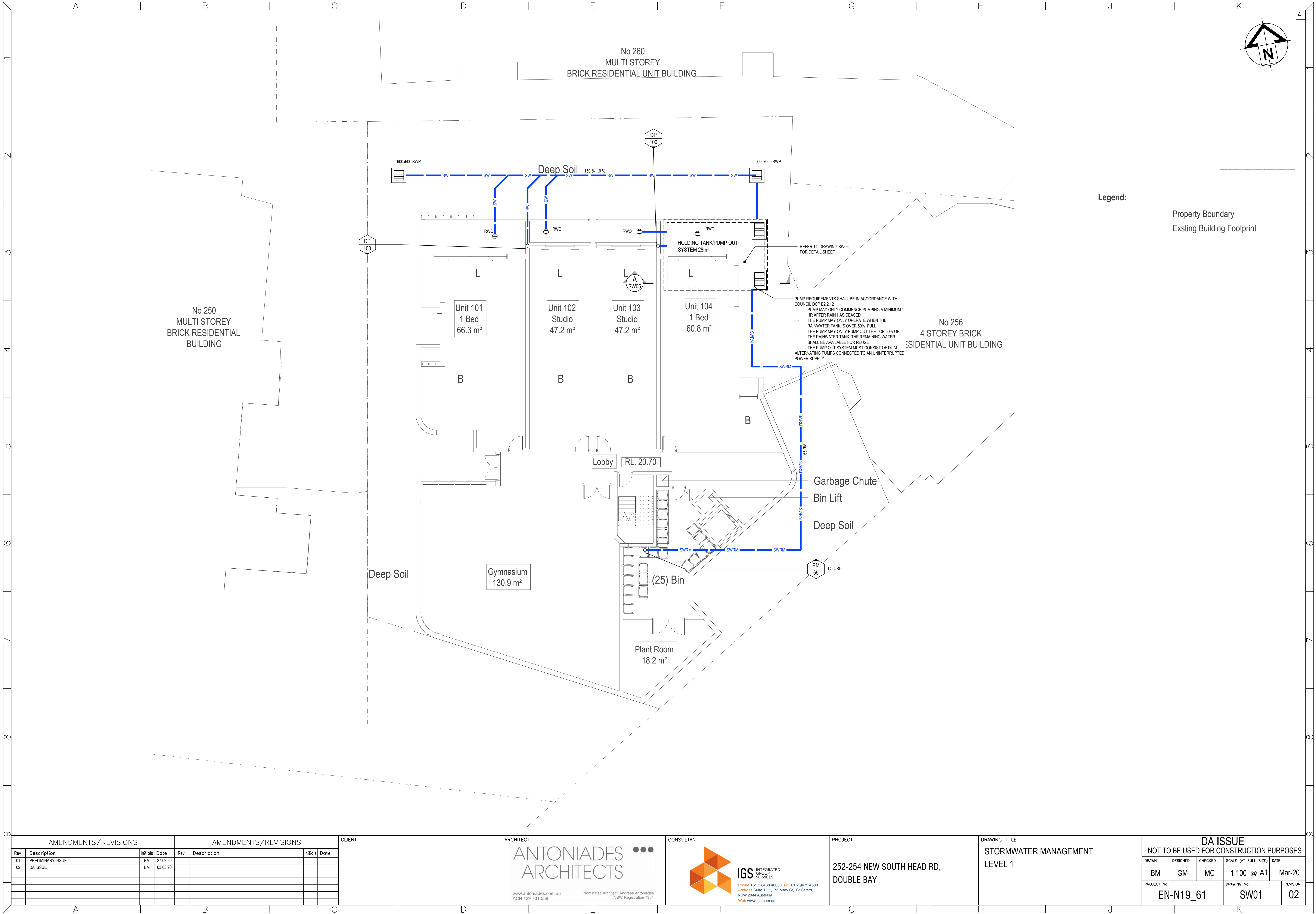
ARCHITECT
ANTONIADES ARCHITECTS
www.antoninades.com.au ACN 129 731 559
Nominated Architect: Andreas Antoninades NSW Registration 7954

CONSULTANT
IGS INTEGRATED GROUP SERVICES
Phone +61 2 8488 4600 Fax +61 2 9475 4588 Address Suite 1.11, 75 Mary St, St Peters, NSW 2044 Australia Web www.igs.com.au

PROJECT
252-254 NEW SOUTH HEAD RD, DOUBLE BAY

DRAWING TITLE
STORMWATER MANAGEMENT COVER SHEET

DA ISSUE NOT TO BE USED FOR CONSTRUCTION PURPOSES					
DRAWN	DESIGNED	CHECKED	SCALE (AT FULL SIZE)	DATE	
BM	BM	MC	NTS @ A1	Mar-20	
PROJECT No.			DRAWING No.		REVISION
EN-N19_61			SW00		02



Legend:

Property Boundary

Existing Building Footprint

AMENDMENTS/REVISIONS				AMENDMENTS/REVISIONS			
Rev	Description	Initials	Date	Rev	Description	Initials	Date
01	PRELIMINARY ISSUE	BM	27.02.20				
02	DA ISSUE	BM	03.03.20				

CLIENT

ARCHITECT

ANTONIADES ARCHITECTS

www.antoninades.com.au
ACN 129 731 559

Nominated Architect: Andreas Antoniadis
NSW Registration 7954

CONSULTANT

IGS INTEGRATED GROUP SERVICES

Phone +61 2 8488 4600 Fax +61 2 9475 4588
Address Suite 1.11, 75 Mary St, St Peters, NSW 2044 Australia
Web www.igs.com.au

PROJECT

252-254 NEW SOUTH HEAD RD,
DOUBLE BAY

DRAWING TITLE

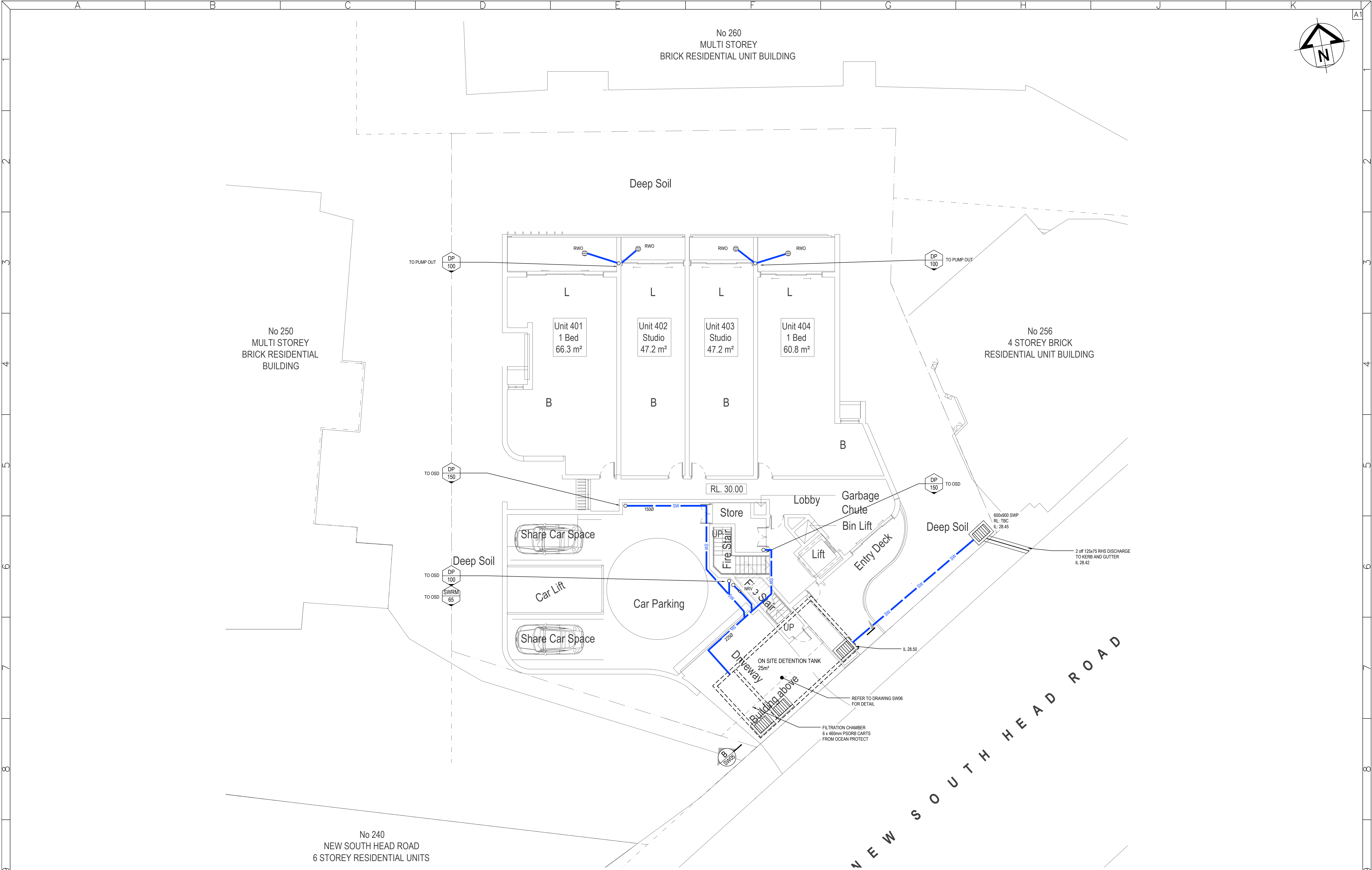
STORMWATER MANAGEMENT
LEVEL 1

DA ISSUE

NOT TO BE USED FOR CONSTRUCTION PURPOSES

DRAWN	DESIGNED	CHECKED	SCALE (AT FULL SIZE)	DATE
BM	GM	MC	1:100 @ A1	Mar-20

PROJECT No.	DRAWING No.	REVISION
EN-N19_61	SW01	02



AMENDMENTS/REVISIONS				AMENDMENTS/REVISIONS			
Rev	Description	Initials	Date	Rev	Description	Initials	Date
01	PRELIMINARY ISSUE	BM	27.02.20				
02	DA ISSUE	BM	03.03.20				

