

# Environmental Planning Committee



## Agenda

Monday 8 March 2021

6.00pm

Meeting to be held using conferencing  
technology (refer to details over page)

### Compliance with social distancing requirements to limit the spread of COVID-19 virus at Council and Committee Meetings:

Amendments have been made to the *Local Government Act 1993* to allow councils to meet remotely to reduce the risk of COVID-19 and ensure compliance with the Public Health Order.

In line with social distancing requirements to limit the spread of the COVID-19 virus Woollahra Council will be holding Council and Committee meetings (i.e. Environmental Planning (EP), Finance, Community & Services (FC&S) and Strategic & Corporate (S&C) remotely using conferencing technology (until further notice).

The Mayor, Councillors and staff will be participating in meetings by an audio-visual link instead of attending in person. Meetings will be webcast and member of the public can watch and listen to meetings live (via YouTube) or dial in to listen to the meetings using a telephone.

Members of the public are invited to listen to meetings by either using conferencing technology or by teleconference. Public participation online or by phone will be managed in accordance with meeting procedures.

A link will be available on Council's website:

[https://www.woollahra.nsw.gov.au/council/meetings\\_and\\_committees/committees/environmental\\_planning\\_committee\\_ep/ep\\_agendas\\_and\\_minutes](https://www.woollahra.nsw.gov.au/council/meetings_and_committees/committees/environmental_planning_committee_ep/ep_agendas_and_minutes)

If you are experiencing any issues in joining the meeting please call (02) 9391 7001.

An audio recording of the meeting will be uploaded to Council's website following the meeting by 5.00pm on the next business day.

### Outline of Meeting Protocol & Procedure:

- The Chairperson will call the Meeting to order and ask the Committee Members and/or Staff to present apologies and/or late correspondence.
- The Chairperson will commence the Order of Business as shown in the Index to the Agenda.
- At the beginning of each item the Chairperson will invite member(s) of the public who registered to speak to address the Committee.
- Members of the public who have registered to address the Committee, will be allowed four (4) minutes in which to address the Committee. One (1) warning bell will be rung at the conclusion of three (3) minutes and two (2) warning bells rung at the conclusion of four (4) minutes. Please direct comments to the issues at hand.
- If there are persons representing both sides of a matter (e.g. applicant/objector), the person(s) against the recommendation speak first.
- At the conclusion of the allocated four (4) minutes, the speaker will take no further part in the debate unless specifically called to do so by the Chairperson.
- If there is more than one (1) person wishing to address the Committee from the same side of the debate, the Chairperson will request that where possible a spokesperson be nominated to represent the parties.
- After considering any submissions the Committee will debate the matter (if necessary), and arrive at a recommendation (R items which proceed to Full Council) or a resolution (D items for which the Committee has delegated authority).

### Disclaimer:

By using conferencing technology or by teleconference, listening and/or speaking at Council or Committee Meeting members of the public consent to their voice and personal information (including name and address) being recorded and publicly available on Council's website. Councillors, staff and members of the public are advised that meeting are being lived streamed, accessible via a link from Council's website.

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Accordingly, please ensure your address to Council is respectful and that you use appropriate language and refrain from making any defamatory statements or discriminatory comments.

Woollahra Council does not accept any liability for statements, comments or actions taken by individuals during a Council or Committee meeting.

Any part of the meeting that is held in closed session will not be recorded.

People connecting to this meeting by conferencing technology or teleconference are reminded that under the *Local Government Act 1993*, the recording of meetings by a member of the public using any electronic recording device including a mobile phone or video camera is not permitted. Any person found recording without the permission of Council may be expelled from the meeting.

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For further information please visit [www.woollahra.nsw.gov.au](http://www.woollahra.nsw.gov.au)

### Recommendation only to the Full Council ("R" Items):

- Such matters as are specified in Section 377 of the Local Government Act and within the ambit of the Committee considerations.
- Broad strategic planning matters including those initiated at State and Federal Government level.
- Urban design studies.
- Planning proposals and local environment plans.
- Development control plans and guidelines.
- Development contribution plans.
- Heritage conservation studies, assessments and controls.
- Commercial centres' studies.
- Residential studies and strategies.
- Parks and Reserves Plans of Management (Strategies, Policies and Objectives).
- Flood Management Strategies.
- Recreation Policies and Strategies.
- Sustainability Policies and Strategies.
- Transport Strategies.
- Tree Policies and Strategies.
- Matters requiring the expenditure of moneys and in respect of which no Council vote has been made.
- Matters requiring supplementary votes to Budget.
- Matters not within the specified functions of the Committee.
- Matters reserved by individual Councillors in accordance with any Council policy on "safeguards" and substantive changes

### Delegated Authority to be determined at Committee level ("D" Items):

- To require such investigations, reports or actions as considered necessary in respect of matters contained within the Business Agendas (and as may be limited by specific Council resolutions).
- Confirmation of the Minutes of its Meetings.
- Statutory reviews of Council's Delivery Program and Operational Plan.
- Any other matter falling within the responsibility of the Environmental Planning Committee and not restricted by the

Local Government Act or required to be a Recommendation to Full Council as listed above.

### Environmental Planning Committee Membership:

7 Councillors

### Quorum:

The quorum for Committee meeting is 4 Councillors



# Woollahra Municipal Council

## Notice of Meeting

3 March 2021

To: Her Worship the Mayor, Councillor Susan Wynne, ex-officio  
Councillors Mary-Lou Jarvis (Chair)  
Nick Maxwell (Deputy Chair)  
Luise Elsing  
Matthew Robertson  
Isabelle Shapiro  
Mark Silcocks  
Toni Zeltzer

Dear Councillors,

### **Environmental Planning Committee – 8 March 2021**

In accordance with the provisions of the Local Government Act 1993, I request your attendance at Council's **Environmental Planning Committee** meeting to be held using teleconferencing technology, **on Monday 8 March 2021 at 6.00pm.**

Watch and listen to the meeting live via Council's website:

[https://www.woollahra.nsw.gov.au/council/meetings\\_and\\_committees/committees/environmental\\_planning\\_committee\\_ep/ep\\_agendas\\_and\\_minutes](https://www.woollahra.nsw.gov.au/council/meetings_and_committees/committees/environmental_planning_committee_ep/ep_agendas_and_minutes)

A audio recording of the meeting will be uploaded to Council's website following the meeting by 5.00pm on the next business day.

The safety of our community, Councillors and our staff is Council's number one priority and we thank you for your patience and understanding at this time.

If you have any difficulties accessing the meeting please contact (02) 9391 7001.

Craig Swift-McNair  
General Manager

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## Meeting Agenda

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**Item No:** D1 Delegated to Committee  
**Subject:** **CONFIRMATION OF MINUTES OF MEETING HELD ON 1 FEBRUARY 2021**  
**Author:** Sue O'Connor, Governance Officer  
**File No:** 21/19100  
**Reason for Report:** The Unconfirmed Minutes of the Environmental Planning Committee of 30 November 2020 are circulated. In accordance with the guidelines for Committees' operations it is now necessary that those Minutes be formally taken as read and confirmed.

**Recommendation:**

THAT the Minutes of the Environmental Planning Committee Meeting of 1 February 2021 be taken as read and confirmed.

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**Annexures**

1. Unconfirmed Environmental Planning Committee Minutes - 1 February 2021 [↓](#) 



## Environmental Planning Committee



## Minutes

Monday 1 February 2021



## **Environmental Planning Committee Minutes**

**Monday 1 February 2021**

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**Minutes of the Meeting held on  
1 February 2021 at 6.03pm  
held using teleconferencing technology**

Present:	Councillors:	Mary-Lou Jarvis	(Chair) (Not Item R3)
		Luise Elsing	
		Matthew Robertson	
		Isabelle Shapiro	(Chair) (Item R3)
		Mark Silcocks	
		Toni Zeltzer	(Not Item R3)
Staff:		Nick Economou	(Acting Director – Planning & Development)
		Micaela Hopkins	(Team Leader – Environment & Sustainability)
		Shona Lindsay	(Heritage Officer)
		Kelly McKellar	(Team Leader – Strategic Planning)
		Deeksha Nathani	(Strategic Planner)
		Carolyn Nurmi	(Governance Officer)
		Sue O'Connor	(Governance Officer)
		Tom O'Hanlon	(Director – Technical Services)
		Flavia Scardamaglia	(Strategic Heritage Officer)
		Craig Swift-McNair	(General Manager)
		Kristy Welfare	(Strategic Heritage Officer)
Also in Attendance:		Councillor Anthony Marano	(Items D1 to R4)
		Councillor Lucinda Regan	(Items D1 to R5)

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## **Leave of Absence and Apologies**

Apologies were received and accepted from The Mayor, Councillor Susan Wynne & Councillor Nick Maxwell and leave of absence granted.

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## **Late Correspondence**

Late correspondence was submitted to the committee in relation to Items: R2, R3 & R5

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## **Declarations of Interest**

Councillor Zeltzer declared a Pecuniary Interest in Item R3 (Request for a Planning Proposal for 203-233 New South Head Road, Edgecliff) noting that should the applicant submit a Rezoning Review it is anticipated that it will be considered by the Sydney Eastern City Planning Panel (SECPP), of which Councillor Zeltzer is a member. Councillor Zeltzer left the meeting and did not participate in debate or vote on this matter.

Councillor Jarvis declared a Pecuniary Interest in Item R3 (Request for a Planning Proposal for 203-233 New South Head Road, Edgecliff) noting that should the applicant submit a Rezoning Review it is anticipated that it will be considered by the Sydney Eastern City Planning Panel (SECPP), of which Councillor Jarvis is a member. Councillor Jarvis left the meeting and did not participate in debate or vote on this matter.

Councillor Jarvis declared a Non-Pecuniary Non-Significant Interest in Item R2 (Planning proposal - Hillcrest - 780-786 New South Head Road, Rose Bay) as she has worked previously with Jennifer Hill. Councillor Jarvis remained in the meeting and debated and voted on this matter.

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Woollahra Municipal Council  
Environmental Planning Committee Minutes

1 February 2021

**Items to be Decided by this Committee using its Delegated Authority**

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**Item No:** D1 Delegated to Committee  
**Subject:** **CONFIRMATION OF MINUTES OF MEETING HELD ON 30 NOVEMBER 2020**  
**Author:** Sue O'Connor, Governance Officer  
**File No:** 20/221767  
**Reason for Report:** The Minutes of the Environmental Planning Committee of 30 November 2020 were previously circulated. In accordance with the guidelines for Committees' operations it is now necessary that those Minutes be formally taken as read and confirmed.

**(Robertson/Shapiro)**

**Resolved:**

THAT the Minutes of the Environmental Planning Committee Meeting of 30 November 2020 be taken as read and confirmed.

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**Item No:** D2 Delegated to Committee  
**Subject:** **SYDNEY COASTAL COUNCILS GROUP MINUTES - 26 NOVEMBER 2020**  
**Author:** Micaela Hopkins, Team Leader Environment & Sustainability  
**Approvers:** Paul Fraser, Manager - Open Space & Trees  
Tom O'Hanlon, Director - Technical Services  
**File No:** 20/234805  
**Reason for Report:** To submit the minutes of the Sydney Coastal Councils Group Full Group Annual General Meeting.

**(Robertson/Zeltzer)**

**Resolved:**

THAT the minutes of the Sydney Coastal Councils Group Full Group Annual General Meeting held on 26 November 2020 be received and noted.

*Note: In accordance with section 375A of the Local Government Act a Division of votes is recorded on this planning matter.*

***For the Motion***

***Against the Motion***

Councillor Elsing  
Councillor Jarvis  
Councillor Robertson  
Councillor Shapiro  
Councillor Silcocks  
Councillor Zeltzer

Nil

***6/0***

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**Item No:** D3 Delegated to Committee  
**Subject:** **DOUBLE BAY WORKING PARTY MINUTES - 26 NOVEMBER 2020**  
**Author:** Kate Burgess, Temp Coordinator Placemaking  
**Approvers:** Anne White, Manager - Strategic Planning  
Craig Swift-McNair, General Manager  
**File No:** 20/234804  
**Reason for Report:** To report the minutes of the Double Bay Working Party meeting that took place on 26 November 2020.

(Silcocks/Robertson)

**Resolved:**

THAT the Minutes of the Double Bay Working Party meeting that took place on 26 November 2020 be received and noted.

*Note: In accordance with section 375A of the Local Government Act a Division of votes is recorded on this planning matter.*

**For the Motion**

**Against the Motion**

Councillor Elsing  
Councillor Jarvis  
Councillor Robertson  
Councillor Shapiro  
Councillor Silcocks  
Councillor Zeltzer

Nil

6/0

**Item No:** D4 Delegated to Committee  
**Subject:** **OXFORD STREET & PADDINGTON WORKING PARTY MINUTES - 2 DECEMBER 2020**  
**Author:** Kate Burgess, Temp Coordinator Placemaking  
**Approvers:** Anne White, Manager - Strategic Planning  
Craig Swift-McNair, General Manager  
**File No:** 20/234903  
**Reason for Report:** To report the minutes of the Oxford Street & Paddington Working Party that took place on 2 December 2020.

(Robertson/Elsing)

**Resolved:**

THAT the Minutes of the Oxford Street & Paddington Working Party meeting that took place on 2 December 2020 be received and noted.

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*Note: In accordance with section 375A of the Local Government Act a Division of votes is recorded on this planning matter.*

***For the Motion***

***Against the Motion***

Councillor Elsing  
Councillor Jarvis  
Councillor Robertson  
Councillor Shapiro  
Councillor Silcocks  
Councillor Zeltzer

Nil

***6/0***

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**Items to be Submitted to the Council for Decision with Recommendations from this Committee**

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**Item No:** R1 Recommendation to Council

**Subject:** **POST EXHIBITION REPORT - PLANNING PROPOSAL - GEORGE S. GRIMLEY PAVILION AND THE SYDNEY CROQUET CLUB, ROSE BAY - HERITAGE LISTING**

**Author:** Shona Lindsay, Heritage Officer

**Approvers:** Anne White, Manager - Strategic Planning  
Nick Economou, Acting Director Planning & Development

**File No:** 20/237587

**Reason for Report:** To report on the public exhibition of the planning proposal to list the George S. Grimley Pavilion (1926 building and eastern single storey 1930s extension, including interiors) and forecourt on the southern side at Woollahra Park, off O'Sullivan Road, Rose Bay and the Sydney Croquet Clubhouse (including the interiors), moveable heritage items (including rustic benches, timber lockers, opening plaque, honour boards, pennants, historical photographs and trophies), lawns, timber shelters and 3 Hill's Weeping Figs, 3 Norfolk Island Pines, a Washingtonia Palm, 3 Yellowwoods, 2 Eucalyptus sp. and 2 Brush Box located within and adjoining the boundaries of the Clubhouse facility at Woollahra Park, off O'Sullivan Road, Rose Bay as individual local heritage items in Schedule 5 of Woollahra Local Environmental Plan 2014.  
To obtain Council's approval to proceed with the finalisation of the planning proposal and preparation of a draft LEP.



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(Shapiro/Elsing)

**Recommendation:**

- A. THAT Council proceed with the planning proposal at **Annexure 1** of the report to the Environmental Planning Committee of 1 February 2021, and proceed with the preparation of a draft local environmental plan to amend Schedule 5 of Woollahra LEP 2014 to list the *George S. Grimley Pavilion (1926 building and eastern single storey 1930s extension, including interiors) and forecourt on the southern side at Woollahra Park, off O'Sullivan Road, Rose Bay and the Sydney Croquet Clubhouse (including the interiors), moveable heritage items (including rustic benches, timber lockers, opening plaque, honour boards, pennants, historical photographs and trophies), lawns, timber shelters and 3 Hill's Weeping Figs, 3 Norfolk Island Pines, a Washingtonia Palm, 3 Yellowwoods, 2 Eucalyptus sp. and 2 Brush Box located within and adjoining the boundaries of the Clubhouse facility at Woollahra Park, off O'Sullivan Road, Rose Bay as individual local heritage items.*
- B. THAT Council use its authorisation as the local plan-making authority to exercise the functions under section 3.36(2) of the *Environmental Planning and Assessment Act 1979* to make the LEP.
- C. THAT Council proceed with submitting the nomination application to Heritage NSW to list the *Sydney Croquet Clubhouse (exterior and interior)* on the State Heritage Register.

*Note: In accordance with section 375A of the Local Government Act a Division of votes is recorded on this planning matter.*

***For the Motion***

Councillor Elsing  
Councillor Jarvis  
Councillor Robertson  
Councillor Shapiro  
Councillor Silcocks  
Councillor Zeltzer

***Against the Motion***

Nil

***6/0***

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**Item No:** R2 Recommendation to Council  
**Subject:** **PLANNING PROPOSAL - HILLCREST - 780-786 NEW SOUTH HEAD ROAD, ROSE BAY**  
**Author:** Kristy Wellfare, Strategic Heritage Officer  
**Approvers:** Anne White, Manager - Strategic Planning  
Nick Economou, Acting Director Planning & Development  
**File No:** 20/242751  
**Reason for Report:** To provide Council with the advice of the Woollahra Local Planning Panel. To obtain Council's approval to proceed with the planning proposal to list Hillcrest, including interiors and gardens at 780-786 New South Head Road, Rose Bay, as a local heritage item in Woollahra Local Environmental Plan 2014.

**Note:** Councillor Jarvis declared a Non-Pecuniary Non-Significant Interest in this Item, as she has worked previously with Jennifer Hill. Councillor Jarvis remained in the meeting and debated and voted on this matter.

**Note:** Late correspondence was tabled by Jennifer Hill.

**Note:** Sameh Kalantar & Jennifer Hill, addressed the Committee.

**Motion moved by Councillor Zeltzer**  
**Seconded by Councillor Elsing**

- A. THAT Council note the advice provided by the Woollahra Local Planning Panel on 17 December 2020 for the planning proposal to list Hillcrest, including interiors and gardens at 780-786 New South Head Road, Rose Bay, as a local heritage item in Woollahra Local Environmental Plan 2014.
- B. THAT the planning proposal, as contained in **Annexure 1** of the report to the Environmental Planning Committee meeting on 1 February 2021 be forwarded to the Department of Planning, Industry and Environment with a request for a gateway determination to allow public exhibition.
- C. THAT Council request the Minister for Planning and Public Spaces (or delegate) authorise Council as the local plan-making authority in relation to the planning proposal, to make the local environmental plan under section 3.36 of the *Environmental Planning and Assessment Act 1979*.