CLIENT	

ARCHITECT

ANTONIADES ARCHITECTS

www.antonιάdes.com.au
ACN 129 731 559

Nominated Architect: Andreas Antonιάdes
NSW Registration 7954

CONSULTANT

IGS INTEGRATED GROUP SERVICES

Phone +61 2 8488 4600 Fax +61 2 9475 4588
Address Suite 1.11, 75 Mary St, St Peters, NSW 2044 Australia
Web www.igs.com.au

PROJECT

252-254 NEW SOUTH HEAD RD,
DOUBLE BAY

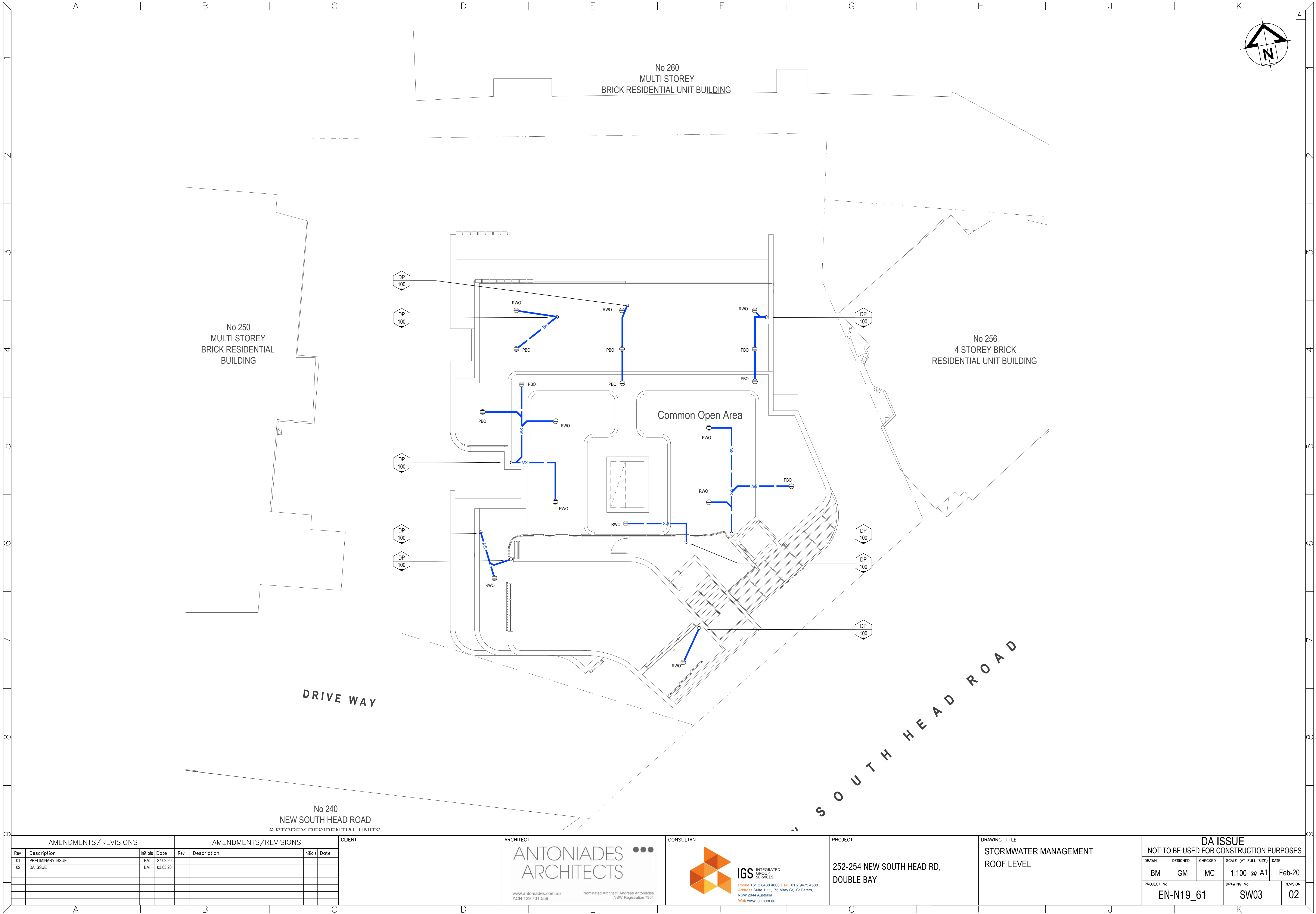
DRAWING TITLE

STORMWATER MANAGEMENT
LEVEL 4

DA ISSUE
NOT TO BE USED FOR CONSTRUCTION PURPOSES

DRAWN	DESIGNED	CHECKED	SCALE (AT FULL SIZE)	DATE
BM	GM	MC	1:100 @ A1	Mar-20

PROJECT No.	DRAWING No.	REVISION
EN-N19_61	SW02	02



AMENDMENTS/REVISIONS				AMENDMENTS/REVISIONS			
Rev	Description	Initials	Date	Rev	Description	Initials	Date
01	PRELIMINARY ISSUE	BM	27.02.20				
02	DA ISSUE	BM	03.03.20				

CLIENT	

ARCHITECT

ANTONIADES ARCHITECTS

www.antonιάdes.com.au

ACN 129 731 559

Nominated Architect: Andreas Antonιάdes

NSW Registration 7954

CONSULTANT

IGS

INTEGRATED GROUP SERVICES

Phone +61 2 8488 4600 Fax +61 2 9475 4588

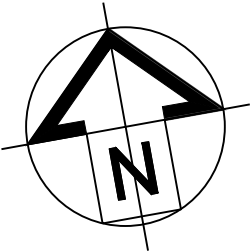
Address Suite 1.11, 75 Mary St, St Peters, NSW 2044 Australia

Web www.igs.com.au

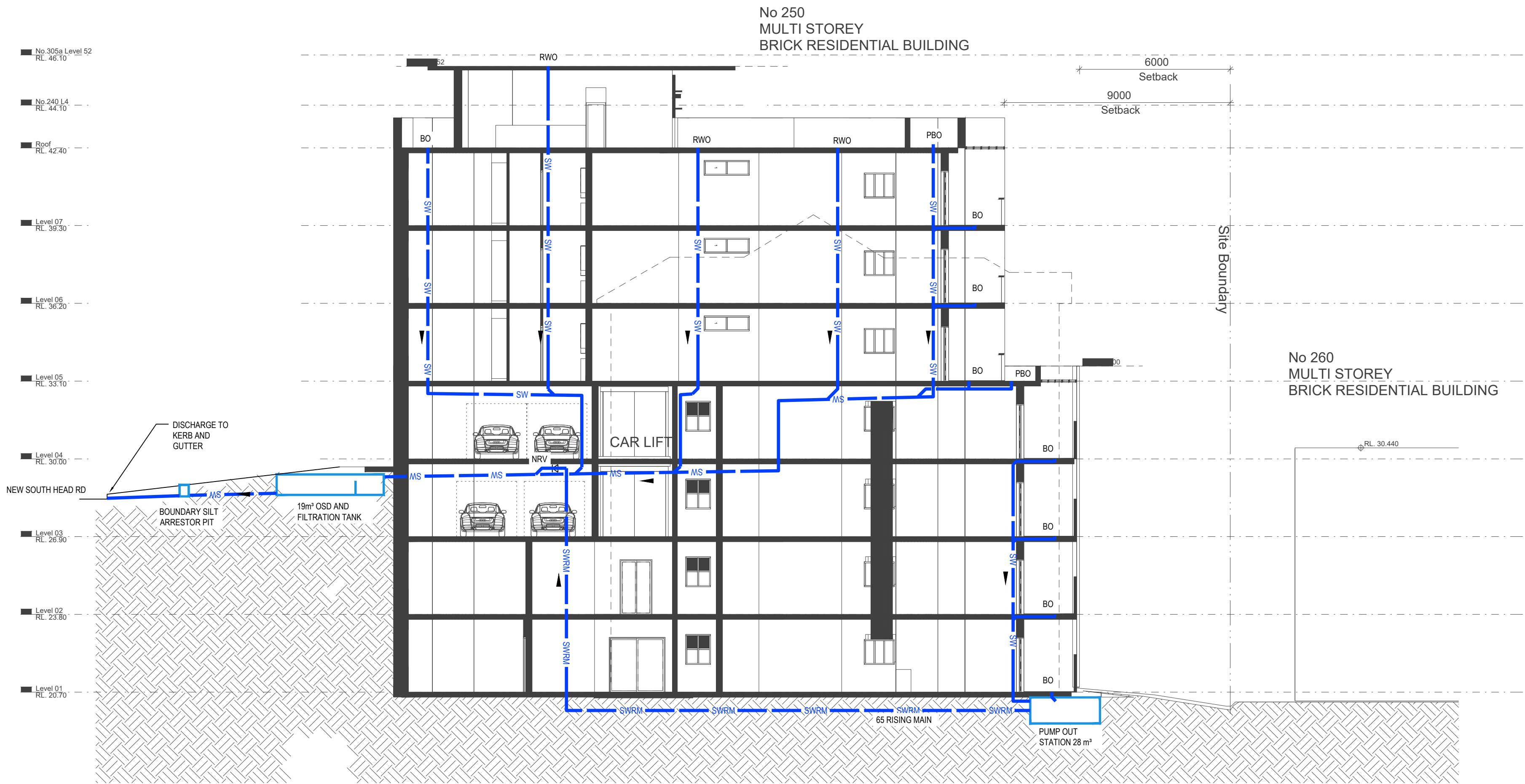
PROJECT
252-254 NEW SOUTH HEAD RD, DOUBLE BAY

DRAWING TITLE	
STORMWATER MANAGEMENT ROOF LEVEL	

DA ISSUE				
NOT TO BE USED FOR CONSTRUCTION PURPOSES				
DRAWN	DESIGNED	CHECKED	SCALE (AT FULL SIZE)	DATE
BM	GM	MC	1:100 @ A1	Feb-20
PROJECT No.		DRAWING No.		REVISION
EN-N19_61		SW03		02



NOTE:
SCHEMATIC HAS BEEN DOCUMENTED AS DIAGRAMMATIC
REPRESENTATION OF THE DESIGN INTENT ONLY AND DOES NOT
REFLECT DETAILED STORMWATER LAYOUT



AMENDMENTS/REVISIONS				AMENDMENTS/REVISIONS			
Rev	Description	Initials	Date	Rev	Description	Initials	Date
01	DA ISSUE	BM	03.03.20				

CLIENT			

ARCHITECT

ANTONIADES
ARCHITECTS

www.antoniadess.com.au
ACN 129 731 559

Nominated Architect: Andreas Antoniadess
NSW Registration 7954

CONSULTANT

IGS

INTEGRATED GROUP
SERVICES

Phone +61 2 8488 4600 Fax +61 2 9475 4588
Address Suite 1.11, 75 Mary St, St Peters,
NSW 2044 Australia
Web: www.igs.com.au

PROJECT

252-254 NEW SOUTH HEAD RD,
DOUBLE BAY

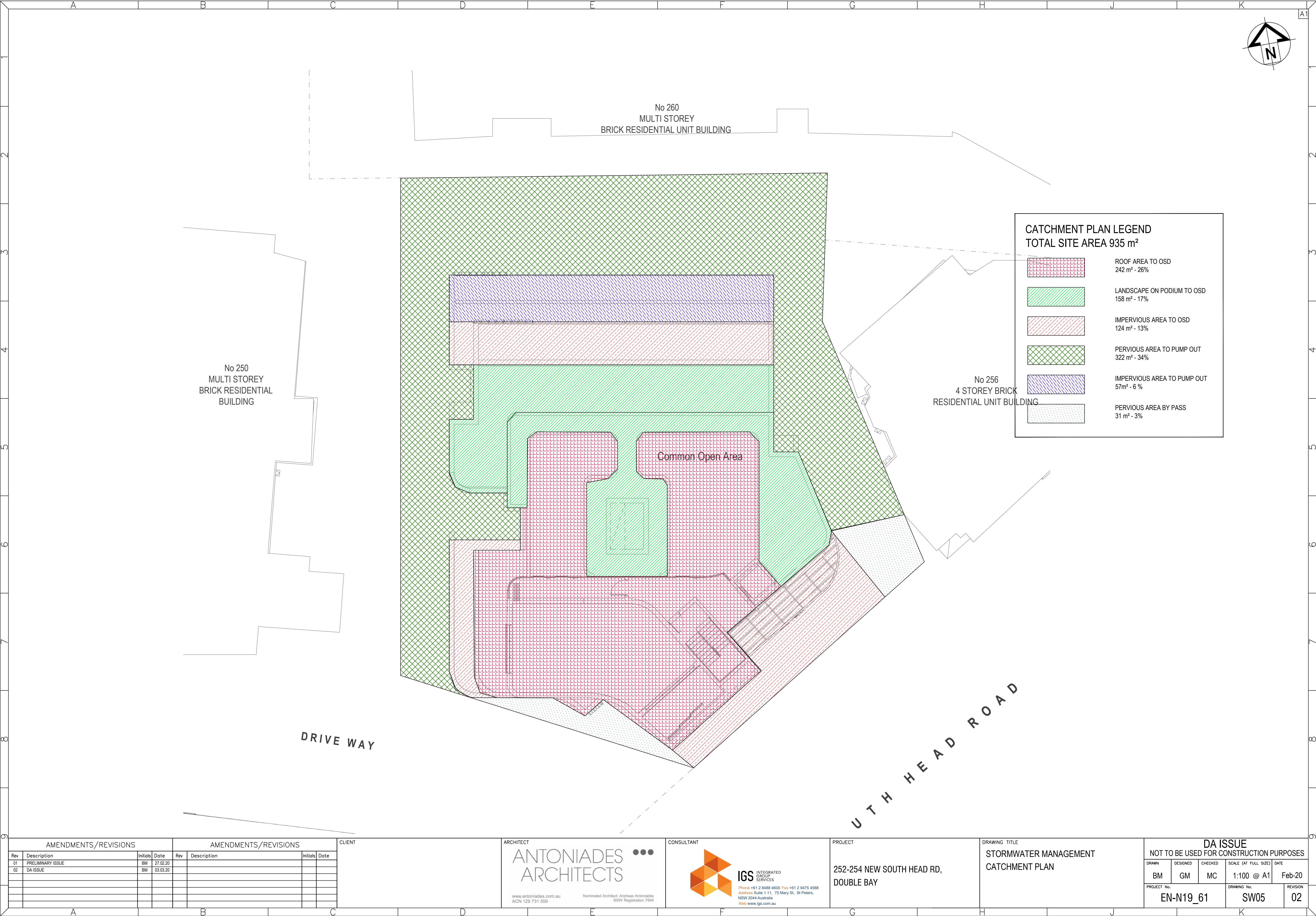
DRAWING TITLE

STORMWATER MANAGEMENT
STORMWATER SCHEMATIC

DA ISSUE
NOT TO BE USED FOR CONSTRUCTION PURPOSES

DRAWN	DESIGNED	CHECKED	SCALE (AT FULL SIZE)	DATE
BM	GM	MC	NTS @ A1	Mar-20

PROJECT No.	DRAWING No.	REVISION
EN-N19_61	SW04	01



AMENDMENTS/REVISIONS				AMENDMENTS/REVISIONS			
Rev	Description	Initials	Date	Rev	Description	Initials	Date
01	PRELIMINARY ISSUE	BM	27.02.20				
02	DA ISSUE	BM	03.03.20				

CLIENT

ARCHITECT

ANTONIADES ARCHITECTS

www.antoninades.com.au
ACN 129 731 559

Nominated Architect: Andreas Antoninades
NSW Registration 7954

CONSULTANT

IGS INTEGRATED GROUP SERVICES

Phone: +61 2 8488 4600 Fax: +61 2 9475 4588
Address: Suite 1.11, 75 Mary St, St Peters, NSW 2044 Australia
Web: www.igs.com.au