**Amendment moved by Councillor Silcocks**

- A. THAT Council note the advice provided by the Woollahra Local Planning Panel on 17 December 2020 for the planning proposal to list Hillcrest, including interiors and gardens at 780-786 New South Head Road, Rose Bay, as a local heritage item in Woollahra Local Environmental Plan 2014.
- B. THAT the planning proposal, as contained in **Annexure 1** of the report to the Environmental Planning Committee meeting on 1 February 2021 be forwarded to the Department of Planning, Industry and Environment with a request for a gateway determination to allow public exhibition, subject to the deletion of the words "including interiors and gardens" from the proposed listing.

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- C. THAT Council request the Minister for Planning and Public Spaces (or delegate) authorise Council as the local plan-making authority in relation to the planning proposal, to make the local environmental plan under section 3.36 of the *Environmental Planning and Assessment Act 1979*.

**The Amendment lapsed for want of a seconder.  
The Motion was put and carried.**

**(Zeltzer/Elsing)**

**Recommendation:**

- A. THAT Council note the advice provided by the Woollahra Local Planning Panel on 17 December 2020 for the planning proposal to list Hillcrest, including interiors and gardens at 780-786 New South Head Road, Rose Bay, as a local heritage item in Woollahra Local Environmental Plan 2014.
- B. THAT the planning proposal, as contained in **Annexure 1** of the report to the Environmental Planning Committee meeting on 1 February 2021 be forwarded to the Department of Planning, Industry and Environment with a request for a gateway determination to allow public exhibition.
- C. THAT Council request the Minister for Planning and Public Spaces (or delegate) authorise Council as the local plan-making authority in relation to the planning proposal, to make the local environmental plan under section 3.36 of the *Environmental Planning and Assessment Act 1979*.

*Note: In accordance with section 375A of the Local Government Act a Division of votes is recorded on this planning matter.*

***For the Motion***

Councillor Elsing  
Councillor Jarvis  
Councillor Robertson  
Councillor Shapiro  
Councillor Zeltzer

***Against the Motion***

Councillor Silcocks

**5/1**

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**Item No:** R3 Recommendation to Council  
**Subject:** **REQUEST FOR A PLANNING PROPOSAL FOR 203-233 NEW SOUTH HEAD ROAD, EDGECLIFF**  
**Author:** Deeksha Nathani, Strategic Planner  
**Approvers:** Kelly McKellar, Team Leader Strategic Planning  
Anne White, Manager - Strategic Planning  
Nick Economou, Acting Director Planning & Development  
**File No:** 20/234778  
**Reason for Report:** To report on a request for a planning proposal for 203-233 New South Head Road, Edgecliff which seeks to amend the maximum Height of Buildings and Floor Space Ratio standards in the Woollahra Local Environmental Plan 2014.  
To recommend that Council does not support the request for a planning proposal for 203-233 New South Head Road, Edgecliff.

**Note:** Councillor Zeltzer declared a Pecuniary Interest in this Item, noting that should the applicant submit a Rezoning Review it is anticipated that it will be considered by the Sydney Eastern City Planning Panel (SECPP), of which Councillor Zeltzer is a member. Councillor Zeltzer left the meeting and did not participate in debate or vote on this matter.

**Note:** Councillor Jarvis declared a Pecuniary Interest in this Item, noting that should the applicant submit a Rezoning Review it is anticipated that it will be considered by the Sydney Eastern City Planning Panel (SECPP), of which Councillor Jarvis is a member. Councillor Jarvis left the meeting and did not participate in debate or vote on this matter.

**Note:** Councillor Shapiro assumed the Chair for this Item.

**Note:** Late correspondence was tabled by Ethos Urban.

**Note:** James McBride & Paolo Razza, addressed the Committee.

**(Robertson/Silcocks)**

**Recommendation:**

- A. THAT Council resolves not to support the request for a planning proposal for 203-233 New South Head Road, Edgecliff, which seeks to amend the *Woollahra Local Environmental Plan 2014* in the following manner:
- Increase the maximum Height of Buildings standard from part 6 metres/part 26 metres to RL 195 metres AHD.
  - Increase the maximum Floor Space Ratio (FSR) standard from 2.5:1 to 9:1.
  - Introduce a minimum Non-Residential FSR of 3:1.
- B. THAT Council notify the Applicant that it does not support the request for a planning proposal for the following reasons:
- The request is inconsistent with the objectives and planning priorities of the *Greater Sydney Region Plan, Eastern City District Plan, Woollahra Local Strategic Planning Statement 2020* and *Woollahra 2030: Community Strategic Plan* as it:

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- a. does not sufficiently address future infrastructure and community needs that future development on the site would generate or how this key location will contribute to the needs of the centre and the surrounding area;
  - b. does not provide affordable housing;
  - c. is inconsistent with the scale and role of a local centre and the desired future character of the precinct; and
  - d. does not provide sufficient public benefit.
  - ii. The request is inconsistent with the objectives for Land Use Zone, Height of Buildings and FSR in the *Woollahra Local Environmental Plan 2014*.
  - iii. The requested Height of Buildings and FSR standards are inappropriate and would create a building envelope which has an excessive bulk and scale.
  - iv. The request is inconsistent with the desired future character as set out in the *Woollahra Development Control Plan 2015*.
  - v. The requested building envelope will result in adverse impacts on the local centre and the surrounding area with regard to streetscape, public domain, heritage, views, traffic, residential amenity, sustainability and prescribed airspace.
- C. THAT the Applicant is notified that Council does not support the request for a planning proposal in accordance with clause 10A of the *Environmental Planning and Assessment Regulation 2000*.

*Note: In accordance with section 375A of the Local Government Act a Division of votes is recorded on this planning matter.*

**For the Motion**

Councillor Elsing  
Councillor Robertson  
Councillor Shapiro  
Councillor Silcocks

**Against the Motion**

Nil

**4/0**

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**Item No:** R4 Recommendation to Council

**Subject:** **POST EXHIBITION REPORT - DRAFT WOOLLAHRA DEVELOPMENT CONTROL PLAN 2015 (AMENDMENT NO.12) - PROVISIONS FOR PUBS IN THE PADDINGTON HERITAGE CONSERVATION AREA**

**Author:** Flavia Scardamaglia, Strategic Heritage Officer

**Approvers:** Anne White, Manager - Strategic Planning  
Nick Economou, Acting Director Planning & Development

**File No:** 20/230624

**Reason for Report:** To report on the public exhibition of the Draft Woollahra Development Control Plan 2015 (Amendment No. 12).  
To obtain Council's approval of the Draft DCP to enhance the provisions for pubs in the Paddington Heritage Conservation Area.



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**(Robertson/Shapiro)**

**Recommendation:**

THAT Council approve the *Draft Woollahra Development control Plan 2015 (Amendment No. 12)* as attached at **Annexure 4** of the report to the Environmental Planning Committee meeting of 1 February 2021.

*Note: In accordance with section 375A of the Local Government Act a Division of votes is recorded on this planning matter.*

***For the Motion***

***Against the Motion***

Councillor Elsing  
Councillor Jarvis  
Councillor Robertson  
Councillor Shapiro  
Councillor Silcocks  
Councillor Zeltzer

Nil

***6/0***

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**Item No:** R5 Recommendation to Council  
**Subject:** **UPDATE - PLANNING PROPOSAL TO INTRODUCE AN 800SQM MINIMUM LOT SIZE FOR ATTACHED DUAL OCCUPANCIES**  
**Author:** Kelly McKellar, Team Leader Strategic Planning  
**Approvers:** Anne White, Manager - Strategic Planning  
Nick Economou, Acting Director Planning & Development  
**File No:** 21/4597  
**Reason for Report:** To report the advice from the Department of Planning, Industry and Environment regarding Council's planning proposal seeking to introduce an 800sqm minimum lot size for attached dual occupancies.

**Note:** Late correspondence was tabled by Malcolm Young Double Bay Residents' Assoc.

**Note:** Kim Foltz & Merrill Witt, addressed the Committee.

**Motion moved by Councillor Robertson**

**Seconded by Councillor Jarvis**

THAT the report on the planning proposal to introduce an 800sqm minimum lot size for attached dual occupancies be deferred for a further report.

**Councillor Robertson withdrew his Motion**

**Motion moved by Councillor Elsing**

**Seconded by Councillor Zeltzer**



Woollahra Municipal Council  
Environmental Planning Committee Minutes

1 February 2021

(Elsing/Zeltzer)

**Recommendation:**

- A. THAT the report on the planning proposal to introduce an 800sqm minimum lot size for attached dual occupancies to the Environmental Planning Committee meeting of 1 February 2021 be received and noted.
- B. THAT a written request be sent to the Minister for Planning and Public Spaces to formally proceed with an amended planning proposal seeking to introduce an 1,200sqm minimum lot size for attached dual occupancies in the R2 Low Density Residential Zone.

*Note: In accordance with section 375A of the Local Government Act a Division of votes is recorded on this planning matter.*

**For the Motion**

**Against the Motion**

Councillor Elsing  
Councillor Jarvis  
Councillor Maxwell  
Councillor Robertson  
Councillor Shapiro  
Councillor Silcocks  
Councillor Zeltzer

Nil

7/0

**Item No:** R6 Recommendation to Council  
**Subject:** **PROPOSED AMENDMENTS TO THE WOOLLAHRA COMMUNITY PARTICIPATION PLAN 2019**  
**Author:** Kelly McKellar, Team Leader Strategic Planning  
**Approvers:** Anne White, Manager - Strategic Planning  
Nick Economou, Acting Director Planning & Development  
**File No:** 21/2444  
**Reason for Report:** To obtain Council's approval for an amendment to the Woollahra Community Participation Plan 2019. The amendment seeks to facilitate the Council resolution of 23 November 2020 to no longer publish development applications in the local paper.

(Elsing/Zeltzer)

**Recommendation:**

- A. THAT Council rescind the part resolution of Council adopted on 23 November 2020 which reads as follows:
- D. THAT Council no longer publish Development Applications in the local paper in accordance with the amendments to the Environment Planning & Assessment Regulation 2000 which enable notification online via the NSW Planning Portal or Council's website.

Woollahra Municipal Council  
Environmental Planning Committee Minutes

1 February 2021

- B. THAT Council approve the amendments to the Woollahra Community Participation Plan (CPP) 2019, as contained in Annexure 1 of the report to the Environmental Planning Committee of 1 February 2020, including amending the word “may” to the word “must” in section 6.3 of the Plan and amend all other relevant sections as appropriate, so as to ensure that all Development Applications, applications to modify a Development Consent, Planning Proposals, Development Control Plans, Contribution Plans, draft policies and any other planning matters to which the CPP applies must be published in a newspaper that circulates weekly in the Woollahra Municipality.
- C. THAT Council investigate and report on how Council can best disseminate other relevant information (including notifications for road works etc) to residents.
- D. THAT Council continue to consider and evaluate options for the efficient and effective delivery of information to residents.

*Note: In accordance with section 375A of the Local Government Act a Division of votes is recorded on this planning matter.*

***For the Motion***

Councillor Elsing  
Councillor Robertson  
Councillor Shapiro  
Councillor Zeltzer

***Against the Motion***

Councillor Jarvis  
Councillor Silcocks

4/2

There being no further business the meeting concluded at 8.34pm.

**We certify that the pages numbered 1 to 14 inclusive are the Minutes of the Environmental Planning Committee Meeting held on 1 February 2021 and confirmed by the Environmental Planning Committee on 1 March 2021 as correct.**

\_\_\_\_\_  
**Chairperson**

\_\_\_\_\_  
**Secretary of Committee**

**Item No:** D2 Delegated to Committee  
**Subject:** **ECOLOGICAL SUSTAINABILITY TASKFORCE MINUTES - 16 NOVEMBER 2020 & 15 FEBRUARY 2021**  
**Author:** Micaela Hopkins, Team Leader Environment & Sustainability  
**Approvers:** Paul Fraser, Manager - Open Space & Trees  
Tom O'Hanlon, Director - Technical Services  
**File No:** 21/22442  
**Reason for Report:** To circulate the minutes of the Ecological Sustainability Taskforce meetings held on 16 November 2020 and 15 February 2021.

**Recommendation:**

THAT Council receive and note the minutes of the Ecological Sustainability Taskforce meetings held on 16 November 2020 and 15 February 2021.

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**Background:**

In 2009 Council established the Ecological Sustainability Taskforce (EST). The role of the EST is to review and recommend Council strategy in relation to sustainability initiatives and policy. Membership of the EST consists of at least four Councillors, including the Chair, as appointed by the Mayor, and staff.

The following Councillors are current members of the Taskforce:

Cr Toni Zeltzer – Chair  
Cr Anthony Marano  
Cr Megan McEwin  
Cr Mark Silcocks  
Cr Matthew Robertson

**Proposal:**

That Council receive and note the minutes of the Ecological Sustainability Taskforce meetings held on 16 November 2020 and 15 February 2021. The minutes and presentation slides have been attached to this report.

At the meeting on 16 November, the setting of community targets for reducing carbon emissions was discussed, and the Ecological Sustainability Taskforce indicated support for developing ambitious targets for community and corporate emission reduction.

The following targets were proposed:

Corporate

- 100% renewable electricity supply by 2025
- Fleet 100% electric by 2030






Community

- Community Net Zero by 2040

In addition, the Taskforce indicated support for integrating the UN Sustainable Development Goals into the next Community Strategic Plan.

The meeting held on 15 February 2021 included a progress report on Council's actions in response to the Climate Emergency. A table detailing progress on the actions adopted by Council In July 2020 is attached.

### **Annexures**

1. Ecological Sustainability Taskforce Minutes - 16 November 2020 [↓](#) 
2. Ecological Sustainability Taskforce Presentation Slides - 16 November 2020 [↓](#) 
3. Ecological Sustainability Taskforce Minutes - 15 February 2021 [↓](#) 
4. Ecological Sustainability Taskforce Presentation Slides - 15 February 2021 [↓](#) 
5. Progress Report - Climate Emergency Actions - February 2021 [↓](#) 



**Woollahra Municipal Council Ecological Sustainability Taskforce - Minutes**  
**4.45-5.45 6pm Monday 16 November 2020**  
**Online Meeting**

**Present:** Cr Toni Zeltzer (Chair), Cr Megan McEwin, Cr Anthony Marano, Cr Matthew Robertson, Cr Mark Silcocks, Tom O'Hanlon – Director Technical Services, Micaela Hopkins – Team Leader Environment & Sustainability, Michelle Rose – Environmental Education Officer, Jimmy Thomas – Sustainability Projects Officer

**Meeting opened 4.45pm.**

Item No.	Subject	Discussion	Action
1	<b>Welcome</b>	Cr Zeltzer welcomed all attendees. Apologies were provided from Paul Fraser and Karen Harper.	
2	<b>Environmental</b>	Micaela Hopkins & Jimmy Thomas provided a briefing on developing carbon	

	<p><b>Targets &amp; UN Sustainable Development Goals (SDGs) – Micaela Hopkins &amp; Jimmy Thomas</b></p>	<p>emission reduction targets for Council and the local community and the UN Sustainable Development Goals (SDGs) (presentation slides attached to minutes).</p> <p>Jimmy Thomas provided an overview of the SDGs and a project he has been undertaking with the University of Melbourne.</p> <ul style="list-style-type: none"> <li>• Australia committed to implementing the SDGs in 2015</li> <li>• 2020-2030 has been named by the UN as the 'decade of action' on climate change.</li> <li>• Focus of SDG 11 – Sustainable cities – our project is working with this goal. Project focus: reducing community emissions eg by aligning our next CSP with the SDGs.</li> <li>• Council needs community involvement and support to reduce community emissions.</li> <li>• At a minimum, Council's target should be net zero by 2050. A more ambitious target is net zero by 2040, as being pursued by Councils including City of Sydney, City of Melbourne, City of Newcastle.</li> </ul> <p>Possible actions for Woollahra:</p> <p>Corporate – Council emissions</p> <ul style="list-style-type: none"> <li>• 100% renewable electricity supply by 2025</li> </ul>	
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	<ul style="list-style-type: none"> <li>Fleet 100% electric by 2030</li> </ul> <p>Community</p> <ul style="list-style-type: none"> <li>Community Net Zero by 2040</li> </ul> <p>Cr Zeltzer noted Council's limited ability to influence community carbon emissions beyond showing leadership and providing education. It was agreed that this would be Council's main role.</p> <p>Cr Silcocks questioned how Woollahra compared to other Council areas. Staff explained that Woollahra has relatively high emissions, as per capita energy use is high.</p> <p>Cr McEwin questioned what Council can do to strengthen planning documents and the development assessment process - eg 4 houses demolished to create one house and no solar panels. Council is limited by BASIX controls. Other Councils have used incentive programs and rebates. The importance of adopting tree canopy targets as a result of their role as a carbon sink was noted by the Taskforce. Cr Robertson noted the importance of development controls that make solar installations simple.</p> <p>Overall, the Taskforce supported the development of ambitious community targets, community motivation and desire to reduce emissions is strong in our community. The Taskforce also support integrating the UN SDGs into the next CSP.</p>	<p>Environment &amp; Sustainability Team to proceed with developing corporate and community targets.</p> <p>Environment and Sustainability Team to ensure that SDGs are incorporated into the next CSP.</p> <p>Environment and Sustainability Team to continue to provide support and education to the community to assist with emission reduction.</p>
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3	<b>EV Charging Possibilities in Woollahra – Micaela Hopkins</b>	<p>A progress report was provided regarding the electrification of the Council fleet. To date, Council has replaced the GM and Director of Technical Service vehicles with EVs and installed charging infrastructure at Redleaf staff carpark. There is budget for purchase of a staff pool EV. An e-garbage compactor has been trialled with positive feedback. EV charging infrastructure for future use by ranger vehicles has been installed. An e-bike has been purchased for use by staff on short journeys.</p> <p>EV Working Group has been established by the 3 Council Regional Environment Program to enable discussion and work-shopping of issues arising in this space. Each Council has a representative from the sustainability section and traffic section.</p> <p>Usage of the 3 Council EV charging network is increasing rapidly. Woollahra has two new public EV chargers installed – Redleaf Pool and Norwich Road Rose Bay.</p> <p>Council has also been approached about trialling 'SmartPoles' – street light poles with an integrated EV charger.</p> <p>Council recently received a proposal from Ausgrid and Jolt for integrating fast EV chargers into Ausgrid kiosks. The charging infrastructure would be installed free of charge, however they intend to have advertising on the kiosk to cover their costs. This proposal was not supported by the members of the</p>	Staff to investigate additional on-street public EV charging.