PROJECT

252-254 NEW SOUTH HEAD RD,
DOUBLE BAY

DRAWING TITLE

STORMWATER MANAGEMENT
CATCHMENT PLAN

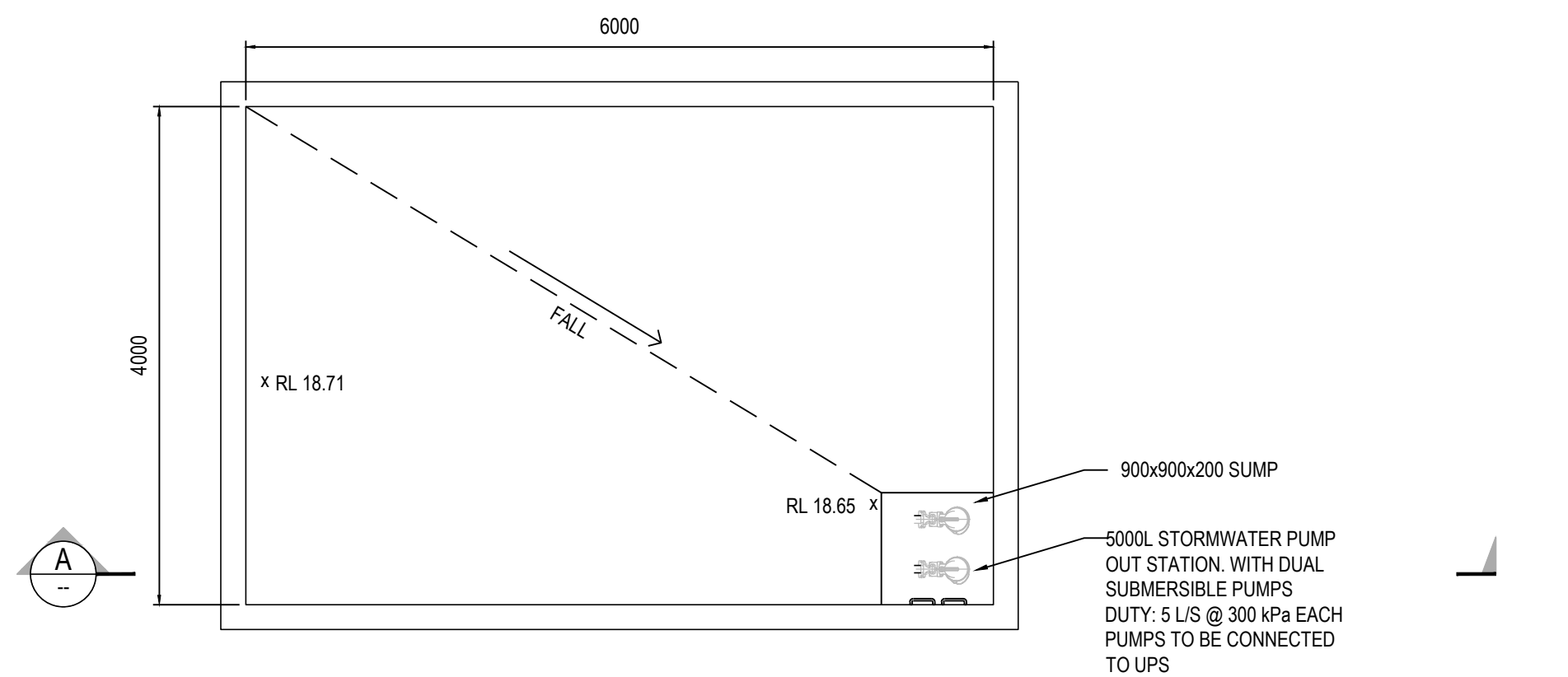
DA ISSUE

NOT TO BE USED FOR CONSTRUCTION PURPOSES

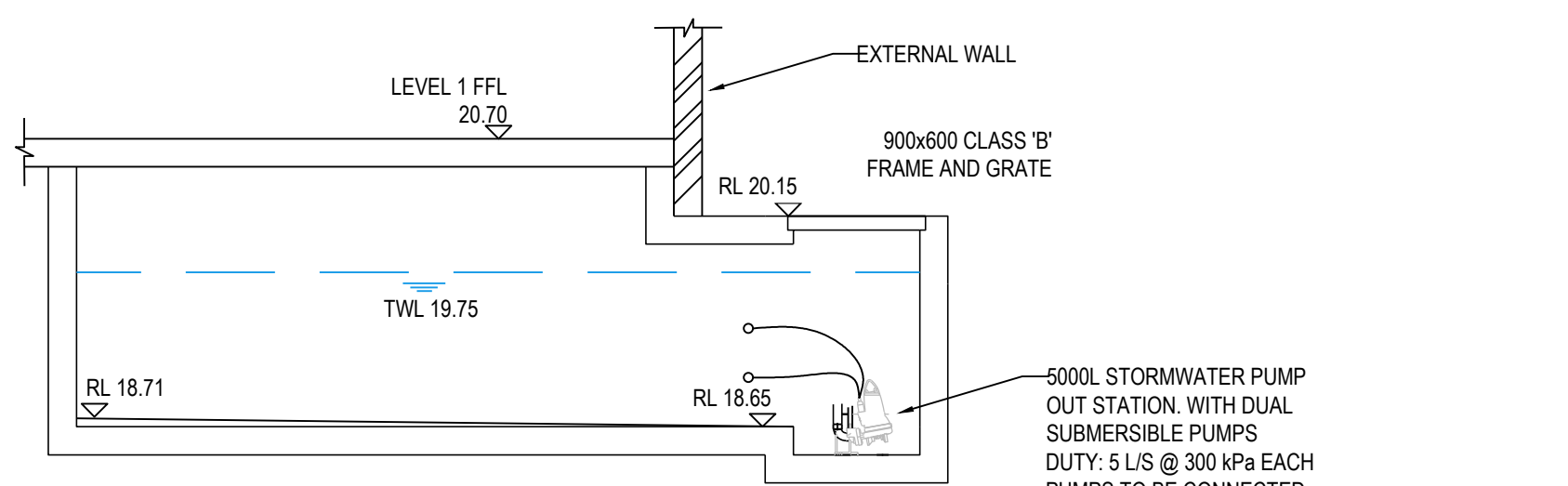
DRAWN	DESIGNED	CHECKED	SCALE (AT FULL SIZE)	DATE
BM	GM	MC	1:100 @ A1	Feb-20

PROJECT No.	DRAWING No.	REVISION
EN-N19_61	SW05	02

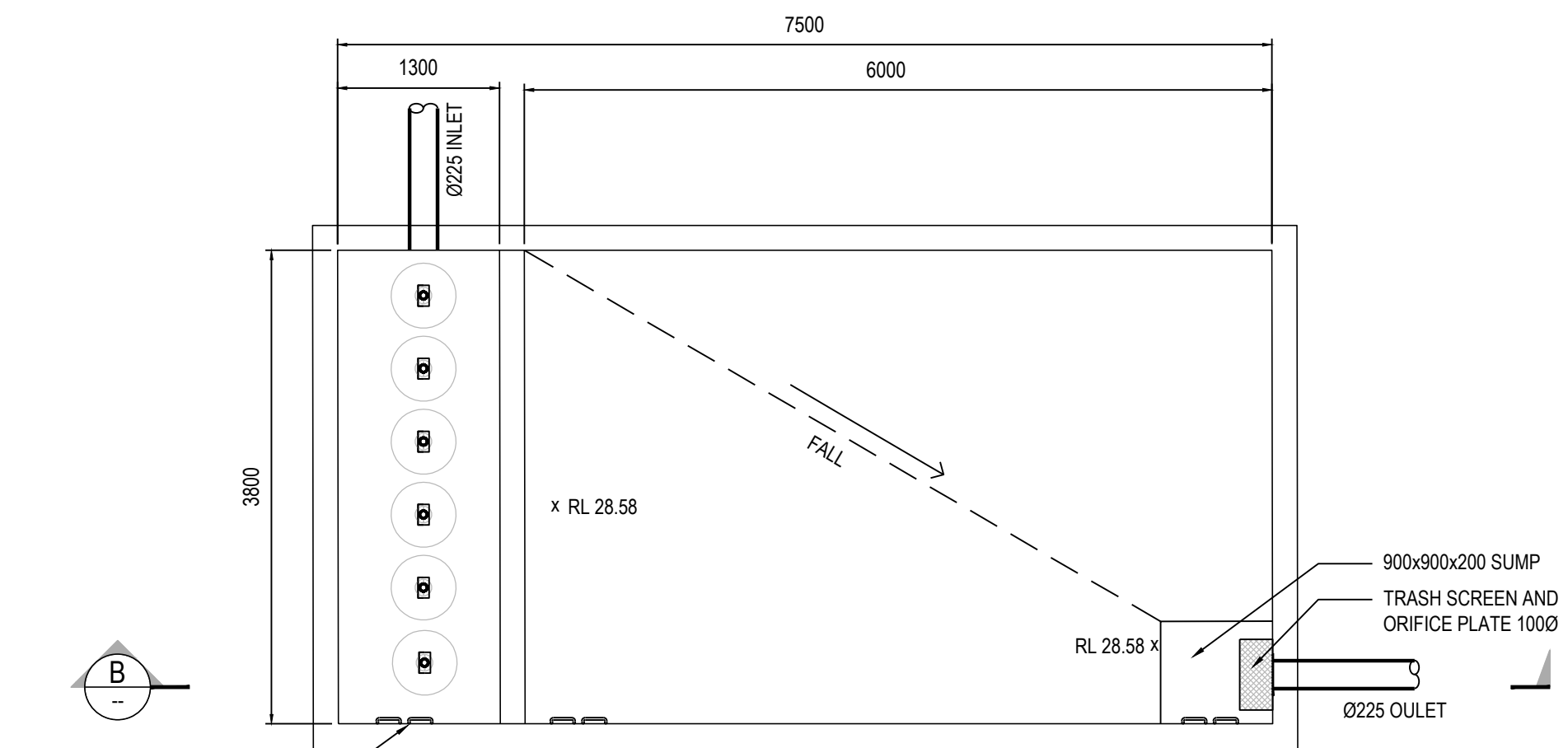
NOTE:
REFER TO SW00 COVER SHEET FOR DESIGN CRITERIA SUMMARY