		<p>Taskforce, due to the advertising on the structure. Staff advised that the proposal would need to go through the normal DA process, and that Jolt / Ausgrid were meeting with DA planning staff to ascertain Council requirements.</p> <p>It was requested that staff continue to investigate locations for additional on-street chargers, with Paddington being a priority.</p>	
4	<p><b>Artificial Habitat on Seawalls – Micaela Hopkins</b></p>	<p>Earlier this year EST members requested that staff investigate the possibility of installing artificial habitat on seawalls, as City of Sydney has done. Staff are preparing an Environmental Trust grant application in partnership with Sydney Institute of Marine Science, Sydney Coastal Councils Group, and Lake Macquarie Council developing best practice seawall design to enhance biodiversity and improving the ecological function of artificial structures by installing habitat panels in the tidal zone.</p> <p>The grant will cover the cost of panels, Council will contribute approximately \$15,000 to implement the project from our existing biodiversity budget.</p> <p>Staff are considering potential sites, noting the heritage constraints of Rushcutters Bay and Rose Bay, and that the seawall must be good structural condition.</p> <p>If successful, implementation will commence mid 2021.</p> <p>The members of the Taskforce indicated support for this project which will</p>	<p>Staff to submit grant application.</p>

		have water quality benefits as well as biodiversity.	
5	<b>General Business</b>	No general business raised.	
6	<b>Next meeting</b>		Micaela Hopkins to organise the next meeting.

**Meeting closed 6.00pm.**

# Ecological Sustainability Taskforce

16 November 2020



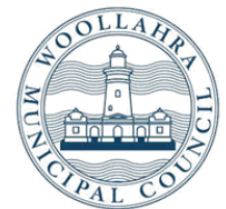
# Agenda

- Welcome – Cr Zeltzer (5 min)
- Environmental Targets & UN Sustainable Development Goals – Jimmy Thomas (30 min)
- EV Charging Possibilities in Woollahra – Micaela Hopkins (10 min)
- Artificial Habitat on Seawalls – Micaela Hopkins (5 min)
- General Business (10 min)



# Environmental Targets & UN Sustainable Development Goals

- 17 goals – 169 targets – 231 indicators
- Priorities – economic growth, social inclusion and environmental protection
- Focus on SDG 11 – “Make cities inclusive, safe, resilient and sustainable.”



# Environmental Targets & UN Sustainable Development Goals

- University of Melbourne SDG Cities Challenge
- Current CSP – aligned with UNEP ‘Principles for Sustainable Cities’.
- Next CSP
  - Opportunity to align with the UN ‘Sustainable Development Goals’ to which Australia committed in 2015.
  - Opportunity to set ambitious environmental targets, including community targets.
  - Opportunity to assess community support via the community survey & a ‘Your Say’ page.
- Councils that already aligned planning documents with the UN SDGs include: City of Sydney and Newcastle City Council



## Local and International Cities Announced as the ‘Sustainable Development Goals Cities Challenge’ Begins.

The Faculty of Architecture, Building and Planning at the University of Melbourne and the [Connected Cities Lab](#), with partners the [Business Council for Sustainable Development Australia](#) (BCSDA) and [Banksia Foundation](#) announce the beginning of the ‘Sustainable Development Goals (SDGs) Cities Challenge’.





# Environmental Targets & UN Sustainable Development Goals

## Targeting a Net Zero Newcastle by 2040

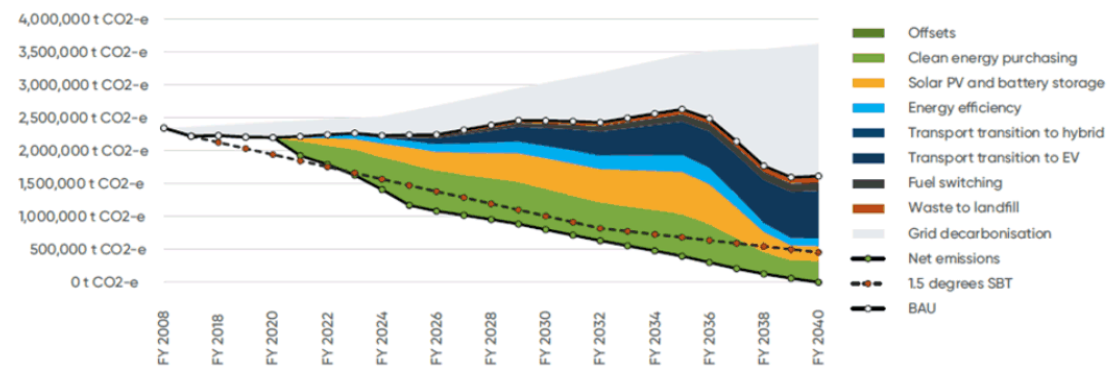


Chart 10 - Decarbonisation Pathway (Source 100% Renewables)

## Community Net Zero Targets

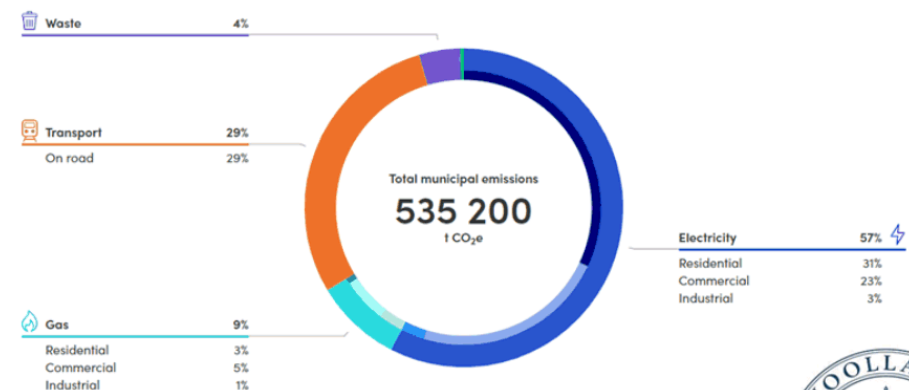
- City of Sydney - 2040
- City of Newcastle - 2040
- Waverley - 2050
- Randwick - 2050
- Inner West - 75% reduction by 2036, Net Zero by 2050
- Ku-ring-gai - 2045



# Environmental Targets & UN Sustainable Development Goals

- ‘Decade of action’ to drive down emissions.
- Suggested actions:
  - Align CSP with SDGs
  - Set corporate targets:
    - 100% renewable electricity supply by 2025.
    - Zero emissions fleet by 2030.
  - Community emissions target
    - Net-zero emissions by 2040

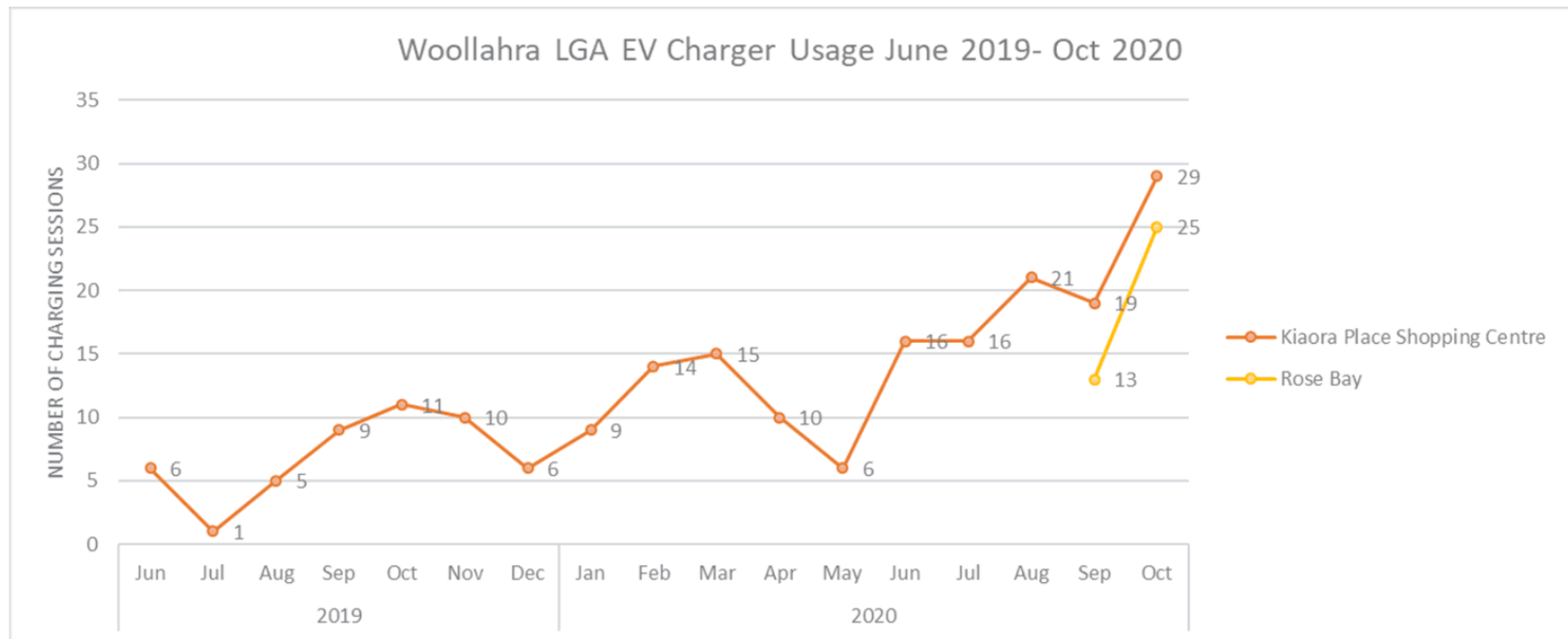
Report time period  
2018 July – 2019 June ▼  
**Woollahra**  
2018/19 municipal emissions snapshot



# EV Charging in Woollahra

- Electrification of fleet
  - GM & Director vehicle
  - Budget for staff pool vehicle
  - Rangers EV charger infrastructure
  - Trialled e-garbage compactor
  - Purchased e-bike for staff
- EV Working Group established
- Usage of Council EV charging network is increasing rapidly
- Two new EV chargers installed – Redleaf and Rose Bay
- SmartPoles
  - Charger integrated into street light pole
  - Potential to trial in the 3 Council area.





# EV Charging in Woollahra

Proposal from Ausgrid / JOLT to install and maintain fast chargers – run on green energy, zero cost to Council.

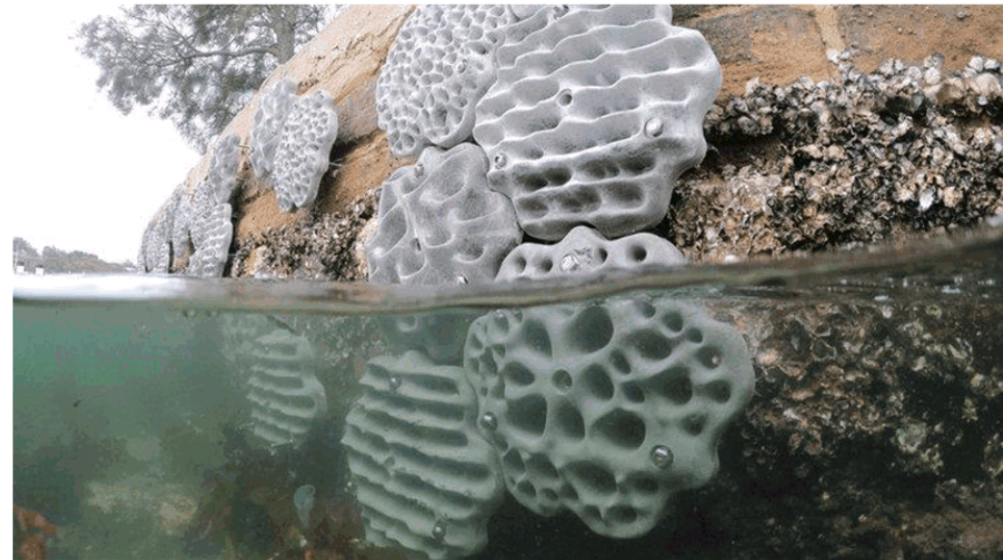
- Upgrade of existing Ausgrid kiosks to incorporate charger
- Free charging in return for advertising space – 14% of kiosk surface area.
- 1 charge / day / customer (15-30min = 40-50km)
- Improved aesthetic of existing kiosk
- Integrated rolling screens to display advertisements, including Council messages eg wayfinding.
- 3 sites proposed as a trial:
  - Oxford St & Ormond St Paddington
  - New South Head Rd & Norwich Rd Rose Bay
  - Goodhope St & Glenmore Rd Paddington
  - Pre-DA meeting next week.
- Issues: parking restrictions & signage, advertising





## Artificial Habitat on Seawalls

- Environmental Trust grant application in partnership with Sydney Institute of Marine Science, Sydney Coastal Councils Group, Lake Macquarie Council
- Best practice seawall design to enhance biodiversity – improving the ecological function of artificial structures.
- Installation of panels in the tidal zone
- Grant to cover cost of panels, Council to cover cost of installation (approx. \$15-20k).
- Considering potential sites noting heritage constraints of Rushcutters Bay and Rose Bay, must be good structural condition
- Implementation mid 2021



## General Business





**Woollahra Municipal Council Ecological Sustainability Taskforce - Minutes**  
**5pm - 5.45pm Monday 15 February 2021**  
**Online Meeting**

**Present:** Cr Megan McEwin, Cr Matthew Robertson, Cr Mark Silcocks, Tom O'Hanlon – Director Technical Services, Paul Fraser – Manager Open Space & Trees, Micaela Hopkins – Team Leader Environment & Sustainability, Michelle Rose – Environmental Education Officer, Jimmy Thomas – Sustainability Projects Officer

**Apologies:** Cr Toni Zeltzer

**Meeting opened 5pm.**

Item No.	Subject	Discussion	Action
1	Opening	In Cr Zeltzer's absence Tom O'Hanlon declared the meeting open and	



		assumed the role of Chair.	
2	<b>Acknowledgement of Country</b>		
3	<b>Apologies</b>	Cr Zeltzer	
4	<b>Declarations of Interest</b>	Nil	
2	<b>Council's Response to the Climate Emergency: Progress Report – Micaela Hopkins &amp; Jimmy Thomas</b>	<p>Micaela Hopkins &amp; Jimmy Thomas provided a briefing on the progress made on the implementation of actions adopted by Council in July 2020 in response to the Climate Emergency. Council adopted 31 actions and allocated budget to these actions, the majority of these actions are underway. A paper was circulated (attached) detailing progress on all actions. Key achievements to date are:</p> <ul style="list-style-type: none"> <li>• <i>Climate Active</i> certification – carbon footprint audited, offsets purchased, and carbon neutral confirmed for FY18/19 and 19/20.</li> <li>• Kiaora Solar – contractor engaged, solar array designed, final tweaks prior to installation.</li> <li>• Electric fleet – staff charger installed at Redleaf, infrastructure at Hugh Latimer; EVs purchased for GM, Director; staff pool EV purchase underway; e-bike purchased.</li> <li>• Public EV Charging – installed Rose Bay, Redleaf, investigations underway for Paddington. Tree canopy controls adopted</li> </ul>	

		<ul style="list-style-type: none"> <li>Climate change risk assessment – project brief developed, ready for distribution</li> <li>Preliminary discussions regarding the PPA renewable energy contract review – SSROC has commenced this project.</li> <li>Discussion &amp; endorsement of potential to set community targets at EST meeting in November 2020.</li> </ul>	
3	<b>Single Use Plastics Policy – Micaela Hopkins</b>	<p>In November 2018 the Single Use Plastics Policy was adopted. A review was undertaken in 2020 in response to a Notice of Motion to ensure that the Policy is best practice.</p> <p>The Policy Review involved:</p> <ul style="list-style-type: none"> <li>Meetings with key staff,</li> <li>Reviewed against policies of other Councils, including North Sydney and Ku-Ring-Gai.</li> <li>Revised policy circulated to key staff for comment.</li> <li>Main change: the Policy will now apply to users of Council venues, booking forms have been updated to reflect this.</li> <li>Next step: sign off by General Manager.</li> </ul> <p>Cr Robertson requested that a statement regarding compliance be inserted into the Policy. Micaela Hopkins stated that failure to comply with any of the venue hire conditions will result in users being unable to rent the venue again</p>	<p>Staff to amend Draft Policy to include:</p> <ul style="list-style-type: none"> <li>Statement about enforcement of the Policy.</li> <li>Reference to the two Notices of Motion.</li> </ul> <p>Staff to prepare report to Council addressing the items in the two Notices of Motion regarding single use plastics.</p>

		<p>in the future. This is detailed in the venue hire conditions.</p> <p>Cr Robertson requested that the Policy include a reference to the most recent Notice of Motion. Cr Robertson requested that a report be brought back to Council addressing the two Notices on Motion raised about Single Use Plastics.</p> <p>In relation to the 2018 Notice of Motion, staff confirmed that containers to collect soft plastics have been supplied in staff kitchens since 2018 and staff are taking items to Woolworths RedCycle bin. The recent kitchen upgrades have included a single use plastic collection receptacle alongside recycling and composting receptacles.</p>	
4	<b>Sustainability Engagement 2021 – Michelle Rose</b>	<p>Council's Environmental Education Officer, Michelle Rose, provided an overview of the sustainability engagement program planned for 2021. All events moved online in March 2020, and we are now returning to small face to face events where possible.</p> <p><b>Community</b></p> <ul style="list-style-type: none"> <li>• Events: beach clean ups (Clean Up Australia Day 7 March), planting days, walks and trails, educating about green electricity, installing solar.</li> <li>• HarbourCare beach clean-up program – supporting volunteers.</li> <li>• Supporting community gardens.</li> <li>• Collaboration: capacity building for eastern suburbs environmental groups, workshop on 21 March.</li> </ul>	Staff to submit grant application.

		<ul style="list-style-type: none"> <li>• Environmental grants: open April</li> <li>• Monthly Environmental E-news</li> <li>• <b>Schools</b> <ul style="list-style-type: none"> <li>• Eastern Suburbs Sustainable Schools Network events x 4, Cool Schools Program</li> <li>• Assisting schools with project planning - green groups and grants</li> </ul> </li> <li>• <b>Staff</b> <ul style="list-style-type: none"> <li>• Sustainability workshops – ethical superannuation and investments</li> <li>• Sustainability Sparks cross-department group</li> </ul> </li> <li>• <b>Business</b> <ul style="list-style-type: none"> <li>• Our Environment Our Business – program developed, resources on Council's website.</li> <li>• Highlight sustainability activities of local businesses, including profiling in the Environment E-news.</li> </ul> </li> </ul>	
5	<b>General Business</b>	Cr Robertson requested an update on the number of Bushcare volunteers. Paul Fraser will provide an update to Cr Robertson.	Staff to email Cr Robertson current Bushcare volunteer numbers.
	<b>Advisings</b>	Nil	

6	Next meeting	Monday 17 May 2021	
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**Meeting closed 5.45pm.**

# Ecological Sustainability Taskforce

15 February 2021



# Agenda

- Welcome – Cr Zeltzer (5 min)
- Council's Response to the Climate Emergency: Progress Report – Micaela Hopkins & Jimmy Thomas (15 min)
- Single Use Plastics Policy Review – Micaela Hopkins (10 min)
- Sustainability Engagement 2021 – Michelle Rose (10 min)
- General Business (5 min)



# Council's Response to the Climate Emergency: Progress Report

- Implementation of actions adopted by Council in July 2020 in response to the Climate Emergency.
- Council adopted 31 actions and allocated budget to these actions.
- Majority of these actions are underway





# Council's Response to the Climate Emergency: Progress Report

- *Climate Active* certification – carbon footprint audited, offsets purchased, and carbon neutral confirmed for FY18/19 and 19/20.
- Kiaora Solar – contractor engaged, solar array designed, final tweaks prior to installation.
- Electric fleet – staff charger installed at Redleaf, infrastructure at Hugh Latimer; EVs purchased for GM, Director; staff pool EV purchase underway; e-bike purchased.
- Public EV Charging – installed Rose Bay, Redleaf, investigations underway for Paddington.



# Council's Response to the Climate Emergency: Progress Report

- Tree canopy controls adopted
- Climate change risk assessment – project brief developed, ready for distribution
- PPA renewable energy review – SSROC to commence in 2021
- Discussion & endorsement of potential to set community targets at EST



# Single Use Plastics Policy Review

- Policy adopted in November 2018
- Review undertaken in 2020 in response to NOM to ensure best practice.
- Met with key staff, reviewed against policies of other Councils.
- Revised policy circulated for comment.
- Key change: now applies to users of Council venues, booking forms have been updated.
- Next step: sign off by General Manager.



# Sustainability Engagement 2021

- **Community**

- **Events:** beach clean ups, planting days, walks and trails, green electricity, seniors, solar.
- Community gardens.
- Collaboration: capacity building for eastern suburbs environmental groups.
- Grant round opens April
- Environmental E-news

- **Schools**

- Eastern Suburbs Sustainable Schools Network events x 4, Cool Schools
- Project planning - green groups and grants

- **Staff**

- Sustainability workshops – ethical Super
- Sustainability Sparks group

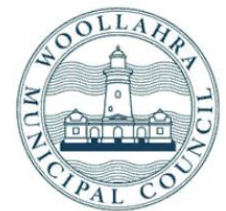
- **Business**

- Our Environment Our Business
- Local business, add to map, profile, promote e-news





## General Business



### Adopted Actions to Respond to the Climate Emergency

The Environment and Sustainability Team, in consultation and partnership with other teams across Council, researched and developed a number of new projects to further respond to the climate emergency. Actions are largely focussed on reducing carbon emissions and reducing reliance on potable water. These actions were adopted by Council in July 2020.

Progress on actions is outlined in the below table.

Climate Emergency Actions	Budget Estimate	Included in 20/21 Budget	Progress Comment – February 2021
Carbon Neutral Woollahra – audit of emissions and purchase of offsets	\$25,000p.a	✓	Complete for FY18/19 and FY19/20. Council the 3 <sup>rd</sup> NSW Council to achieve Climate Active certification.
Rooftop solar – install solar power at Kiaora Lands	\$130,000	✓	Contractors engaged and design in final stages.
Rooftop solar – investigate installation of a 15kW solar canopy over the carpark at the AIF.	\$30,000		On-going as new technologies develop.
Heating, Ventilation and Air Conditioning (HVAC) monitoring - install sensors to remotely monitor and manage HVAC systems at Kiaora.	\$150,000	✓	To be completed in FY21/22 with additional budget from property team.
Lighting control - install DALI lighting systems to control individual lights at Council buildings (Chambers, Library, Annexe, Depots).	\$10,000 per building	✓ (for one building)	Obtaining quotes for lighting upgrades at buildings that do not have LED lighting.
Street Lighting Improvement Plan – upgrade street lights to energy efficient LED lighting.	\$870,000 (over 3 years)	✓ (\$519,000)	
Park Lighting – use solar lighting in parks (where possible)	n/a – replacement cost		
Watt Watchers - Install ‘watt watchers’ at Council buildings to monitor energy use of specific circuits to identify opportunities for efficiency measures.	\$1,600 per monitor	✓	Investigation found that sub-meters have already been installed at Council Chambers. Funds will be used for lighting upgrades.

Gas phase out - develop comprehensive road map to phase out gas use at all Council assets.	\$30,000		To be investigated as assets are replaced.
Power Purchase Agreement – investigate increasing the amount of renewable energy purchased from 30% to 100%.	TBD		SSROC review of PPA commencing 2021. EOI submitted to participate in steering committee.
Decarbonise Fleet – develop a long term strategy to decarbonise Council's fleet.	n/a		First phase of electrification of fleet underway – Director vehicles, ranger vehicles, library courier vehicle.
Fleet policy – investigate setting an emissions cap and incentivise staff selection of hybrid, PHEV or electric vehicles.	n/a		Encouraging staff to choose Hybrid vehicles.
Electric Fleet – replace Mayor, General Manager and Director vehicles with EVs	TBC – minimal cost – replacement of existing vehicle	✓	EVs purchased for General Manager and Director Technical Services.
Electric fleet – purchase pool electric vehicle and install staff charger	\$50,000	✓	Two charging stations installed at Redleaf staff car park. Protocol for pool vehicle use is in development, vehicle has been selected and will be ordered shortly.
Electric fleet – purchase e-bikes for short staff journeys	\$5,000	✓	E-bike purchased.
Electric fleet - install charging station behind Hugh Latimer Centre and replace 2 Ranger cars with electric vehicles.	\$105,000	✓	Fleet management will be undertaking in FY21/22.
Electric fleet – investigate installation of charging station at AIF and replace existing garbage truck with electric truck (subject to feasibility assessment).	\$150,000 additional to standard vehicle	✓	E-compacter trialled.
Electric fleet - install charging station and replace library courier vehicle with electric vehicle.	\$38,300	✓	Fleet management will be undertaking in FY21/22.
Public electric vehicle charging – install additional on-street public electric vehicle charging stations.	\$20,000 per charger		EV charger installed at Norwich Road Rose Bay. In early stages of installing charger in Paddington.

Climate change risk assessment – engage consultant to prepare risk assessment and action plan.	\$50,000	✓	Project brief developed and ready to send RFQ.
Drought-proofing Lyne Park - install stormwater harvesting system at Colleagues and / or Lyne Park.	\$350,000		Soil and irrigation testing completed. Outcomes to inform grant application with CORE.
Drought-proofing Yarranabbe Park - soil improvement - increase water holding capacity of the soil.	\$100,000		Soil and irrigation testing underway. Outcomes to inform grant application with CORE.
Drought-proofing Christison Park - install second tank to allow for capture of additional stormwater and groundwater.	\$100,000	✓	On hold – awaiting Plan of Management for site.
Update Council's DCP to include controls to increase tree canopy.	n/a		Complete.
Reviewing Council procurement policy to include climate mitigation requirements	n/a		
Work with the 3 Council Regional Environment Program to develop and implement climate change mitigation and resilience initiatives.	\$145,000 p.a.	✓	Projects to reduce community emissions are continuing including Solar My School and Solar My Club.
Environmental Sustainability Action Plan – update plan to include greater emphasis on climate change and resilience.	n/a		To be undertaken in development of the next version of the Plan.
Review of Council's environmental targets	n/a		Targets reviewed by staff, setting of ambitious community and corporate emission reduction targets endorsed by Ecological Sustainability Taskforce.
Inclusion of climate change considerations in park Plans of Management, such as changing maintenance requirements, species selection and increased need for shade.	n/a		In train.
Inclusion of climate change considerations in strategies and plans such as the Library Strategic Plan and Disability Inclusion Action Plan.	n/a		
Key Performance Indicators - include KPIs associated with climate change in the CEO's performance agreement.	n/a		



**Item No:** D3 Delegated to Committee  
**Subject:** **DELIVERY PROGRAM 2018 TO 2022 & OPERATIONAL PLAN 2020/21 (DPOP) QUARTERLY PROGRESS REPORT DECEMBER 2020**  
**Authors:** Petrina Duffy, Coordinator Integrated Planning & Reporting  
Sue Meekin, Chief Financial Officer  
**Approvers:** Craig Swift-McNair, General Manager  
Nick Economou, Acting Director Planning & Development  
Tom O'Hanlon, Director - Technical Services  
**File No:** 21/36981  
**Reason for Report:** To review the status of the Priorities and Actions in Council's Delivery Program 2018 to 2022 and Operational Plan 2020/21 for the six months ending 31 December 2020.

**Recommendation:**

THAT the December 2020 Progress Report on:

- Goal 4 - Well planned neighbourhoods;
- Goal 7 - Protecting our environment;
- Goal - 8 Sustainable use of resources and
- Goal 9 - Community focused economic development

of Council's Delivery Program 2018 to 2022 and Operational Plan 2020/21 be received and noted.

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**Background**

Council adopted its Delivery Program 2018 to 2022 and Operational Plan 2020/21 (DPOP) in June 2020 in accordance with the Integrated Planning and Reporting (IPR) Legislation for NSW Local Government. The Delivery Program and Operational Plan (DPOP) are two of the strategic planning documents that comprise Council's IPR Framework. It is a requirement under the IPR Legislation that Council report on the progress of its Delivery Program at least every six months.

Generally DPOP reports are presented to Council quarterly for the periods ending 30 September, 31 December, 31 March and 30 June each year, split by the Goals addressed by the Environment Planning and Finance, Community & Services Committees. To enable a review of content and format of the report it was determined that the first update for the 2020/21 year would be for a six month period from July – December 2020. The new reporting format has subsequently been developed.

The framework for progress reports is consistent with the structure of the Delivery Program and Operational Plan developed around the following interrelated themes and supporting goals:

**Theme: Community well-being**

Goal 1: A connected, engaged and harmonious community for all ages and abilities

Goal 2: A supported, enabled and resilient community

Goal 3: A creative and vibrant community

**Theme: Quality places and spaces**

Goal 4: Well-planned neighbourhoods

Goal 5: Liveable places

Goal 6: Getting around

**Theme: A healthy environment**

Goal 7: Protecting our environment

Goal 8: Sustainable use of resources

**Theme: Local prosperity**

Goal 9: Community focused economic development

**Theme: Community leadership & participation**

Goal 10: Working together

Goal 11: A well-managed Council

Progress comments for all DPOP actions are provided in the tables of **Annexure 1**. Council officers provide updates on these comments on an on-going basis for internal management purposes, with the comments collated for reporting to Council and the community. New Notices of Motion raised during the reporting period appear on pages 6-8 of **Annexure 1**.

The full progress report has been presented to both the Finance, Community & Services and the Environmental Planning Committees, with each Committee to receive and note the progress on the relevant goals. For the Environmental Planning Committee, these are Goal 4 - Well planned neighbourhoods, Goal 7 - Protecting our environment, Goal - 8 Sustainable use of resources and Goal 9 - Community focused economic development.

This progress report was tabled at the Council meeting of 22 February 2021. Following this, Councillors have provided feedback on format and content, which has been incorporated into the revised report attached. Changes made are:


- the inclusion of historic Notices of Motion information
- the inclusion of a traffic light legend
- the bolding of catch words within the action description for Goal 4
- requested changes to infographics
- minor text changes for clarity.

Once the new format has been discussed at the Committee meetings, the document will then progress to Council's graphic designer to finalise the template. It is anticipated that there may be minor changes made at this point, including a review of the placement on the pages to reduce the amount of white space. The final document will then be uploaded to Council's website.

### **Conclusion:**

This report draws together progress comments from the respective Council officers on the December 2020 progress of Council's Delivery Program 2018 to 2022 and Operational Plan 2020/21. It is presented to inform the Committee and community of Council's progress in implementing the actions in its Delivery Program and Operational Plan.

### **Annexures**

1. July - December 2020 Delivery Program 2018 - 2022 & Operational Plan 2020/21 (DPOP) Progress Report [!\[\]\(33006de4dd11f8c729ca8ca0fde0352f\_img.jpg\)](#) 



## **DELIVERY PROGRAM 2018-2022 & OPERATIONAL PLAN 2020/21**



### July- December 2020 Progress Report

### **Acknowledgement of Country**

Woollahra Council acknowledges the Gadigal and Birrabirragal people who are the traditional custodians of this land and pay respects to Elders past, present and emerging.





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## Executive Summary



Welcome to the new format of our Progress Report for our Delivery Program 2018 - 2022 and Operational Plan 2020/21. We hope the new layout will be more accessible for our community, to

better understand the work we do. We are listening to feedback, and you may see further changes in our next Progress Report as we strive to make this a meaningful document by which to measure our progress.

For the reporting period of July - December 2020, Council has been responding to the COVID-19 pandemic. We've extended a range of relief measures for local small businesses to help ease the ongoing economic impacts of COVID-19. Rent relief for Council's small and medium commercial and community tenants was extended for a period of six months from 1 October 2020 to 31 March 2021 with a further review of the program to be undertaken in early 2021. We have also waived footpath dining fees until 30 June 2021, an additional 6 months of relief which follows a prior extension to 31 December 2020.

To further enhance our capacity to support small businesses in the Woollahra local government area, a new Economic Development Officer role was created to coordinate a range of initiatives until 31 December 2021.

A number of actions were identified in the Waverley/ Woollahra COVID Recovery Plan aimed at working with partners to provide mental health support, suicide prevention, domestic violence prevention and address social isolation. These have been reported under the relevant sections of this report.

During this reporting period, we have also made some changes to our services, facilities and local amenities in response to COVID-19 to help reduce the spread of the virus and keep our staff and our community safe and well. There have been many innovations to continue to connect our community to culture, exercise and support within social distancing requirements.

Whilst the pandemic has shaped many of our activities during this reporting period, Council has continued to deliver our Operational Plan, the progress of which is outlined in the following pages. I welcome your feedback on the new reporting format so that we can continue to deliver on our objective of being accountable to our community.

**Craig Swift-McNair**

### Understanding this report

We have used a traffic light system to indicate the progress of our Operational Plan actions:



## COVID-19 Financial Support

Woollahra Council responded quickly and was one of the first Sydney councils with financial relief for its commercial tenants and small businesses.



**\$7.9m**

financial support provided by Woollahra Council

To assist residents and local businesses in easing the economic pressure from the pandemic and promoting recovery.

### Supporting Our Community



**\$3.2m**

commercial tenant relief

**\$1.1m**

domestic violence accommodation



**\$0.7m**

footway dining fees waived

**79**

customised Rates payment arrangements



**\$1.4m**

reduced enforcement  
eg. Parking Officers

**\$0.15m**

new Economic Development Officer



**\$1.3m**

parking meters switched off

Brochures delivered to all households with COVID-19 support resources listed



**\$0.05m**

other measures  
eg. Fee waivers

Library Resources redirected to social support



## Notices of Motion

Notices of Motion are requests for action adopted by Council during the financial year. Councillors can raise Notices of Motion (NOM) during Council meetings.

NOMs are not resourced in the adopted Operational Plan for the financial year, i.e. servicing a NOM will always have a budgetary impact either through unbudgeted works and/or the diversion of staff time. Where resourcing is diverted it may lead to delayed delivery of Operational Plan actions.

### New Notices of Motion received July - December 2020

As at 31 December 2020, items which are highlighted in blue are completed; items highlighted in grey are not yet commenced; remaining items are in progress.

NOM Date	Subject	Brief description
27/07/2020	30km Speed Zone	Investigate and prepare a report regarding the potential to implement 30km/h zones or 40km/h zones in certain areas of the Woollahra Municipality.
27/07/2020	Planning Panel Reforms	Write to the NSW Minister for Planning and the Premier outlining concerns in relation to the changes to the operations of NSW Planning Panels.
27/07/2020	Conservation of Heritage Listed Items	Prepare a report covering a review of Council's approach on enforcement in relation to unauthorised works on listed heritage items per Schedule 5 of Woollahra LEP and recommend options to strengthen Council's role in taking action against unauthorised works and to embed the requirement for a Conservation Management Plan.
27/07/2020	Liverpool Street, Paddington (proposed angle parking investigation)	Re-exhibit the proposal for angle parking in Liverpool Street, Paddington and report via the Woollahra Local Traffic Committee and provide a recommendation to Council on the proposal to implement angle parking on Liverpool Street between MacDonald and Glenview Streets, Paddington.
27/07/2020	Private Certifiers	Prepare report on how private certifiers may be held to better account in relation to breaches of development consents.
27/07/2020	Reduce the number of Community Representatives on the Woollahra Local Planning Panel	Reduce the number of Community Representatives on the Woollahra Local Planning Panel (WLPP).
27/07/2020	Anti-Discrimination Amendment	Mayor writes to the Joint Selection Committee Chair regarding the Anti-Discrimination Amendment (Religious Freedoms and Equality) Bill 2020.
24/08/2020	Centennial Park and Moore Park Trust	Review the NSW Government's draft vision for Greater Sydney's open space and parkland and Council make a submission with preference to priorities such as preserving and protecting open green space and the public parkland.