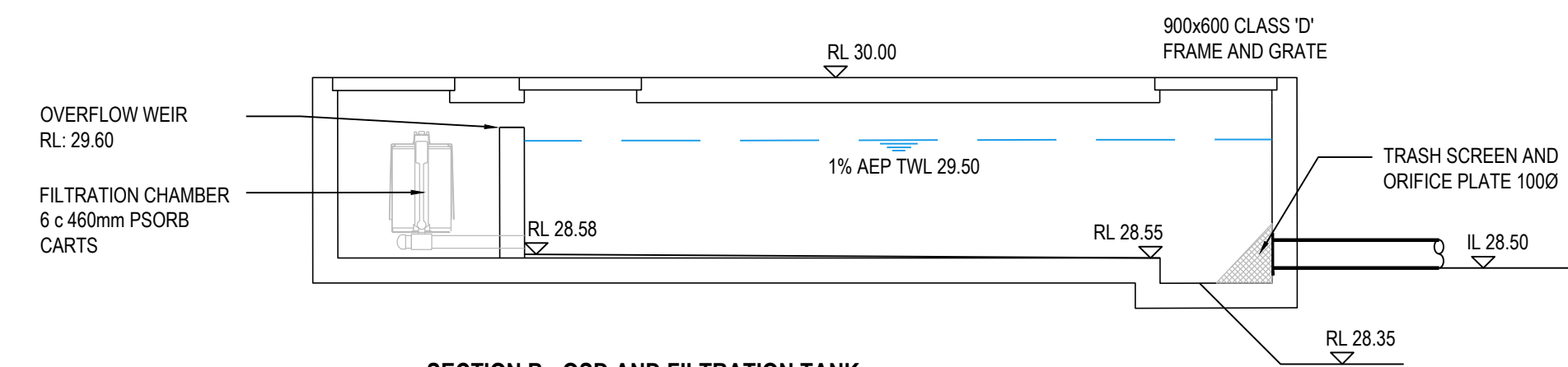
BASE PLAN - PUMP OUT SYSTEM
SCALE 1:50



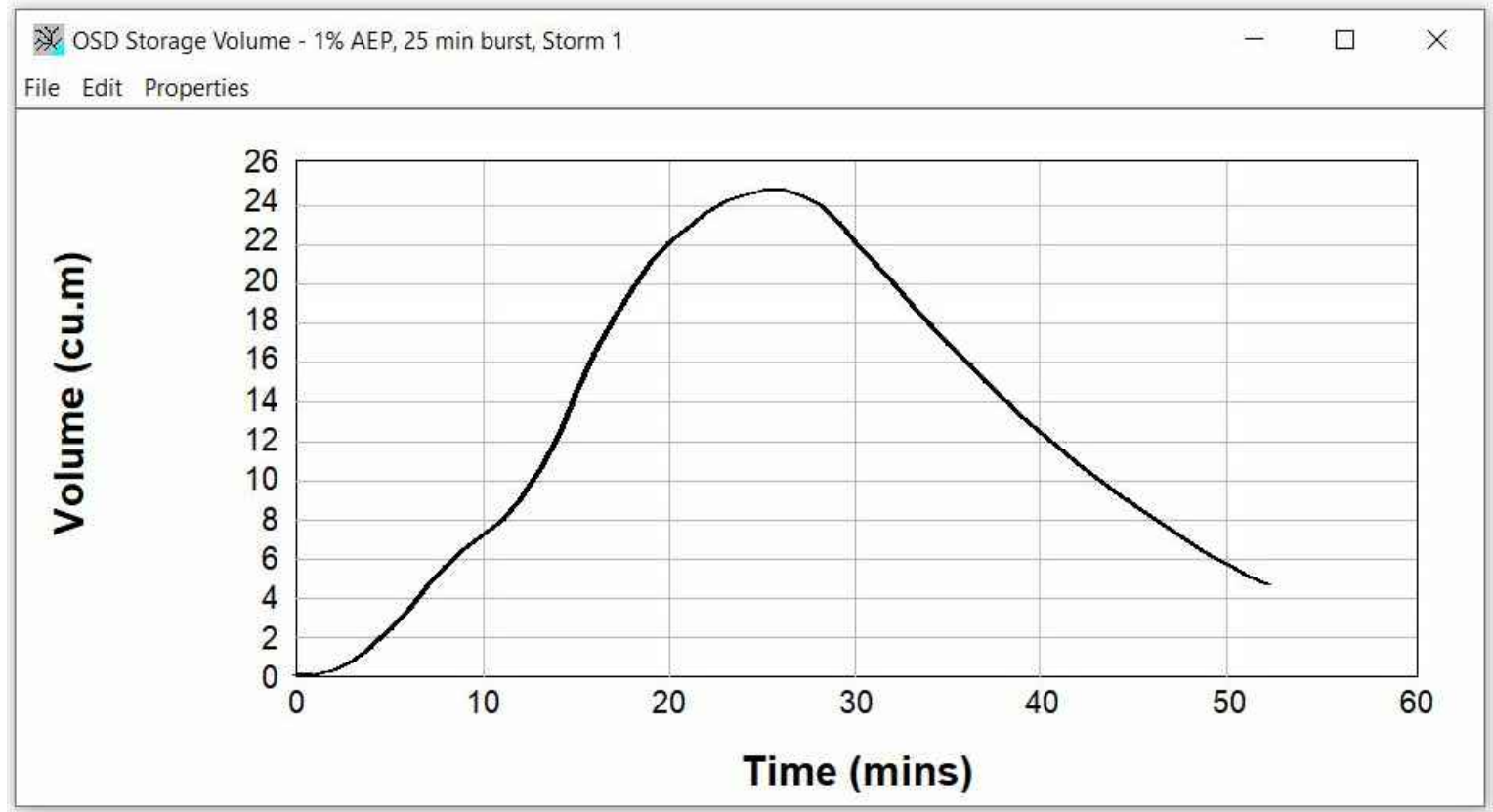
SECTION A - PUMP OUT SYSTEM
SCALE 1:50



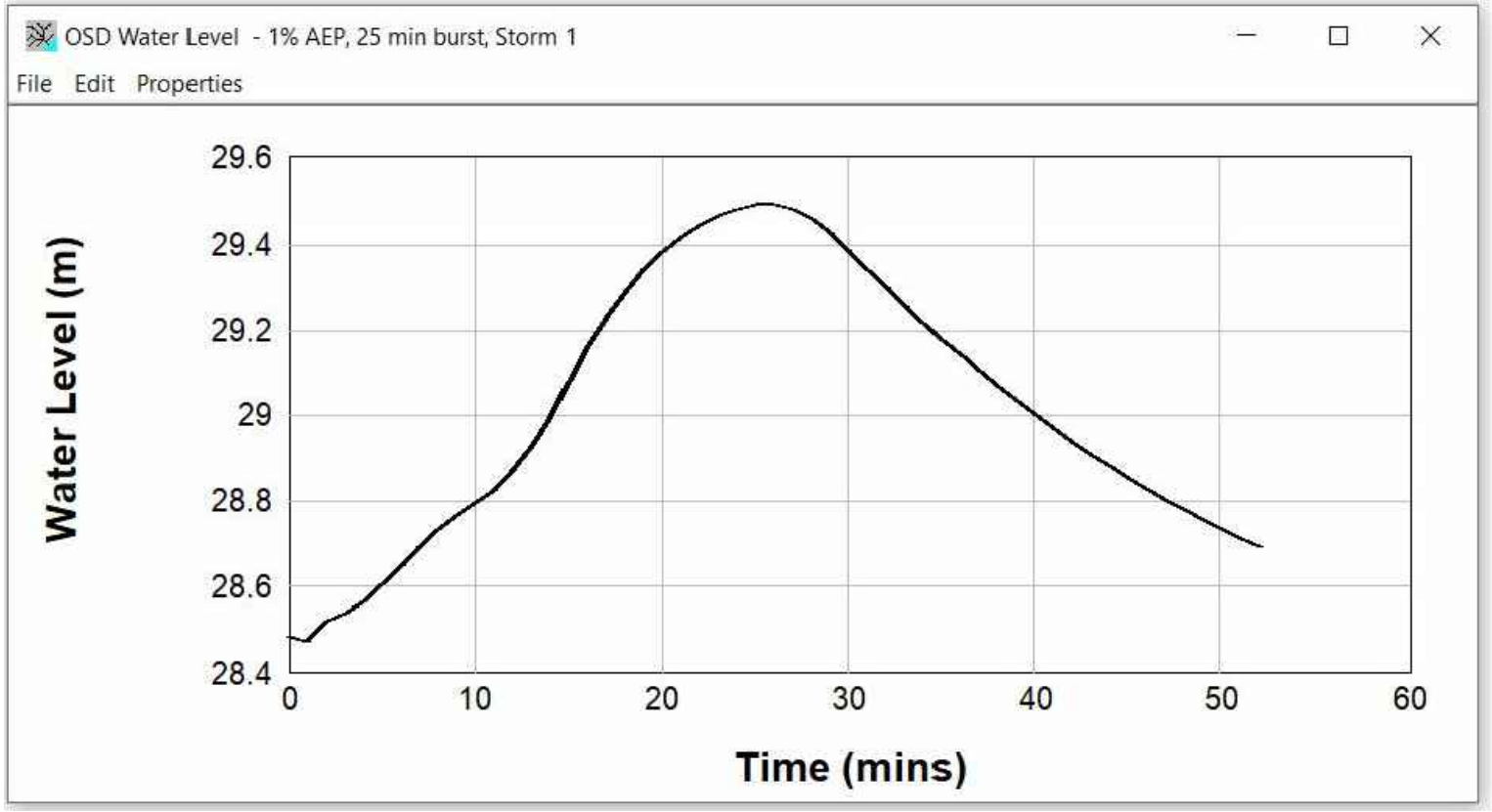
BASE PLAN - OSD AND FILTRATION TANK
SCALE 1:50