NOM Date	Subject	Brief description
24/08/2020	Double Bay Bowling Club preservation of land for private recreational use	Prepare a planning proposal which sets out amendments to the Woollahra Local Environmental Plan 2014 in respect of the land described as Lot 101 in DP 614016, being the land including the bowling greens and clubhouse known as the Double Bay Bowling Club, 18 Kiaora Rd Double Bay to enable this land to be rezoned from R3 Medium Density Residential to RE2 Private Recreation.
29/09/2020	Hydrogeological and geotechnical study for the Rose Bay/Lower Bellevue Hill Catchment Area	Undertake a hydrogeological and geotechnical study for the entire Rose Bay basin area from the Bellevue Hill ridgeline, similar to the study recently undertaken for the Double Bay region.
29/09/2020	Pedestrianisation and Traffic Calming Measures for Rose Bay	Prepare a report on opportunities to promote the better pedestrianisation of the Rose Bay area; traffic movement and traffic density in the area and the possibility of introducing lower speed limits in residential roads and laneways.
29/09/2020	Royal Hospital for Women Park	Undertake a discrete review of the POM's Action Plan concerning the adequacy of the Park's lighting as a matter of priority (including community consultation), funding for both the discrete review and any recommended works are provided for in the 2021/22 budget and any opportunities for funding be explored.
26/10/2020	Fire hydrants and fire hydrant boosters	Prepare a report on measures that can be taken in its planning instruments (including any amendment to its current Development Control Plan or Local Environmental Plan, amongst others, to address how fire hydrant infrastructure is integrated into new development, and retrospectively address exposed fire hydrants.
26/10/2020	Councillor Indemnification	Prepare a report for consideration by Council on the merits of reviewing Council's current Payment of Expenses and Provision of Facilities Policy so that Councillors acting in good faith in their role as a Councillor are indemnified for reasonable expenses incurred by them in defending legal proceedings and/or obtaining medical services and/or relation to any property damage.
26/10/2020	Plans of Management	Prepare a further report the preferred strategic approach outlines the preferred strategic approach to updating Plans of Management for those parks and open spaces across the Woollahra local government area which are not Crown Land Reserves and therefore not captured in the review noted above; includes a delivery timetable; and is received by Council in connection with the presentation of Crown Lands Plans of Management review report

NOM Date	Subject	Brief description
26/10/2020	Council Meetings via Zoom	Prepare a report considering options to permanently live stream all Council Meetings; options to permanently extend the right of residents to speak remotely by audio-visual link at all Council Meetings; the introduction of live minute taking (including cost implications); and any other measures or initiatives to enhance and facilitate transparent, inclusive and open decision making.
14/12/2020	Financials	Prepare a report outlining mechanisms in place or steps to be taken to address the following areas identified in the Central Coast Council Interim Administrators Report dated 3 December 2020, budgeting and financial reporting systems, the process and details of an annual CEO Performance Review including the criteria for financial performance, and information requests and mechanisms to keep to the community informed of financial circumstances.

#### Notices of Motion actioned via the Operational Plan 2020/21

Resourcing has been allocated to address actions arising from the below Notices of Motion in the current Operational Plan 2020/21. Progress comments will appear in this report under the relevant priorities.

NOM Date	Subject	Priority	Page
08/02/2018	Minimum Lot Sizes Dual Occupancies	4.1.1	42
26/02/2018	Affordable Housing	4.1.1	39
21/05/2018	Landscape Controls to enhance tree canopy	4.1.1	41
25/02/2019	Hydro geological report on Double Bay dewatering.	4.1.1	40
08/04/2019	Proposed Heritage Listing of St Andrews Scots Presbyterian Church, Old School Hall Rose Bay Public School and McAuley Catholic School and outbuildings, Rose Bay	4.3.1	51
12/08/2019	Rezoning of Riddell Street	4.1.1	39
11/11/2019	Special Local Character Areas	4.1.1	42
11/11/2019	Interwar Residential Flat Buildings	4.3.1	50
09/12/2019	Heritage Gap Analysis	4.3.1	52
10/02/2020	Cadry's Building Research	4.3.1	53
24/02/2020	Air conditioning units and other plant on rooftop dwellings	4.1.1	43
24/08/2020	Double Bay Bowling Club preservation of land for private recreational use	4.3.1	55
26/10/2020	Fire hydrants and fire boosters	4.1.1	43

### Notices of Motion in progress July - December 2020

Resourcing has been allocated to prepare responses to the Notices of Motion below during the reporting period.

NOM Date	Subject	Brief description
23/04/2018	Outdoor Dining	Develop a mechanism to streamline the process for businesses in Double Bay and Rose Bay to facilitate footway dining and undertake a review of its fee for hiring of public footpaths.
10/12/2018	Neighbourhood Heritage Conservation Areas	Review current planning controls in NHCAs in Darling Point, Bellevue Hill, Rose Bay and Vaucluse to determine and establish more stringent conservation controls to maintain the cultural and heritage value of these areas.
2/08/2019	Woollahra Tree Management Policy	Brief Councillors on how Council's current policy was derived and implemented and undertake a review of Woollahra Tree Management Policy in relation to view pruning for trees in both the public domain and on private property.
11/11/2019	Heritage Listing Properties	Review the recommendations relating to the report on Californian Bungalows and prepares a report on arts and craft building, including any examples of outstanding significance recommended for listing in Schedule 5 of the Woollahra LEP.
09/12/2019	Glass Depots	Prepare a report identifying suitable sites for locating and installing depots for the community to deposit glass for recycling (and any other Community Recycling Centres).
10/02/2020	Single Use Plastics	Review Single Use Plastics Policy.
10/02/2020	Endorsement or recognition system supporting business in the Woollahra Municipality	Prepare a report which looks into how Woollahra Council can have an endorsement or recognition system supporting business within our Municipality who are taking steps to reduce waste and have sustainability practices in place.
24/02/2020	Stormwater Signage and Raingardens in Rose Bay	Prepare a report on installation of rainwater gardens in the street scape in Rose Bay, installation of signage on the ground of significant drains in Rose Bay and other measurements to improve public awareness of stormwater pollution.

NOM Date	Subject	Brief description
06/04/2020	Street Play Initiative	Report on feasibility of undertaking a 'Street Play Initiative' trial in Woollahra similar to the Waverley Council Street Play initiative.
04/05/2020	Disability Advisory Committee	Investigate and report opportunity to create a Disability Advisory Committee.
04/05/2020	AUSGRID Siting of Electrical Pillars	Investigate the siting of AUSGRID Electrical "pillars" for private dwellings and commercial properties.
25/05/2020	Street Inlay Audit and Rectification	Undertake an audit of all 493 street inlays (set out in Annexure 1 of report to Urban Planning Committee on 23/02/2015).
25/05/2020	Paddington Bowling Club	Staff provide an update on exploring opportunities with officers of Crown Lands and the lessee taking over the lease and returning the dormant site to public hands.
22/06/2020	Rose Bay Centre Improvements and Place Plan	Develop a Place Plan having regard to the planning proposal for Wilberforce Council carpark site.
22/06/2020	Street Tree Management Plan for Figs in Municipality	Prepare a report setting out a detailed plan of management for the proper preservation, care and management of Council owned/public Fig trees.

#### Notices of Motion not yet commenced

Reports on the Notices of Motion below were not progressed during the reporting period due to lack of resources or inter-dependency\* with a preceeding action item, in this instance a feasibility Study.

Date	Subject	Brief description
25/11/2019	Report on identifying suitable sites for community purposes	Prepare a report identifying suitable sites for purchase in the Municipality to be reused for community recreational activities, open space, an available site for the delivery of services or other desirable community purpose.
09/12/2019	Updating Local Heritage Register	Develop an approach and assessment criteria which allows the DCP to be amended to protect houses and buildings, that have been designed by architects of significant and importance.
10/02/2020	Paddington Greenway*	Immediately commence work on a planning proposal to amend the Woollahra Local Environmental Plan 2014 to insert a further local provision in the form of an environmental overlay or similar.



## Community wellbeing

Images of a new classroom and improved facilities at Woollahra Preschool, which opened in October 2020 for Term 4, to increase the capacity from 120 to 160.



### July - December 2020 highlights



**1,097**  
participants for 89  
live online events  
later viewed by an  
additional 1,854 people



**33%** increase  
in children attending  
Woollahra Preschool



**1,103** submissions  
received from artists for  
Council-run projects

**1,636**

downloads of  
new Woollahra  
Libraries app in  
the first month



**\$83k+**  
community &  
cultural grants  
presented



**375** items added to Local  
History Digital Archives



**19 new volunteers**  
inducted at Woollahra Libraries

## Quality places and spaces

Images: Covid-19 signage and testing clinic, and road works using road surfacing material containing high recycled content derived from waste streams, such as soft plastics, glass and toner.



July - December 2020 highlights

**51**   
capital works projects  
in progress

**112.74 tonnes**   
pollution diverted from  
Sydney Harbour & collected  
at our storm water pits and GPTs

**304** Development Applications  
determined

**205** s.4.55 Applications  
determined

**95** average days net mean  
processing times for DAs



## A healthy environment

Images of use of domestic organics waste bins now provided to all Woollahra residents and a scheduled clean-up of dumped rubbish in Vacluse.



### July - December 2020 highlights



**255** trees planted in bushland

**54** trees planted in streets and parks



**5,745 tonnes** domestic waste collected



**270 tonnes** street litter collected



**1,176 tonnes** trade waste collected



**2,072 tonnes** domestic organic waste collected



**\$100k grant**

from the EPA to boost community engagement and participation in our food organics service

## Local prosperity

Image: shopfronts at Oxford Street Paddington.



**4.48% increase**

in total local spend  
year-on-year change  
between Dec 2019  
and Dec 2020 = strong  
pandemic recovery



Top online spend categories for residents  
and businesses July- December 2020:

**26%** professional  
services



**16%** specialised and  
luxury goods



**15%** dining and  
entertainment



**11%** travel



**6%** department stores  
and clothing



July - December 2020 highlights



**\$22k grants**

awarded to support to  
support activation in  
Paddington, Double Bay  
and Rose Bay



**3,500+**

recipients of the first  
Woollahra Small Business  
eNewsletter



**64% visitors**

to the best performing  
Night Time Economy  
suburb within the LGA  
(Paddington)

Top local spend categories July-  
December 2020:



**27%** dining and  
entertainment



**18%** grocery stores and  
supermarkets



**13%** professional  
services



**11%** specialised food  
retailing



**8%** department stores  
and clothing



## Community leadership and participation

Images: Members of our Customer Service team assisting local residents and visitors



July - December 2020 highlights

**66**  
**171**  
Your Say  
Woollahra  
registrations

**12**   
new  
consultation  
projects



**1,927 people**  
participating in engagement over  
3,100 total visits to Your Say Woollahra

 **191** online  
submissions

Top requests processed by Customer  
Service staff July- December 2020:

  **939**  
for immediate  
parking enforcement

 **878**  
for recycling bins +  
849 for domestic bins

 **664**  
for dumped  
rubbish pickup



 **481**  
for street cleaning of  
litter and leaves

## Goal 1: A connected and harmonious community

### Strategy 1.1: Provide and facilitate a range of community projects, programs and events.

Ref	Priority	Comments
1.1.1	Provide programs and activities that respond to the needs and aspirations of people as they age.	<p>Recreation and educational programs for older adults were provided online. There were three online programs run that supported ageing and mental health and a Tai Chi workshop.</p> <p>Due to COVID-19, the Tech Savvy Seniors and Tech as Ascham programs remained suspended.</p>
1.1.2	Provide programs and activities for families, children and young people.	<p>Young people from Woollahra participated in the Bondi Blitz event, live streamed from the WAYS premises in Bondi on 29 November, with 4 local youth bands performing and 2 interactive skating workshops. Due to social distancing requirements, a limited number of young people attended in person, however a large number of young people were able to connect online: the live stream attracted 5,961 views via Instagram and 911 views and 550 engagements via Facebook.</p> <p>There are now 7 Digital Rhyme Time episodes available on the library website which have had 162 views to date and 11 Digital Story Time sessions were pre-recorded and uploaded and accessed 234 times. The sessions included themes to celebrate National Science Week, Father's Day, Woollahra Garden Awards, Book Week and Halloween as well as the introduction of Bilingual Story Times. There are now 21 Digital Story Time episodes available on the library website which have had 517 views between July to December 2020.</p> <p>An online coding workshop and a Thai cooking workshop was also held. The July School Holiday program included a science based workshop called Australian Animal Adventures, and an art webinar. Let's Do Art with Freda Chiu had 41 registrations, was attended live by 26 participants and the recording has been viewed a further 48 times via the library's website. During the October school holidays, two back to back online craft workshops were facilitated by Little Wing Puppets and there was a take home craft pack that was popular with families in the Summer holidays. National Science Week was celebrated during August with an online event, Science Behind the Scenes Online: Helping to Keep Our Harbour Clean.</p>

Ref	Priority	Comments
1.1.3	Plan a range of activities and events that celebrate members of our community.	The Woollahra Women networking group continued to hold online discussions on a range of topics between July and October 2020. The Woollahra Citizenship Awards program will open in September 2021 and we hope to be able to provide a face to face awards ceremony in 2022. 2020 winners of the Woollahra Citizenship Award nominees and winners will be celebrated at a face to face event when this is possible after COVID restrictions are lifted.
1.1.4	Provide opportunities to connect people and ideas to encourage lifelong learning.	Woollahra Libraries hosted 17 online diverse and interesting events offered via Zoom. Total registrations were 766 with attendance of 748 people. There was a further 445 views on the website, after the events have been posted.

Deliverables / Action	Measure	Status	Comments
Manage the Library Volunteer Program to support the operations of Woollahra Libraries	Ongoing 2018-2022		Library volunteers have not yet returned in person to Woollahra Libraries due to COVID restrictions, however the following activities were able to be conducted virtually during the past 6 months: <ul style="list-style-type: none"> <li>• 6 Technology volunteers were involved in the trial Virtual Tech Connect program during this period. The trial concluded in December 2020 and will be reviewed in January 2021.</li> <li>• Volunteer recruitment was able to recommence within the virtual space via Zoom.</li> <li>• 19 new volunteers were inducted.</li> <li>• Supervision of Duke of Edinburgh volunteering has continued virtually to allow 6 students to complete their Gold Duke of Edinburgh Award.</li> <li>• Quarterly Volunteer meetings were held via Zoom to support and engage with new and existing Library volunteers. 52 volunteers attended the September meetings and 32 volunteers attended the December meeting.</li> </ul>
Develop a volunteering program for the art gallery/community cultural space.	Ongoing 2020-2022		A volunteer program is currently in development. A call has been made for interest. Interviews with prospective volunteers will commence in February 2021.

**Strategy 1.2: Keep the community engaged and informed.**



Ref	Priority	Comments
1.2.1	Provide information about community services, events and activities.	<p>Communicating community services, events and activities has been paramount in the current pandemic, keeping the community up to date with changes as and when they occur. This has included information on opening hours, booking services and customer requirements for Woollahra libraries, support services for the community and events that have occurred mainly in the digital space. Information has been communicated through the continuation of eNewsletters, website updates, social media, Out and About posters and signage where relevant.</p> <p>The Library eCollection has continued to play an essential role in our offering to the community and we have adapted to provide digital events both as live and 'ever-green' archived recordings. To ensure the eResources are more discoverable on line the library website space has been streamlined with imagery and banners. The Library eNewsletter has been essential to communicating this space, for example one story about an archived event delivered 12% of the total 6 month traffic on the day it was delivered.</p> <p>During this period, the Library App has been successfully launched and communicated through all regular channels as well as the Woollahra News letterbox drop, Wentworth Courier and specific banners throughout all libraries.</p> <p>In September, we engaged with an external Media specialist to launch Expressions of Interest for Woollahra Gallery at Redleaf, leveraging the appointment of Sebastian Goldspink as Gallery Coordinator. Media exposure targeted the arts community with features successfully running multiple platforms including radio, print and digital, resulting in 66 EOI submissions.</p>


Ref	Priority	Comments
1.2.2	Respond to new opportunities for engagement.	<p>Digital content has been an essential tool in communicating with our residents. Library and Community Development have continued to pivot events into this space. In an attempt to engage with a wider audience and produce evergreen content to be used to in future promotion; the Community and Cultural grants presentation was delivered online. This allowed recipients to inform the community about their projects in their own words, content that we will continue to use to promote the type of projects funded. The Youth Photographic Awards ran entirely online during 2020, with the exhibition and voting element housed on the Council website and Photoshelter platform. The online exhibition received 374 views.</p> <p>We have launched 2 additional Instagram accounts in this period; Woollahra Gallery at Redleaf and Woollahra Libraries. Woollahra Gallery currently sits at 1,059 followers since its launch in late September 2020, and Libraries with 330 followers.</p> <p>Creating a scope, designing and managing the build of the Woollahra Gallery website has been a major piece of work produced by the Marketing and Projects team. We envisage the site to be live in early March 21 at the time of announcing programming.</p>



**Strategy 1.3: Provide places and spaces for people to connect and interact.**

Ref	Priority	Comments
1.3.1	Provide access to multipurpose and flexible meeting places	<p>A Councillor briefing was held in August to discuss the findings of the 2019 Woollahra Community Facilities Study. A subsequent report was tabled at the September FC&amp;S meeting and the Study was endorsed by Council. The Study will assist in informing future decisions for the development of community facilities across the LGA and the Property Asset Working Party will be convened in 2021 to prioritise future capital works for community facilities.</p> <p>A further report by the Director of Technical Services recommending a list of proposed projects under the Local Roads and Community Infrastructure Grant funding allocation, including the refurbishment of the Cooper Park Community Hall, was endorsed by Council in November. The additional preschool room was completed and opened, along with accessibility upgrades to a number of facilities.</p>