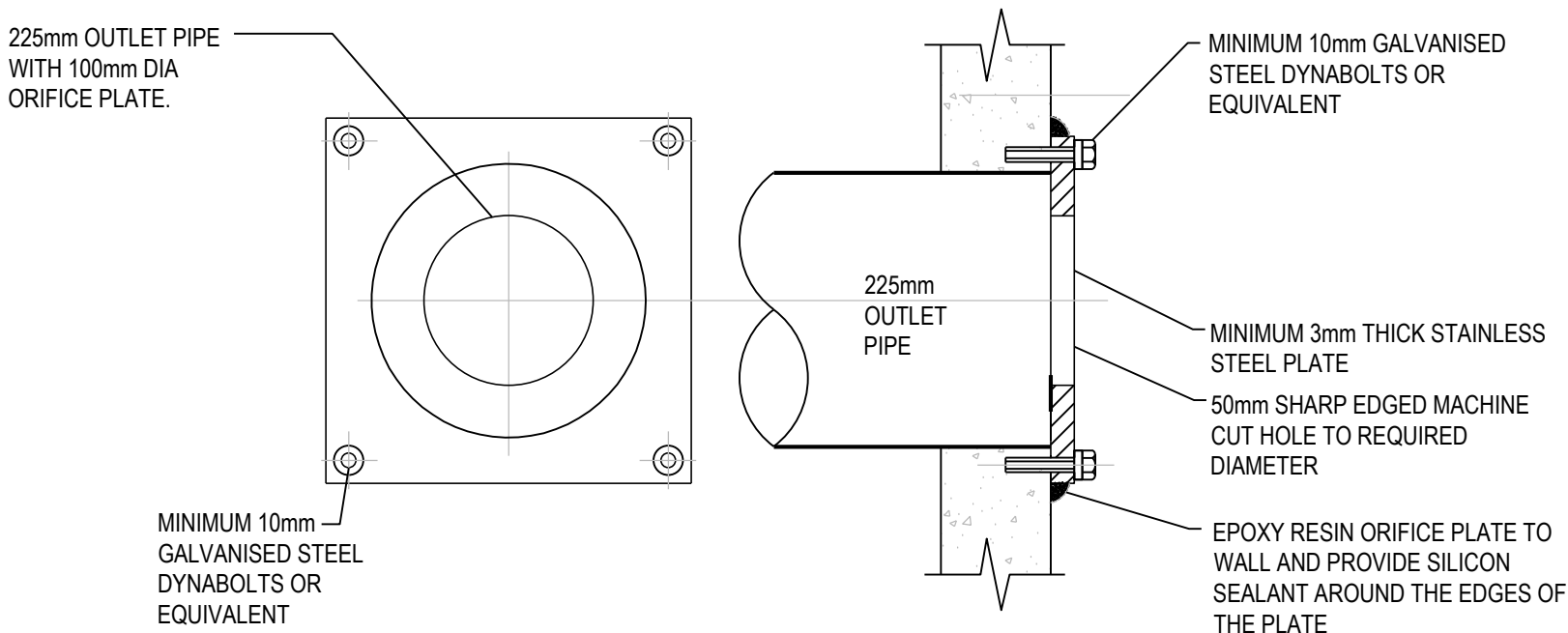
SECTION B - OSD AND FILTRATION TANK
SCALE 1:50



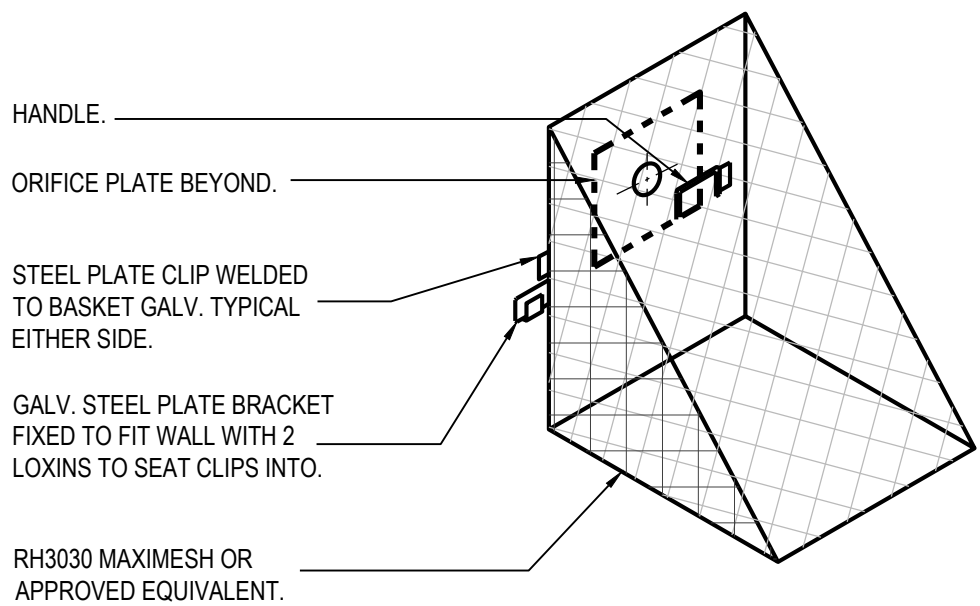
OSD STORAGE VOLUME - 1% AEP



OSD TOP WATER LEVEL - 1% AEP



ORIFICE PLATE INSTALLATION
NOT TO SCALE

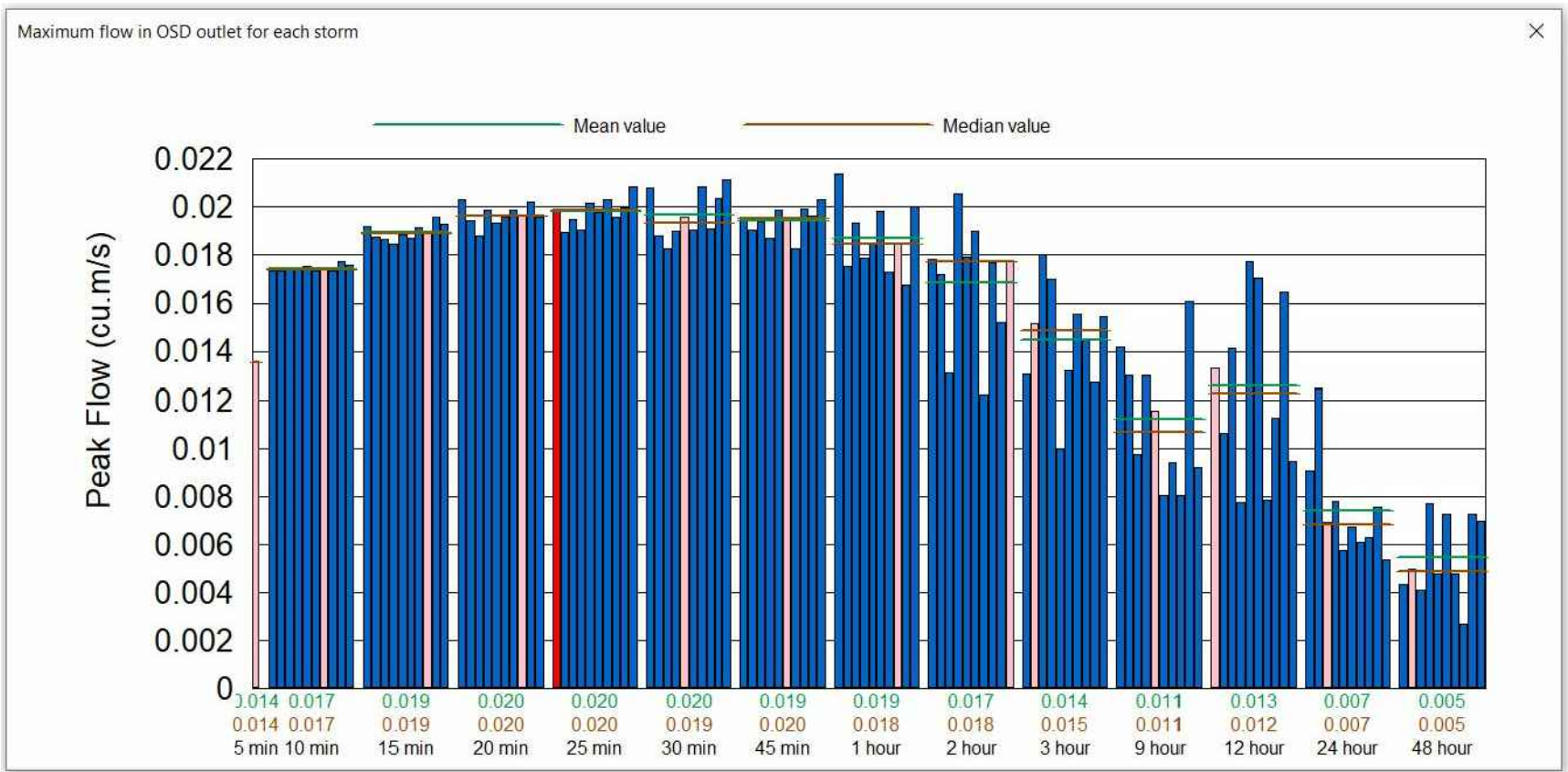


TRASH SCREEN DETAIL
NOT TO SCALE

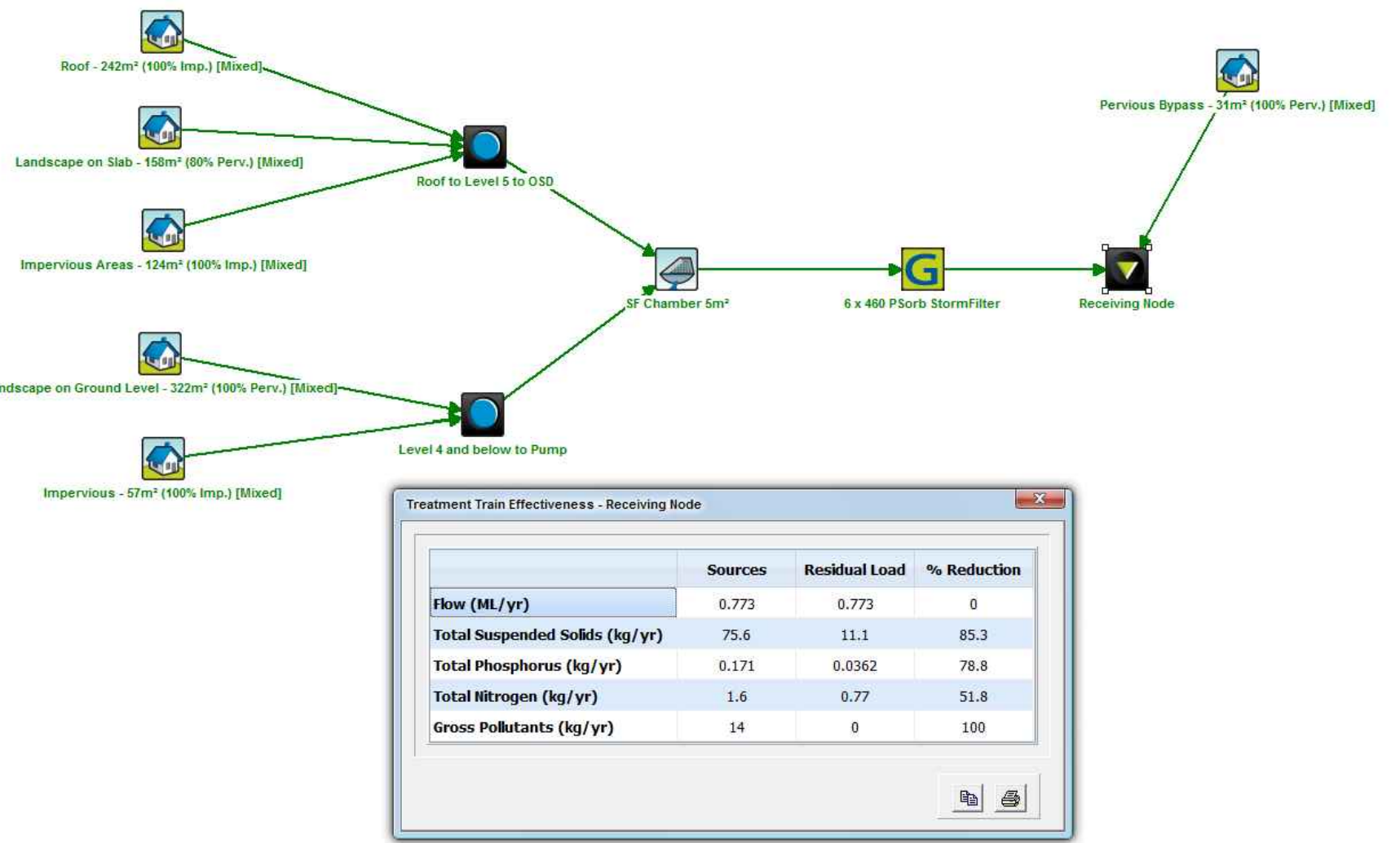


CONFINED SPACE WARNING SIGN TO BE LOCATED AT EACH PIT ENTRANCE OF UNDERGROUND TANK INCLUDING CONTROL PIT.
COLOURS: "DANGER" AND BACKGROUND ELLIPTICAL AREA WHITE
RECTANGLE CONTAINING ELLIPSE RED
OTHER LETTERING AND BORDER BLACK
MATERIAL: POLYPROPYLENE

CONFINED SPACE WARNING SIGN
NOT TO SCALE



PEAK OSD DISCHARGE RATE - 1% AEP



MUSIC TREATMENT CHAIN MODEL

Flow (ML/yr)	Sources	Residual Load	% Reduction
Flow (ML/yr)	0.773	0.773	0
Total Suspended Solids (kg/yr)	75.6	11.1	85.3
Total Phosphorus (kg/yr)	0.171	0.0362	78.8
Total Nitrogen (kg/yr)	1.6	0.77	51.8
Gross Pollutants (kg/yr)	14	0	100

AMENDMENTS/REVISIONS				AMENDMENTS/REVISIONS			
Rev	Description	Initials	Date	Rev	Description	Initials	Date
01	PRELIMINARY ISSUE	BM	27.02.20				
02	DA ISSUE	BM	03.03.20				

CLIENT

ARCHITECT



CONSULTANT



PROJECT

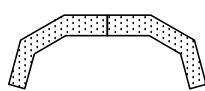

252-254 NEW SOUTH HEAD RD,
DOUBLE BAY

DRAWING TITLE

STORMWATER MANAGEMENT
DETAIL SHEET

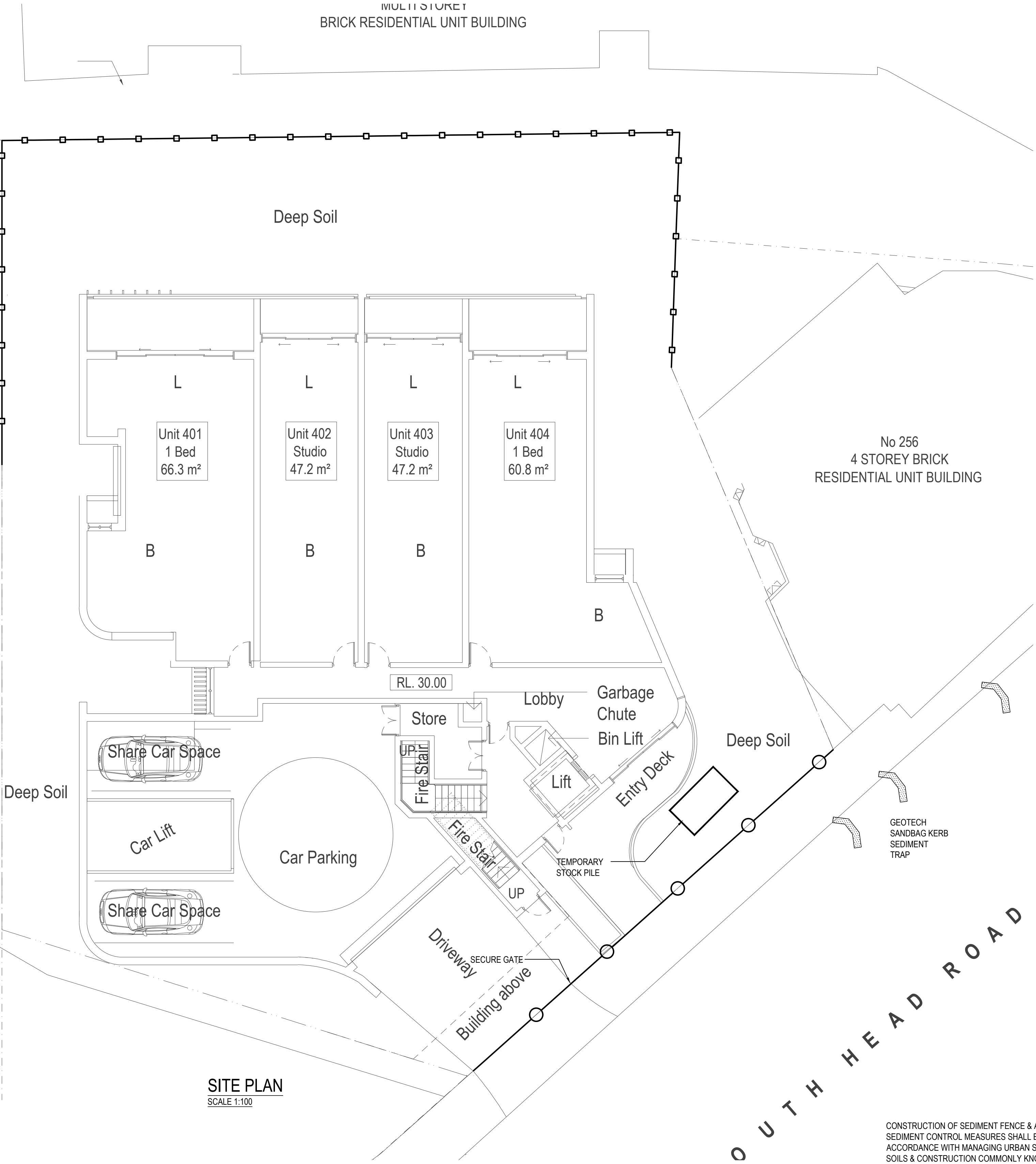
DA ISSUE				NOT TO BE USED FOR CONSTRUCTION PURPOSES	
DRAWN	DESIGNED	CHECKED	SCALE (AT FULL SIZE)	DATE	REVISION
BM	BM	MC	NTS @ A1	Feb-20	
PROJECT No.			DRAWING No.		
EN-N19_61			SW06		02