Deliverables / Action	Measure	Status	Comments
Implementation of the Library Technology Plan 2019-2022	In Progress 2019-2022		<p>Woollahra Libraries launched a mobile app in November. This free app provides customers with an easy way to stay informed and connected to the Library service. Customers can search the Library catalogue, reserve items, renew loans, view loan history, access the eCollection and book a computer or a study space via the app. The app eliminates the need for customers to carry their membership card around with them as they can store the card electronically and use it to borrow items. The app has been downloaded by 1,636 customers with the 6 weeks until 31 December 2020.</p> <p>A new feature to engage library customers and promote the Library collection was enabled on the library catalogue with carousels displaying new titles. Customers can now browse through Staff Picks, New Children's Books, New Fiction and Non Fiction Books and easily reserve each title.</p>
Finalise the next Paddington Library Agreement with City of Sydney representatives	In Progress 2020-2021		<p>Woollahra Libraries staff have been progressing negotiations with the City of Sydney for the next Paddington Library Agreement, to commence 1 July 2021.</p>

Deliverables / Action	Measure	Status	Comments
Manage Council's community venues for hire and use by community organisations for social goals.	Ongoing 2018-2022		<p>Hire of our community venues continues to be impacted by pandemic restrictions. During July and early August 2020, The Bay Room, the Studio at the Drill Hall, Vaucluse Bowling Club, Cooper Park Community Hall, Sherbrooke Hall and E J Ward Paddington Community Centre reopened for regular hirers with one hirer per day for restricted activities under significantly reduced capacity. In addition to adhering to Council's Safety Plan and additional conditions, each hirer is required have their own COVID Safety Plan outlining how they will manage the various requirements under the Public Health Order. Canonbury Cottage office hire recommenced in December 2020, however Cross St Studio 1 and Rose Bay Cottage have remained closed due to the low numbers they can accommodate under the capacity restrictions. The Gunyah has continued to be utilised by Miroma for their disability programs on weekdays under a licence agreement throughout 2020 and remains closed on weekends.</p> <p>The 4sqm capacity restrictions introduced in June under the Public Health Order were eased to 2sqm in late November before being increased back to 4sqm again in December. All hirers were notified of each change with signage and Covid-19 Safety Plans updated.</p> <p>Between August and December customer enquiries for regular bookings increased for all venues, particularly the larger ones, and in December we removed the cap on the number of groups able to hire the facility each day, with multiple groups per day to start in January 2021.</p> <p>Regular hire is increasing with ongoing hirers returning and new hirers commencing providing a range of recreation and social activities including AA, ballet, art and language classes, gym classes, Pilates, yoga and meditation, Lego and chess courses and some office hire. Casual hire remains restricted and we do not allow any type of private function hire bookings at present.</p>




**Strategy 1.4: Encourage respect for social and cultural diversity.**


Ref	Priority	Comments
1.4.1	Plan and promote inclusive events and activities.	All Community Services staff have undertaken Dementia Friends training. Watsons Bay Library was acknowledged by Dementia Australia as moving closer to being recognised as being dementia friendly. The library will pursue further notification in the coming year.
1.4.2	Recognise and promote reconciliation.	<p>For many years Council has provided six well attended Bush Tucker Walks between October and February. Led by Terry Lennis of Bush Tucker Dreaming and held in Nielsen Park, the walks are currently on hold but we plan to recommence these in early 2021 subject to the availability of the walk group leader.</p> <p>In addition to hosting face-to-face walks by Terry, an Aboriginal heritage self-guided walking map to connect residents with Indigenous culture and local knowledge is being developed, with general heritage information being sourced from the writings of Paul Irish.</p> <p>Woollahra Libraries celebrated NAIDOC Week on Tuesday 10 November with a Young Writers &amp; Readers event. An online Author Talk with Jasmine Seymour included her sharing Darug language and life, along with her award winning books that include 'Baby Business' and 'Cooee Mittigar'.</p>

## Goal 2: A supported community

### Strategy 2.1: Foster and build community partnerships and networks.


Ref	Priority	Comments
2.1.1	Promote, fund and facilitate community partnerships and networks	A new partnership was developed with OzHarvest to assist residents in need with food items. A new partnership was developed with UNSW to provide digital artworks in Kiaora Place. Woollahra Council continues to provide funding to Holdsworth Community each year and worked in partnership to ensure the health and wellbeing of the vulnerable in our community.

Deliverables / Action	Measure	Status	Comments
Provision of grants to community organisations or groups to support community programs and activities.	Ongoing 2018-2022		<p>The \$63,375 allocated in Round 1 of the 2020/21 Community and Cultural grants programs was presented to recipients via an online ceremony hosted by the Mayor, Cllr Susan Wynne on Monday 17 August 2020. Attending recipients shared an overview of what they hoped to achieve for the community with other grant recipients and this was recorded for future grant marketing purposes. Round 2 of the Program was promoted on 6 October and applications received until 11 November 2020. Recommendations for successful grants were made to the FC&amp;S Committee and adopted by Council in December 2020. A total of \$20,492 was allocated across the small and large grant categories for 8 projects in Round 2. Funds were allocated to organisations providing services or activities for: Seniors in the community (\$3,000), Mental health and wellbeing projects (\$7,500) and Cultural activities (\$9,992). A further report will be presented to Council with plans to further invigorate the program.</p> <p>Recipients of 2020/21 grants have been paired with a Council staff member for support and the following is an update on progress with some of the projects:</p> <ul style="list-style-type: none"> <li>The Burger Centre received seed funding to run 'Art Minds', a series of art classes for seniors held online commencing in August 2020 for 10 sessions for 15 seniors participants.</li> </ul>

Deliverables / Action	Measure	Status	Comments
Provide cultural grants to community organisations, groups or individuals to support cultural programs and activities.	Ongoing 2018-2022		<ul style="list-style-type: none"> <li>Life Force received funding to run the Eastern Suburbs Cancer Support Group which has been provided online due to the pandemic.</li> <li>Jewish House's Peer Support Program ran online through to November 2020, and will recommence after Australia Day, ideally face to face, depending on restrictions.</li> <li>The Men's Table held their first event bringing a group of local men together in November 2020 in Paddington;</li> <li>and the community group, Deckchair Sunsets, were finally able to hold a very successful belated socially distanced Neighbour Day celebration in Derby St Reserve in December.</li> </ul> <p>Three of the 2019/2020 Community and Cultural Grant recipients are yet to acquit their projects due to delay and/or variance in project delivery because of the COVID-19 pandemic and associated social distancing restrictions.</p> <p>From the previous grant round, the Woollahra Philharmonic Orchestra were able to deliver some live-streamed concert activity in November. The National Council for Jewish Women delivered a small transcultural event which involved a drumming workshop and drum performance.</p> <p>Of the grant applications received funding was recommended for five cultural projects including the Woollahra Philharmonic Orchestra and projects by facilitated by the following artists Ruark Lewis, Antje Sonntag, Vladimir Fanshil and Dale Hollingsworth.</p>


**Strategy 2.2: Provide support for vulnerable people.**

Ref	Priority	Comments
2.2.1	Collaborate with a range of services to provide support for vulnerable people.	<p>Over the past 6 months Council has worked in partnership with OzHarvest to ensure fresh food deliveries to residents of social housing impacted by the COVID-19 pandemic. Council also provided masks to these residents and continues to liaise with other service providers to advocate on their behalf.</p> <p>The Suicide Impacting Me facilitated peer support group has continued over the past months and community consultation and planning for a training session to educate the community on how to have safe conversations around suicide and mental health has commenced. Council is working in partnership with the Eastern Suburbs Domestic Violence Network to roll out a number of initiatives: a 3 day active bystander train-the-trainer course in early February; a hairdresser/barber upskilling workshop in mid-March and a 'We're Better Than That' video campaign that has been promoted via Council's social media platforms. ESHAC (Eastern Suburbs Homeless Assertive-outreach Collaboration) continue to meet monthly on-line to discuss issues raised by outreach services and matters relating to individual clients and outreach services continue to respond proactively to reports of homelessness.</p> <p>In the last 3 months, there were 2 new reports of people sleeping rough in the Woollahra LGA. Outreach services visited both these locations and no individuals were observed in the identified areas at that time. Of the 3 individuals known to services who are sleeping rough in the local area, 2 have been successfully housed. A draft Extreme Weather Response Protocol for the Eastern Suburbs has recently been adopted by ESHAC, focussing on heatwave responses to support people sleeping rough across Woollahra, Waverley and Randwick Council areas.</p>

Deliverables / Action	Measure	Status	Comments
Increase the domestic violence and support housing program fourfold.	Completed 2020-2021		The Woollahra Domestic and Family Violence Housing and Support program increased to nine units from an initial two units, all of which are occupied. These were increased from three at the start of 2019 to five in April to finish with nine by December. Efficiencies of scale and the fact that many of the women had been working and contributing more than the minimal income budgeted for in the program means that this number of units has been delivered at a cost which is less than budgeted for. The housing is provided until June 2022.


**Strategy 2.3: Plan for the needs and aspirations of families.**

Ref	Priority	Comments
2.3.1	Encourage and promote services and support for families with young children.	In October 2020 Council opened a new playroom and adjoining playground at Woollahra Preschool increasing the number of families supported across the week from 120 to 160. This extension was made possible by a \$738,000 Start Strong Preschool Capital Grant from the NSW government and Council funds.

Deliverables / Action	Measure	Status	Comments
Provide high quality preschool education to 80 children per day	Ongoing 2018- 2022		<p>The additional room has allowed the Preschool to enrol an additional 20 children at each end of the week, which means a further 40 families have access to the quality preschool curriculum. All places were quickly filled. The occasion was marked by a socially distanced photo shoot attended by the Mayor of Woollahra, Cllr Susan Wynne, our local state member Gabrielle Upton MP and 3 members of the Woollahra Preschool Parent Advisory Committee. Woollahra Preschool continued to support families by providing free preschool in terms 3 and 4 2020 utilising an additional grant from the NSW government. This will continue in terms 1 and 2 2021, however, as the funding is only intended to support 2 days of care, families whose children attend 3 days will be charged for the 3rd day.</p> <p>The annual Parent Survey showed that the majority of families are very satisfied with our service, but families missed the usual day to day interactions that have not been possible due to the COVID-19 protocols we have implemented to ensure safety. To enhance communication, staff reached out to every family by phone each week to ensure families establish and maintain a sense of connection with their child's teachers.</p> <p>The Preschool team are currently preparing for an Assessment and Rating visit in early 2021. The Preschool is currently rated as exceeding the National Quality Standard.</p>

**Strategy 2.4: Encourage independent living.**

Ref	Priority	Comments
2.4.1	Provide and deliver services for socially isolated people with disability.	The Home Library Service resumed operations and can now offer a broader range of devices for people who live with a disability.

Deliverables	Measure	Status	Comments
Monitor actions and outcomes of Council's Disability Inclusion Action Plan (DIAP) by Community Services.	Ongoing 2018-2022		The mandatory DIAP report was submitted to Local Government NSW and the Department of Communities and Justice by the due date of 30 November. The report describes the actions taken across Council to better cater for people living with disability that were achieved during the Financial Year 2019/20. A brief summary of progress against the Plan was also included in Council's annual report.





## Goal 3: A creative and vibrant community


### Strategy 3.1: Provide innovative library services.

Ref	Priority	Comments
3.1.1	Respond to new opportunities in the delivery of high quality and innovative libraries.	<p>In responding to the need to reduce our plastic footprint, Woollahra Libraries has worked with Library suppliers to pilot a 6 month trial of reducing the amount of plastic used on all new books. The Library is now only covering the spine label and RFID tag. The pilot ran from 1 July to 31 December 2020 and is currently being evaluated.</p> <p>In September, the library also participated in Book Supplier- James Bennett's Sustainability Project. This initiative assists public libraries to responsibly dispose or repurpose weeded material. James Bennett organises for stock to be donated to communities in need or resold. The remaining weeded stock is recycled sustainably. This initiative will operate for any stock not purchased in the Library's Quarterly Book Fairs.</p> <p>The Library eCollection has continued to be well used over the 6 month period July to December 2020. A total of 59,498 downloads were recorded across all eCollection platforms compared to 39,091 downloads for the same period last year, showing an increase of 52%. In response to the increasing community demand for eCollection resources \$31, 614 was reallocated from the hardcopy budget to the eCollection budget in the September Quarterly budget review.</p>

### Strategy 3.2: Preserve and promote local history, including Indigenous history.





Ref	Priority	Comments
3.2.1	Collect local history information and ensure accessibility to the public.	<p>The Local History program encourages the community to recognise and appreciate the unique local identity of the Woollahra LGA. The program continues to engage with the community through the delivery of targeted presentations and responding to 154 community enquiries received over the past 6 months. The Local History Digital Archive continues to be well used by the public and has increased its content to support local researchers. The Woollahra Plaque Scheme remains a popular initiative, driven by community suggestion which has attracted four quality plaque nominations to be unveiled during 2021.</p>

Deliverables / Action	Measure	Status	Comments
Deliver the Local History program through bi-annual walks, up to 3 presentations and respond to public and Council enquiries.	Ongoing 2018-2022		<p>A total of 154 local history enquiries were received. Of the 154 requests for information, 35 supported commercial purposes, 67 originated from non-commercial general interest and 52 were received from Councillors or Council staff.</p> <p>As part of the History Council's HistoryWeek the library held a workshop on TROVE, a key resource for researching all aspects of Australian history. This was attended by 19 participants with 27 further views of the recorded session. In November, biographer Alasdair McGregor presented 'Frank Hurley- a photographer's extraordinary life.' There were 9 attendees at the online presentation and a further 46 views were made of the recorded session. In promoting the Library's World War 2 webpages to commemorate the 75th anniversary of the ending of the war, a presentation was made to the Double Bay Probus club. The function was limited to 38 members. A member of the Club contributed a personal story of his wartime experiences to be uploaded to the Library's webpages.</p>
Add photographs and historic Council records to the Local History Digital Archive.	Ongoing 2018-2022		<p>The Local History Digital Archive continues to grow and be well used by the community as follows:</p> <ul style="list-style-type: none"> <li>• 375 items were added to the Digital Archive or records enhanced to improve the discoverability of scanned records.</li> <li>• Views of the Digital Archive increased over the past 6 month period with 258 webpage views recorded for the first three months, increasing to 482 views for the Oct-Dec 2020 period, totalling 740 views.</li> <li>• The Historic Council Minutes database similarly experienced an increase in usage over the 6 months with 429 views made during the period July–Sept 2020, increasing to 731 views for the period Oct– Dec 2020 , a total of 1,160 views.</li> <li>• The number of views of the Local History webpages increased over the past 6 month period with a total of 7,909 views between July–Sept 2020 compared with 8,119 views from Oct – Dec 2020, a total of 16,028 views.</li> </ul>

Deliverables / Action	Measure	Status	Comments
5 Administer the Woollahra Council Plaques Scheme and install 5 new plaques.	In Progress 2020-2021; Covid related delays		<p>4 plaque nominations were selected by the Woollahra Plaques Advisory Committee for consideration by Council at the meeting held 9 November. The nominations to receive a plaque in 2021 are as follows:</p> <ul style="list-style-type: none"> <li>Alan Morris – co-founder of the Mojo advertising agency Plaque location: 120 Underwood Street, Paddington. Proposed date for unveiling: 24 February 2021</li> <li>Dame Joan Sutherland OM, AC, DBE – internationally acclaimed operatic soprano Plaque location: 115 Queen Street, Woollahra. Proposed date of unveiling: 17 November 2021</li> <li>E. A. D. Watson – Australian war artist, collector and teacher Plaque location: 39 Etham Avenue Darling Point. Proposed date of unveiling: 14 April 2021</li> <li>The Beatles Concerts at the Sydney Stadium 1964 Plaque location: Neild Ave Rushcutters Bay. Proposed date of unveiling: 18 June 2021.</li> </ul> <p>Council hosted the first Plaque unveiling since COVID restrictions were introduced, with a plaque unveiled for Montague Alfred (Monty) Noble- Australian Cricket captain, on Friday 27 November 2020. This event was limited to 30 attendees, including family members and key Australian Cricket personalities.</p>


**Strategy 3.3: Lead, celebrate and recognise the creativity and vibrancy of our community.**

Ref	Priority	Comments
3.3.1	Lead, produce and promote community cultural programs and celebrations.	<p>Many community cultural programs and celebrations could not be conducted this year. These will become a focus for the community to come together after restrictions are lifted. Nevertheless many online events were held and the community continues to engage with.</p> <p>The 2020 Youth Photographic Award and Short Film Prize was restructured as a digital event and exhibition due to the Covid-19 pandemic. Despite the challenging conditions for the schools, the competition received 186 photographic and 28 short film entries from local schools. The pre-recorded online Awards Announcement was viewed 376 times, and the online exhibition received 457 times. The People's Choice voting received a record 492 votes and was announced in early October.</p>

Deliverables / Action	Measure	Status	Comments
Deliver the Woollahra Digital Literary Award annually.	In progress 2020-2021		The 2021 Woollahra Digital Literary Award is currently being reviewed following community and applicant feedback on its eligibility criteria and the terms and conditions of entry.
Lead, produce and promote the Woollahra Small Sculpture Prize.	Ongoing 2018-2022		In October 2020, 56 finalists were announced for the 20th annual Prize and exhibition. The 2020 finalist works, by artists from Australia, New Zealand, United Kingdom and Italy, will be presented for the first time in the Woollahra Council's new purpose-built gallery space, as its inaugural exhibition opening in 2021. The 56 finalist artist sculptures – each measuring up to 80cm in any dimension – were selected from a record 844 entries by a judging panel comprised of Director Curatorial and Digital, Museum of Contemporary Art Australia Dr Lara Strongman, Art Historian/Curator and Industrial Archaeologist Joanna Capon OAM and celebrated artist and fashion designer Jenny Kee AO.
Develop and implement a community art gallery program.	Ongoing 2018-2022		An inaugural Expression of Interest (EOI) for the Woollahra Gallery at Redleaf was undertaken from 21 September to 6 November 2020. There were 68 applicants assessed by a panel comprised of the Cultural Team and an external assessor. From this interest exhibitions were offered to 28 artists or artist groups. The Gallery launched an Instagram account in September 2020. Since being established it has garnered 1,059 followers
Develop the Woollahra Libraries Strategic Plan 2020-2025.	In Progress 2020-2021; Due by 30 June 2021		Woollahra Libraries sought a Request for Quotation for Consultancy services to complete a Woollahra Libraries Strategic Plan, 2020-2025 from 16 Oct-13 Nov 2020. 12 submissions were received with Thinkplace appointed in December 2020. It is anticipated that the Strategic Plan will be completed by April 2021.

**Strategy 3.4: Initiate, support and promote accessible arts, artists and cultural development.**

Ref	Priority	Comments
3.4.1	Produce and support innovative and creative initiatives reflective of the community's arts/cultural aspirations.	<p>Whilst arts and cultural development was impacted by Covid-19 and restrictions, efforts went into the development of new policy initiatives that were reflective of the community's arts and cultural aspirations. This included the adoption of the Creative Hoardings Policy, the adoption of Public Art Guidelines for Developers and the drafting of the Woollahra Gallery at Redleaf Exhibition Policy.</p> <p>The Cultural Team curated a list of digital cultural experiences for the Council website. Research was conducted into the presentation of online cultural activity, with some of the most positive engagement with Councils website by the community being to arts/cultural activity.</p> <p>Extensive planning was undertaken and procedural documents were created for the Woollahra Gallery at Redleaf ahead of its scheduled document.</p>

Deliverables / Action	Measure	Status	Comments
Coordinate and implement the installation of the following public art and public art opportunities across the LGA: Digital art work in Kiaora Place (by Dec 2020); View Finder installed (by Dec 2020); Artwork commissioned for art gallery (by June 2021).	In Progress 2020-2021		<p>The sculpture installation of Viewfinder at Lighthouse Reserve, Vaucluse continued to be planned and key contractors provided necessary reports on geotech assessment, structural engineering certification and installation process. The installation process was planned and following all documentation sign-off the artwork is to be installed in early 2021.</p> <p>Following a number of meetings with UNSW Epicentre staff, the partnership agreement with UNSW in relation to the digital art screen Double Vision in Double Bay was finalised in December 2020. Key personnel at UNSW and Woollahra Council continued planning content and shape of the project. The projected install and launch of the project is planned for mid-February 2021.</p> <p>Selected Curators has been approached to submit proposals for an artwork commission in relation to Woollahra Gallery at Redleaf. The submissions were assessed by the Public Art Panel with interviews with the Curators to occur in February.</p>



Ref	Priority	Comments
3.4.2	Work in partnership with artists and arts/cultural organisations.	<p>An Expression of Interest (EOI) was developed and undertaken for the Woollahra Gallery at Redleaf exhibition program. To assist with promoting the EOI to artists, a stand-alone Instagram account was created for Woollahra Gallery and quickly established itself with over 1, 000 followers. Future opportunities for partnerships with key arts and cultural organisations were associated with positive media generated by the media release on the appointment of the Art Gallery Coordinator.</p> <p>The EOI was undertaken from 21 Sept-6 Nov 2020 and was promoted to Council's existing artist database and across Council's social media and eNews platforms as well as through numerous industry platforms such as ArtsHub and the National Association of Visual Arts. The EOI was also promoted via Woollahra Small Sculpture Prize.</p> <p>The EOI to artists, curators and groups received 66 applications with 10 being from interstate. A selection process of the EOIs was undertaken involving Council's Cultural Development staff and an external assessor, Chloe Wolifson, Independent Arts Writer.</p> <p>The call for entries for the Woollahra Small Sculpture Prize was conducted between 1 May-31 July. A record number of 844 entries were received, which represents an increase of 33% on the number of entries from last year. The call from entries was promoted predominantly to the 7500 subscribers on the Woollahra Small Sculpture Prize e-news along with social media channels including Woollahra Small Sculpture Prize Instagram (2, 943 followers) and Woollahra Small Sculpture Prize Facebook (2, 755).</p> <p>The 56 finalist artist sculptures – each measuring up to 80cm in any dimension – were selected by a judging panel comprised of Director Curatorial and Digital, Museum of Contemporary Art Australia Dr Lara Strongman, Art Historian/Curator and Industrial Archaeologist Joanna Capon OAM and celebrated artist and fashion designer Jenny Kee AO.</p> <p>A media release generated positive media coverage on the finalists and moving of the exhibition to Woollahra Gallery at Redleaf with features appearing in Art Almanac, Art Guide, ArtsHub, Accomplice Art Bulletin and Time Out. New opportunities to create partnerships around sponsorship and volunteering will benefit both the Woollahra Small Sculpture Prize and Woollahra Gallery at Redleaf.</p> <p>Additional expressions of interest processes that have been conducted this year have included Pop up Posters and the Creative Hoardings Program.</p>

Ref	Priority	Comments
3.4.2	Work in partnership with artists and arts/cultural organisations. (cont'd)	<p>A number of significant partnerships have been generated during 2020 for the installation of public artworks. This has included:</p> <ul style="list-style-type: none"><li>• A loan agreement partnership with artist Joel Adler for the installation of his sculptural work Viewfinder at Lighthouse Reserve.</li><li>• A partnership with the University of New South Wales, specifically the UNSW Epicentre staff, in relation to the installation of a digital art screen Double Vision in Double Bay. This partnership includes the provision of digital art content.</li><li>• Selected Curators has been approached to submit proposals for an artwork commission in relation to Woollahra Gallery at Redleaf.</li></ul> <p>Further partnerships were established with local artists to support their work during Covid-19 including a Head On associated Exhibition in Paddington Library</p>







### A note about Goal 4: Well-planned neighbourhoods

Actions around Planning matters often have multiple stages, and progression through these stages is subject to reviews and approvals along the way.

For example, changes to Woollahra's Planning controls or the listing of heritage items may commence with a report to Council on desirability and feasibility, and then be recommended to progress to a Planning Proposal.

A Planning Proposal is subject to a Gateway Process. In July 2009, the 'gateway' plan-making process was introduced and has the following steps:

- The Relevant Planning Authority (RPA) (most often council) is responsible for the preparation of a planning proposal, which explains the effect of and justification for the plan.
- If initiated by the Minister, the Secretary of the Department of Planning, Industry and Environment (DPIE), or a joint regional planning panel (JRPP) or the Greater Sydney Commission (GSC) can be the RPA.

At Woollahra Council, this process may look like this:

- Step 1: A report is made to Council
- Step 2: A Planning Proposal is prepared by staff
- Step 3: A gateway determination is issued
- Step 4: Community consultation is undertaken
- Step 5: An Assessment is made
- Step 6: The making of the Local Environment Plan (LEP)

The process may be different depending of the type and scale of action and the parties involved in decision-making.

Where a Planning action is likely to have further steps pending approvals, we have included this symbol:



This appears in tandem with the traffic lights in the legend below when applicable.

We have also separated the Deliverables from the Action, in the hope that this makes it clearer to the reader what work is being undertaken by Council and to what purpose.

For more information about Planning matters, please head to our website: [https://www.woollahra.nsw.gov.au/building\\_and\\_development](https://www.woollahra.nsw.gov.au/building_and_development)

#### Legend

We have used a traffic light system to indicate the progress of our Operational Plan actions:



Fully complete



Not yet commenced



On track



No progress







Delays



## Goal 4: Well-planned neighbourhoods


### Strategy 4.1: Encourage and ensure high quality planning and urban design outcomes.

Ref	Priority	Comments
4.1.1	Ensure that Council's strategic planning framework, Local Environmental Plans and Development Control Plans are regularly reviewed, are consistent with the Eastern City District Plan and provide a planning and compliance framework which will result in appropriate high quality development.	In regard to this priority our focus during this half of the year was on : (1) The planning proposal to introduce FSRs for dwelling houses, dual occupancies and semi-detached dwellings combined with progressing the urban greening controls. (2) Further work on FSR, height and envelope controls for the Double Bay Commercial Centre. (3) Finalising the background consultant report for the housing strategy. (4) Further work on the review of planning controls for the Edgecliff Commercial Corridor. (5) Processing planning proposals (including the Paddington Flood Study and the definition of local character.



Deliverables	Action	Measure	Status	Comments
Public exhibition of planning controls	Review and exhibit planning controls for the <b>Edgecliff Commercial Centre</b> . (UPC delegated 16/11/2015)	In Progress 2018-2021; Report to EPC in Q3 (Jan-Mar) 2021		The consultant firm SJB Planning was commissioned to undertake the study. Material was presented to the Strategic Planning Working Party on 4 April 2017. The consultants have finalised a draft report which has been reviewed by staff. Refinement of the study, including additional transport investigations, is being carried out before presentation to the Strategic Planning Working Party. Additional work on the transport investigations has been required. This included consultation with the Roads and Maritime Services. On 10 September 2019, a presentation was given to the Strategic Planning Working Party on the Draft Edgecliff Commercial Centre Study. Council staff are currently preparing a public domain strategy which will accompany the Study. A report on the Study will be presented to a meeting of a Council Committee in the first quarter of 2021.





Deliverables	Action	Measure	Status	Comments
Completion of Study	Complete <b>Study</b> to prepare for <b>new housing strategy</b> .	Completed 2018-2021; Final report received Dec 2020		This action is completed. Consultants SGS were engaged in December 2019 to undertake market and economic research. A Councillor briefing to present the draft report was held on 24 November 2020. Staff have since received the final report.
Completion of rezoning	Complete rezoning of that part of <b>Riddell Street</b> , Bellevue Hill (currently zoned R3 Medium Density Residential) back to an R2 Low Density Residential zone to prepare for new housing strategy.	Not commenced 2020-2022; To be addressed during preparation of local housing strategy		This action will be undertaken during the, research, analysis and preparation of the local housing strategy.
Drafting of strategy	<b>Draft new housing strategy</b> consistent with the guidelines to be issued by the Greater Sydney Commission.	In Progress 2020-2022; Workshops Feb/Mar 2021; Report in May/June 2021		This action has commenced. Work on the strategy has progressed, consistent with the Department's guidelines. This is being informed by the market and economic report prepared by consultants SGS. In preparing the strategy, investigations will include research into delivering opportunities for affordable rental housing in the Woollahra LGA. The affordable housing research will address a decision of Council made on 18 December 2017 to investigate and report on opportunities to deliver affordable rental housing, including opportunities on Council-owned land. It is anticipated that a draft strategy will be exhibited in 2021/22.

Deliverables	Action	Measure	Status	Comments
Final report presented to Council	Investigate the need for amendments to planning controls as a consequence of excavation, subterranean building and <b>dewatering in Double Bay</b> (CR 25/2/19).	In Progress 2019-2021; Final report due June 2021		Consultants GHD appointed. Preliminary findings were presented to staff on 28 November 2019. Final stage 3 report submitted in July 2020 and currently under review by staff. Stage 4 report containing recommendations in relation to our LEP and DCP to be completed by GHD. A councillor briefing was held on 26 August 2020. A report to the Environmental Planning Committee on a Final report & recommendations by GHD is expected in Q4 2020/2021. Subject to the recommendations of the Strategy, the next step will be that staff will prepare a planning proposal, and Draft DCP to amend Woollahra LEP 2014 and Woollahra DCP 2015.
Implementation of the planning controls	Planning proposal – Flood Planning Map amendment bases on <b>Paddington Floodplain</b> Risk Management Study and Plan 2019 (CM 11.11.2019)	In Progress 2019-2021; Anticipate completion by 31 March 2021		The Paddington FRMSP 2019 was reported to EPC 2 September 2019, and adopted by Council on 9 September 2019. A planning proposal was prepared. This was reported to the WLPP on 5 December 2019. The advice from the WLPP was reported to EPC on 3 February 2020, and Council resolved to exhibit on 10 February 2020. On 30 March 2020, a Gateway Determination was issued by the DPIE. Public exhibition occurred between 29 June 2020 and 14 August 2020. The post-exhibition report went to EPC on 30 November 2020 which resolved to remove nine (9) properties from the planning proposal, bringing the total number of properties included to 828. Council also resolved to proceed with finalisation. The planning proposal and its associated mapping has been amended as per this resolution and this documentation has been prepared to forward to the Parliamentary Counsel's Office. Completion is anticipated by 31 March 2021, subject to DPIE determination.

Deliverables	Action	Measure	Status	Comments
Exhibition of draft	Community consultation on planning proposal and draft DCP – introduction of <b>FSRs and urban greening provisions</b> for low density residential development in the R2 Low Density Residential and R3 Medium Density Residential zones (CM 29/04/2019)	In Progress 2019-2021; Anticipate public exhibition in Q4 (Apr-Jun) 2021		<p>The following steps have occurred since July 2020:</p> <p>(1) 6 Jul 2020- Report to EPC to present Woollahra: Greening our LGA and recommendations to amend the LEP and DCP provisions to sustain and enhance tree canopy cover, including amending the deep soil control to 35% of site area and introducing a new tree canopy control of 40% of site area for low density resi. development.</p> <p>(2) 27 Jul 2020- Council resolved to organise another briefing to further investigate the proposed tree canopy controls.</p> <p>(3) 19 Aug 2020- Councillor Briefing to provide revised analysis on tree canopy calculation methods and reduced tree canopy control.</p> <p>(4) 7 Sept 2020- Report to EPC to provide a revised methodology for calculating tree canopy area, a reduced tree canopy control of 35% of site area and further variations to the tree canopy control.</p> <p>(5) 29 Sep 2020- Council resolved to refer proposed controls, including FSR of 0.5:1, deep soil control of 35% of site area and a new tree canopy control of 35% of site area for low density resi. development to the Woollahra LPP for advice.</p> <p>(6) 15 Oct 2020 –Woollahra LPP supported, in principle, the amended planning proposal including an FSR of 0.5:1, and proposed amendments to the DCP.</p> <p>(7) 2 Nov 2020 – Report to EPC with advice from the Woollahra LPP</p> <p>(8) 23 Nov 2020- Council resolved to forward the amended Planning Proposal and proposed amendments to Woollahra DCP 2015 to the Department of Planning, Industry and Environment requesting a gateway determination to allow public exhibition. Subject to the DPIE providing a Gateway Determination to allow public exhibition, the planning proposal and draft DCP will be on public exhibition in the first quarter of 2021.</p> <p>Subject to the nature of the issues raised during community consultation, the next step is the planning proposal will be finalized and the Draft DCP adopted, which will bring into effect an FSR control for low density residential development and urban greening controls.</p>



Deliverables	Action	Measure	Status	Comments
Local character statements are adopted	Identify special local character areas and prepare <b>local character statements</b> . (NOM 11.11.2019; CM 11.11.2019)	In Progress 2019-2022; Informed by new housing strategy - likely no meaningful updates until 2021/22		Background research and review has commenced. The Council decision on 11 November 2019 required completion of the local character statements by the end of April 2020. It is anticipated that this project will not progress further until other priority commitments are completed. In particular, work on the housing strategy will involve some preparatory steps in the preparation of local character statements. This is consistent with the approach suggested in the Local Character Overlay Discussion Paper published by the Department of Planning, Industry and Environment. The Discussion Paper recommends that a local character overlay should follow a strategic planning process which includes a local strategic planning statement and a local housing strategy. Our approach is to work through the preparation of the local housing strategy which will include a local character fact sheet or discussion paper. These documents will be placed on public exhibition.
Implementation of amended planning controls	Pending outcomes of the new housing strategy, create a planning proposal to increase the <b>minimum lot size</b> to construct an attached dual occupancy development in the R2 Low Density Residential Zone to 800m2.	In Progress 2019-2022; Report to EPC in Q3 (Jan-Mar) 2021		On 4 November 2019 EPC considered a report to increase the lot size for dual occupancy, and on 11 November 2019 Council resolved to prepare a planning proposal. This was presented to the WLPP meeting on 30 January 2020 who supported the planning proposal. This advice was reported to EPC on 2 March 2020 and on 9 March 2020 Council resolved to forward the planning proposal to the DPIE requesting a gateway determination. Correspondence from the DPIE will be reported to the Environmental Planning Committee Meeting of 1 February 2021.

Deliverables	Action	Measure	Status	Comments
Implementation of amended planning controls	Interpretation of <b>desired future character</b> (prompted by LEC decision)	In Progress 2020-2021;		On 6 October 2020, the EPC considered a report seeking a Council resolution to prepare a planning proposal to clarify the interpretation of desired future character in the Woollahra LEP 2014. On 26 October 2020, Council resolved that a planning proposal should be prepared. On 19 November 2020, the WLPP considered the planning proposal report. On 30 November 2020, the advice of the WLPP was reported to the EPC. On 14 December 2020, Council resolved that the planning proposal be submitted to DPIE requesting a gateway determination to proceed to public exhibition. The planning proposal was submitted for gateway determination on 21 December 2020. Should the DPIE issue a gateway determination, the next step will be that the proposal will proceed to public exhibition in Q4 (Apr- Jun) 2021.
Report to Committee	Review of planning controls for <b>Fire Hydrants and Fire Hydrant Boosters</b> (NOM 26/10/20)	In Progress 2020-2021; Report due by 30 June 2021		This project responds to a Notice of Motion from 26 October 2020. A review of Council's planning instruments is underway to determine measures that can be taken to ensure appropriate controls for fire hydrants and fire hydrant boosters. It is anticipated that this report be considered by the EPC by 30 June 2021.
DCP amendment commences	Woollahra DCP 2015 Amendment No. 15 for <b>air-conditioning</b> and other mechanical plant equipment (NOM 24/2/20)	In Progress 2020-2021; Anticipate completion by 30 June 2021		This project responds to a Notice of Motion from 24 February 2020. On 2 November 2020, the EPC considered the report on the review of planning provisions for air conditioning units and other mechanical plant equipment. On 23 November 2020, Council resolved that the draft Woollahra DCP 2015 proceed to public exhibition. The draft Woollahra DCP 2015 will be on public exhibition in the 3rd quarter of 2021.
Report to Council	Review of <b>s7.12</b> development contributions plan	Not commenced 2020-2022		This project has not commenced due to resources being dedicated to other priorities.