LEGEND

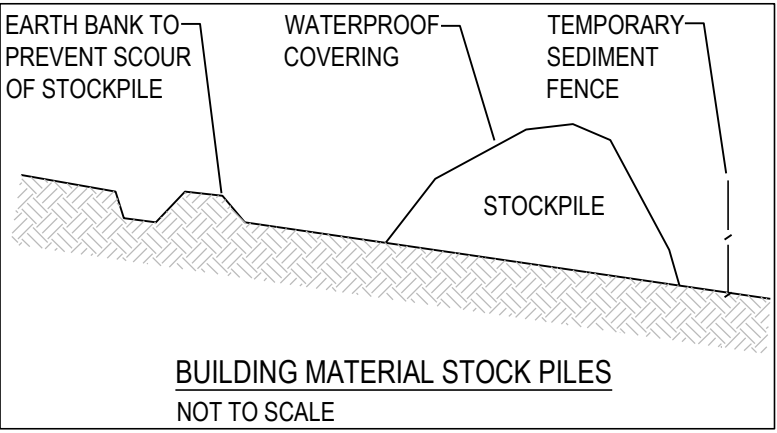
- DENOTES SEDIMENT FENCE
- DENOTES SECURITY FENCE
-  DENOTES PIT INLET FILTER
-  DENOTES STABILISED SITE ENTRY

SEDIMENT & EROSION CONTROL SPECIFICATION

- THE CONTRACTOR SHALL INSTIGATE ALL SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH SHOALHAVEN COUNCIL REQUIREMENTS AND THE 'BLUE BOOK' (MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION, PRODUCED BY THE DEPARTMENT OF HOUSING). THESE MEASURES ARE TO BE REGULARLY INSPECTED AND MAINTAINED.
- THE SEDIMENT & EROSION CONTROL PLAN PRESENTS CONCEPTS ONLY, THE CONTRACTOR SHALL AT ALL TIMES BE RESPONSIBLE FOR THE ESTABLISHMENT & MANAGEMENT OF A DETAILED SCHEME MEETING COUNCIL'S DESIGN, AND ALL OTHER REGULATORY AUTHORITY REQUIREMENTS.
- WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE SHALL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
- INSTALL ALL TEMPORARY SEDIMENT FENCES AND BARRIER FENCES, WHERE FENCES ARE ADJACENT TO EACH OTHER THE SEDIMENT FENCE CAN BE INCORPORATED INTO THE BARRIER FENCE.
- CONSTRUCT TEMPORARY STABILISED SITE ACCESS, INCLUDING SHAKE DOWN AND WASH PAD.
- INSTALL SEDIMENT CONTROL MEASURES AS OUTLINED ON THESE SEDIMENT AND CONTROL PLANS (ONCE APPROVED)
- THE CONTRACTOR SHALL UNDERTAKE SITE DEVELOPMENT WORKS SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF MINIMUM WORKABLE SIZE.
- AT ALL TIMES AND IN PARTICULAR DURING WINDY AND DRY WEATHER, LARGE UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
- ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) SHALL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
- WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN STABILISED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED OUT.
- TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE STABILISED / REHABILITATED.
- THE CONTRACTOR SHALL ALLOW FOR THE ESTABLISHMENT OF ANY OTHER EROSION PROTECTION MEASURES. (IF APPLICABLE)
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED TO ENSURE THAT THEY OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN REGULARLY AND AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
- ACCEPTABLE RECEPTORS SHALL BE USED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER. WASTE FROM THESE RECEPTORS SHALL BE DISPOSED OF IN ACCORDANCE WITH REGULATORY AUTHORITY REQUIREMENTS. PAY ALL FEES AND PROVIDE EVIDENCE OF SAFE DISPOSAL.

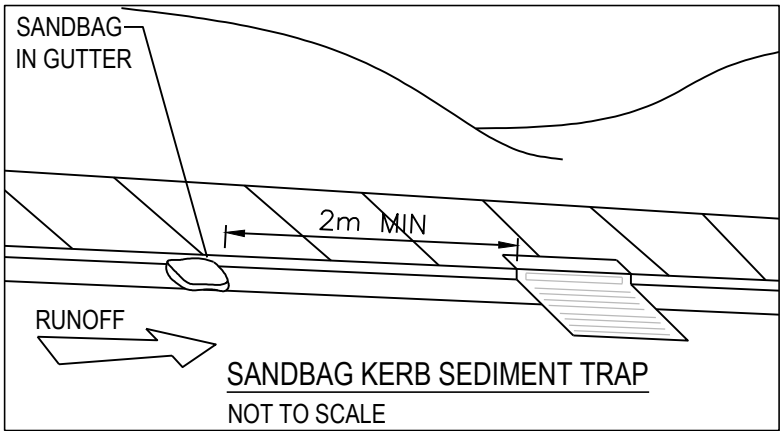


SITE PLAN
SCALE 1:100



STOCKPILE NOTES

- PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
- CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
- WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
- WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
- CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.

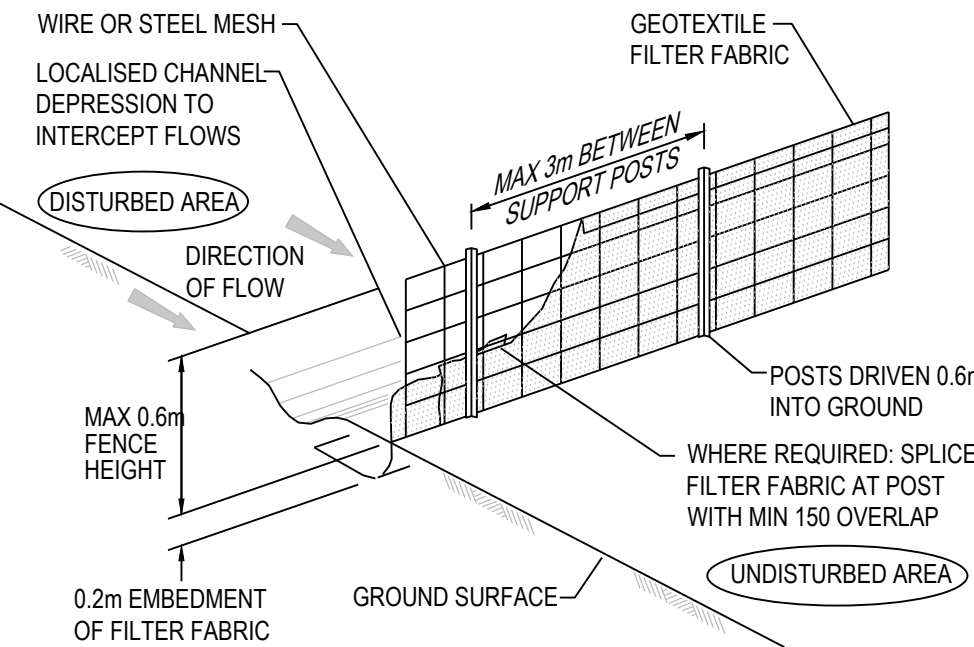


SOIL & WATER MANAGEMENT NOTES

- REFER TO DETAIL FOR CONSTRUCTION OF TEMPORARY SEDIMENT FENCE.
- ALL PITTS & PIPEWORK ASSOCIATED WITH PROPOSED DRAINAGE SYSTEMS SHALL BE KEPT FREE OF SOIL, WATER & DEBRIS FOR THE DURATION OF THE CONSTRUCTION WORKS.
- ALL LOOSE IMPORTED FILL & EXCAVATED MATERIAL SHALL BE STOCKPILED AS FAR AS POSSIBLE FROM SEDIMENT FENCES PRIOR TO FINAL PLACEMENT, COMPACTION OR REMOVAL FROM SITE.
- EXCESSIVE SEDIMENT BUILDUP SHALL BE AVOIDED BY REGULAR MAINTENANCE OF SEDIMENT FENCES.
- WHERE APPLICABLE, APPROVED LANDSCAPING & REVEGETATION OF DISTURBED AREAS SHALL COMMENCE AT THE EARLIEST OPPORTUNITY AFTER COMPLETION OF EARTHWORKS OPERATIONS.

DESIGN PARAMETERS FOR SEDIMENT FENCE

MAX DRAINAGE AREA	= 0.6000ha
MAX SLOPE GRADIENT	= 50%
MAX SLOPE LENGTH	= 60m



CONSTRUCTION OF SEDIMENT FENCE & ANY OTHER SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MANAGING URBAN STORMWATER: SOILS & CONSTRUCTION COMMONLY KNOWN AS THE 'BLUE BOOK'.
INTERNET REFERENCE:
<http://www.landcom.com.au/publications.aspx>

AMENDMENTS/REVISIONS				AMENDMENTS/REVISIONS			
Rev	Description	Initials	Date	Rev	Description	Initials	Date
01	PRELIMINARY ISSUE	BM	27.02.20				
01	DA ISSUE	BM	03.03.20				

CLIENT

ARCHITECT

ANTONIADES ARCHITECTS

www.antoninades.com.au
ACN 129 731 559

Nominated Architect: Andreas Antoniadis
NSW Registration 7954

CONSULTANT

IGS INTEGRATED GROUP SERVICES

Phone +61 2 8488 4600 Fax +61 2 9475 4588
Address Suite 1.11, 75 Mary St, St Peters, NSW 2044 Australia
Web: www.igs.com.au

PROJECT

252-254 NEW SOUTH HEAD RD,
DOUBLE BAY

DRAWING TITLE

STORMWATER MANAGEMENT
SEDIMENT AND EROSION CONTROL

DA ISSUE

NOT TO BE USED FOR CONSTRUCTION PURPOSES

DRAWN	DESIGNED	CHECKED	SCALE (AT FULL SIZE)	DATE
BM	GM	MC	NTS @ A1	Feb-20

PROJECT No.	DRAWING No.	REVISION
EN-N19_61	SW07	02