Ref	Priority	Comments
4.1.2	Deliver high quality and timely development assessment.	The principal performance indicator for the Development Control Department is that we continue to provide an effective and efficient development control service. The performance of Development Control is outlined below.

### Workload and Productivity

The following table shows the number of DAs and s.4.55 applications lodged compared to the number of DAs determined during this reporting period.

Quarter	# DAs Lodged	# DAs Determined	# s4.55 Lodged	# s4.55 Determined
1st 2020/21	152	165	114	99
2nd 2020/21	163	139	102	106

The following table shows both DAs and modification applications lodged and determined during the 1st and 2nd quarters of 2020/2021.

Quarter	Total Applications Received	Total Applications Determined
1st 2020/21	266	264
2nd 2020/21	265	241

### Decision makers

The following table shows where decisions on DAs (excludes s.4.55 applications) were made during the 1st quarter.

Level of Delegation	Total # of DAs	% of Total	Approved	Refused
Staff	92	59.3%	80	12
Application Review Panel	22	14.2%	22	0
Application Assessment Panel	11	7.1%	11	0
Local Planning Panel	30	19.4%	25	5
Sydney Eastern City Planning Panel	0	0%	0	0
<b>Total</b>	<b>155</b>	<b>100%</b>	<b>138</b>	<b>17</b>

Note: The above figures do not include DAs which were rejected within 7 days of lodgement or withdrawn. In total 7 DAs were rejected or withdrawn.

The following table shows where decisions on DAs (excludes s.4.55 applications) were made during the 2nd quarter.

Level of Delegation	Total # of DAs	% of Total	Approved	Refused
Staff	85	62.9%	73	12
Application Review Panel	19	14.1%	19	0
Application Assessment Panel	8	5.9%	8	0
Local Planning Panel	23	17.1%	15	8
Sydney Eastern City Planning Panel	0	0%	0	0
<b>Total</b>	<b>135</b>	<b>100%</b>	<b>115</b>	<b>20</b>

Note: The above figures do not include DAs which were rejected within 7 days of lodgement or withdrawn. In total 4 DAs were rejected or withdrawn.

### Appeals

The following table shows the number of appeals lodged during the following quarters. Specific details of all appeals, are tabled and reported quarterly to the EPC.

Quarter	Appeals Lodged
1st 2020/21	10
2nd 2020/21	13

Given the current number of appeals being dealt with is still relatively high, the level of legal activity and staff resourcing (preparation of Statement of Facts and Contentions, Statements of Evidence and Court attendance) is also high. This has a direct influence on Council's processing times.

### Turnaround Times

The following table provides a summary of the net and gross mean processing times in days for Development Application (excludes s.4.55 applications) determinations:

Measure	1st Qtr 2018/19	2nd Qtr 2018/19	3rd Qtr 2018/19	4th Qtr 2018/19	1st Qtr 2019/20	2nd Qtr 2019/20	3rd Qtr 2019/20	4th Qtr 2019/20	1st Qtr 2020/21	2nd Qtr 2020/21	FY 2019/20
<b>Overall</b>											
Net Mean	104	113	118	124	109	98	89	104	<b>99</b>	<b>90</b>	<b>109</b>
Gross Mean	123	131	133	149	131	129	115	133	<b>132</b>	<b>117</b>	<b>131</b>
<b>Staff Delegated</b>											
Net Mean	67	65	89	63	62	60	66	69	<b>56</b>	<b>53</b>	<b>65</b>
Gross Mean	85	84	104	103	92	89	93	91	<b>81</b>	<b>79</b>	<b>92</b>
<b>ARP</b>											
Net Mean	164	209	233	165	102	165	115	121	<b>106</b>	<b>113</b>	<b>126</b>
Gross Mean	196	233	268	202	140	205	140	178	<b>145</b>	<b>146</b>	<b>166</b>
<b>AAP</b>											
Net Mean	236	290	229	217	200	179	90	205	<b>155</b>	<b>150</b>	<b>169</b>
Gross Mean	242	304	278	243	251	225	195	275	<b>237</b>	<b>179</b>	<b>188</b>
<b>LPP</b>											
Net Mean	185	192	149	266	210	143	270	156	<b>209</b>	<b>186</b>	<b>195</b>
Gross Mean	200	228	183	330	259	239	290	220	<b>255</b>	<b>209</b>	<b>250</b>

Overall net and gross mean processing times in the 1st and 2nd Quarters of 2020-2021 have decreased when compared to the processing times of the previous two quarters (3rd and 4th 2019/20). The decrease in overall processing times can be attributed to the following key factors:

1. Staff resources in Development Control are at full capacity,
2. The backlog of DAs with long outstanding referrals have been cleared and overall processing times are within acceptable parameters,
3. The outsourcing of DAs, including Class 1 appeals to external planning consultants,
4. The implementation of the following internal work strategies:
5. The auditing and triage of all applications on a monthly basis;
6. The setting of performance targets to assessment timeframes;
7. Delivery focused assessment processing;
8. Increasing the frequency of LPP meetings.


## Outcomes

The following outcomes were achieved in the reporting period:

- Improvement in overall processing times at each tier of delegation;
- The demonstration of Council Development Control staff to work remotely with improvements to the core function of processing applications;
- DA referral processing times are continually improving and within acceptable parameters;
- The productivity of Development Control in terms of processing DAs and related applications including case handling of Class 1 appeals has been high;
- Successful planning outcomes have been achieved in Class 1 appeals.




The focus of Development Control in the next quarter will be to continue to improve the overall processing times for all tiers of delegation and to reduce the number of outstanding applications.








Deliverables	Action	Measure	Status	Comments
15% reduction	Achieve a 15% reduction from the last 3 previous years in <b>overall nett mean time for the processing of applications</b>	In Progress 2018-2022; Met all DPIE targets this reporting period		<p>Based on Council's benchmark performance over the past three years of activity a 15% reduction in net and gross mean processing times equates to a target of 95 days and 117 days respectively. The target of 95 days is also consistent with the target set by the Department of Planning, Infrastructure and Environment (DPIE) in Council's participation agreement in the NSW Open Spaces Legacy Program.</p> <p>In this regard, the Department of Planning (DPIE) has set specific median processing targets being achieved at various stages.</p> <p>To date Council has met all the required targets and is on track to achieve the final target of 95 days. Since Council's agreement to participate in the OLSP, the following systems have been implemented and in practice since 1 October 2020:</p> <ol style="list-style-type: none"> <li>(1) An audit of all current outstanding applications at the start of each month and the setting of a work plan for that month to blitz applications which can/ must be determined.</li> <li>(2) Setting performance targets to assessment timeframes.</li> <li>(3) Delivery focused assessment processing; <ul style="list-style-type: none"> <li>• Where DAs are deficient, the applicant will be encouraged to withdraw the application, be rejected or be determined by the information submitted to Council.</li> </ul> </li> </ol> <p>This has required a corporate based approach and a change to Council's current culture of accepting deficient applications at lodgement and/or replacement applications.</p> <ol style="list-style-type: none"> <li>(4) Increasing the frequency of LPP meetings; <ul style="list-style-type: none"> <li>• Increasing the frequency of LPP meetings from two per month to three per month when required.</li> </ul> </li> <li>(5) The establishment of a 'Fast Track Assessment Report' template for simple delegated applications. These strategies are seeking to deliver the outcomes sought under this Action.</li> </ol>





**Strategy 4.3: Protect our heritage, including significant architecture and the natural environment.**

Ref	Priority	Comments
4.3.1	Maintain a program of heritage research and review of existing and potential conservation areas and heritage items.	During the second half of 2020, our priority was to (1) Undertake assessments of heritage significance (2) Prepare and finalise planning proposals to list heritage items (3) Work on the Woollahra Aboriginal Heritage Study. (4) Assessing a number of items for their potential heritage significance.




Deliverables	Action	Measure	Status	Comments
Assessment presented to Council	Carry out an assessment of heritage significance for the <b>Sydney Croquet Club building and greens, Woollahra Golf Club clubhouse and George Grimley Pavilion.</b> (NOM 23/04/2018)	Completed 2018-2021	 	This action is completed. An assessment of heritage significance for the Sydney Croquet Club building and greens, Woollahra Golf Club clubhouse and George Grimley Pavilion was prepared. On 6 April 2020 and 20 April 2020 respectively, Council resolved to prepare a planning proposal to list these two items as heritage items in Woollahra LEP 2014.
Gazettal of heritage listing	Planning proposal to list the <b>Sydney Croquet Club building and greens, Woollahra Golf Club clubhouse and George Grimley Pavilion</b>	In Progress 2018-2021; Report due by 31 March 2021		A planning proposal for the Sydney Croquet Club and the George S. Grimley Pavilion was prepared and presented to WLPP on 7 and 21 May 2020 respectively. A progress report for the George S. Grimley Pavilion was presented to the EPC on 1 June 2020. The recommendation of the WLPP was presented to EPC on 3 August 2020 and approved by Council on 24 August 2020. The planning proposal was submitted for a Gateway Determination on 11 September 2020 with approval received on 19 October 2020. The planning proposal was placed on public exhibition from Wednesday 4 November 2020 to Friday 4 December 2020. The post-exhibition report will be presented to EPC on 1 February 2021 and then to Council.

Deliverables	Action	Measure	Status	Comments
Report to Council	Report on how controls for <b>Inter-War residential flat buildings</b> in B3.8.7 of Woollahra DCP 015 can be applied to the Paddington and Watsons Bay HCAs. (NOM 11/11/2019)	In Progress 2018-2021; Report due by 31 March 2021		Staff have commenced a review of the controls for Inter-War residential flat buildings in the Woollahra DCP 2015. It is anticipated that this review will be reported to a meeting of EPC in March 2021. Subject to Council endorsing the amendment of the controls, this will become a new action item.
Draft controls to Working Party	Woollahra DCP 2015 amendment - prepare a draft DCP to amendment Chapter C1- Paddington HCA - by introducing <b>numerical controls to multi storey buildings</b> . (CM 9/12/2019 and 9/3/2020)	In Progress 2019-2021		This project is underway and Council staff are reviewing the existing controls in the Woollahra DCP. Once drafted, these will be distributed to the Paddington HCA Working Party for comment. If supported a new action to implement a DCP amendment will be required.
DCP amendment commences	Woollahra DCP 2015 amendment - prepare a draft DCP to amendment Chapter C1- Paddington HCA - by strengthening existing <b>controls for Hotels</b> .	In Progress 2020-2021; due by 30 June 2021		A Draft DCP amendment was reported to the EPC on 18 November 2019 and on 25 November 2019 Council resolved to prepare a draft DCP amendment. The Draft DCP amendment was on public exhibition from 26 August 2020 to 2 October 2020. Submissions from the public exhibition will be reported to the EPC in the first quarter of 2021.





Deliverables	Action	Measure	Status	Comments
Report to Committee	Investigate the potential heritage significance of <b>places of worship</b> in the Woollahra Local Government Area in order to identify items of heritage significance at either a local or State level. (NOM 8/04/19) {incl. St Andrews Scots Presbyterian Church, corner Dover Rd and Carlisle Street, Rose Bay}	In Progress 2019–2022; subject to delays		<p>This project is continuing using internal resources. The potential heritage significance of the nine unlisted places of worship is being assessed. Background research has been completed. Site inspections have been undertaken for eight of the places of worship, including the interiors and exteriors. One of the places of worship, the St George Greek Orthodox Church in Rose Bay, requires a site inspection subject to COVID-19 restrictions.</p> <p>Ongoing COVID-19 restrictions have resulted in delays in primary research undertaken at the Sydney Jewish Museum, State Library NSW and ANU Archives Library. The draft report is nearing completion. Once the draft report is finalised, it will be sent to the land owners for comment. A report to EPC in the second half of 2021 subject to the lifting of COVID-19 restrictions and the availability of comments on draft assessments from the landowners.</p> <p>Should the assessment of heritage significance recommend the heritage listing of any of the buildings or places, staff will recommend preparing a planning proposal to facilitate this as the next step.</p>
Gazettal of heritage listing	Planning proposal to list the <b>Rose Bay Sewerage Pumping Station, gates and gateposts</b> as a local heritage item in Woollahra LEP 2014. (CM 23/9/2019)	Completed 2019-2021		<p>This project is completed. Council supported the preparation of the planning proposal to list the site as a heritage item on 23 September 2019.</p> <p>A report went to the WLPP on 3 October 2019, and their advice was reported to EPC of 28 October 2019. Council supported the submission of the planning proposal to the DPIE on 11 November 2019. A gateway determination was granted on 23 March 2020.</p> <p>The planning proposal was on public exhibition from 29 June 2020 – 14 August 2020. The post-exhibition report was presented to EPC on 6 October 2020 and approved by Council on 26 October 2020. A request was sent to the Parliamentary Counsel's Office on 2 December 2020 and an opinion was received on 8 December 2020. The item was gazetted on 23 December 2020.</p>




Deliverables	Action	Measure	Status	Comments
Gazettal of heritage listing	Planning proposal to list <b>30 Wyuna Road, Point Piper</b> as a local heritage item. (CM 11/11/2019)	Completed 2019-2021		Following the consideration of submissions, Council resolved to make the amended LEP. The planning proposal was forwarded to the Parliamentary Counsel's Office and the final Opinion, together with the amended heritage maps, were signed by the General Manager and submitted to the DPIE for notification on 21 December 2020. 30 Wyuna Road was gazetted as heritage item 685 under Amendment No. 16 on 21 January 2021.
Gazettal of heritage listing	Planning proposal – <b>list seven hotels</b> , including their interiors, in the Paddington HCA as local heritage items. (CM 25/11/ 2019)	Completed 2019-2021		This project is completed. A Gateway Determination was granted on 29 May 2020 to allow public exhibition. The planning proposal was on public exhibition from 26 August 2020 to 2 October 2020. The post-exhibition report was presented to EPC on 2 November 2020 and the finalisation was endorsed by Council on 23 November 2020. A request was sent to the Parliamentary Counsel's Office in December 2020 and the seven Paddington pubs were gazetted on 23 December 2020.
Gazettal of heritage listing	Planning proposal to list <b>Cooper Park (excluding Cooper Park North)</b> as a local heritage item. (CM 25/11/2019)	Completed 2019-2021		This project is completed. A Gateway Determination was granted on 29 May 2020 and the planning proposal was on public exhibition from 29 June 2020 to 14 August 2020. The post-exhibition report was presented to EPC on 7 September 2020 and the planning proposal was endorsed by Council for finalisation on 29 September 2020. A request was sent to the Parliamentary Counsel's Office in October 2020 and Cooper Park (excluding Cooper Park North) was gazetted on 18 December 2020.
Report to Committee	Undertake a <b>heritage gap analysis</b> (NOM 9/12/2019)	In Progress 2019-2021; report due by 30 June 2021		Preliminary investigations of Council's studies and listings has commenced and a methodology for progressing the analysis has been prepared. A Councillors Briefing was held in September 2020 to illustrate progress on the Gap Analysis and provide commentary and direction. A report to EPC on the Gap Analysis is anticipated for the first half of 2021.



Deliverables	Action	Measure	Status	Comments
Report to Committee	Carry out an assessment of heritage significance for the <b>Cadry Building</b> corner of Glenmore Road and New South Head Road Edgecliff. (NOM 10/2/2020)	In Progress 2020-2021; Report due by 30 June 2021		Preliminary investigations of the heritage significance of the building have commenced including a site visit and researching the information available at the Noel Butlin Archives. A report to EPC on the assessment of heritage significance is anticipated for the first half of 2021.
Gazettal of heritage status	Planning proposal to list <b>Rose Bay Scout Hall</b> in Vickory Avenue, Rose Bay, as a local heritage item (CM 24/2/2020)	In Progress 2020-2021; Pending PCO determination		The planning proposal was submitted for a Gateway Determination on 17 July 2020 and approval was received on 21 August 2020. The planning proposal was on public exhibition from 9 September to 23 October 2020. The post-exhibition report was presented to EPC on 4 November 2020 and endorsed by Council for finalisation on 23 November 2020. A request was sent to the Parliamentary Counsel's Office on 11 December 2020. It is anticipated that the Scout Hall will be finalised as a local heritage item in the first quarter of 2021.
Gazettal of heritage status	Planning proposal to list <b>46 Vacluse Road, Vacluse</b> as a local heritage item (CM 24/2/2020)	In Progress 2020-2021; Pending PCO determination		The planning proposal for the local heritage listing of 46 Vacluse Road, Vacluse was placed on public exhibition from 16 September 2020 to 30 October 2020. Following consideration of the submissions received during public exhibition by the EPC on 28 November 2020, Council resolved at the extraordinary council meeting of 3 December 2020 to make the amended LEP to list the item. A request will be sent to the Parliamentary Counsel's Office in the first quarter of 2021 seeking the finalisation of the listing. The original Interim Heritage Order for the site was due to end on 6 December 2020. Following communication from Council a new IHO was gazetted for the site on 4 December 2020 for a period of up to 12 months.




Deliverables	Action	Measure	Status	Comments
DCP amendment commences	Woollahra DCP 2015 amendment - prepare a draft DCP to amendment Chapter C1- Paddington HCA - by changing <b>pavilion extensions to courtyard housing</b> and introducing associated numerical controls. (CM 9/3/2020)	Completed 2020-2021	 	This project has been completed. Steps undertaken so far include: (1) Meetings with the Paddington HCA Working Party in February 2020. (2) Preparing draft amendments to Chapter C1 of Woollahra DCP 2015. (3) Presentation to the Environmental Planning Committee on 2 March 2020. (4) Council decision on 9 March 2020 to prepare a draft DCP and publicly exhibit the draft DCP. (5) Public exhibition over the period 10 July 2020 to 21 August 2020. (9) Post exhibition report to EPC meeting on 7 September 2020. (10) Approval of DCP on 29 September 2020. DCP Amendment 13 commenced on 12 October 2020. Council also resolved to require a report on numerical controls for multi storey buildings. This work will be carried out as a new action.
Report to Council	Heritage listing of <b>3 Trelawney Street, Woollahra</b>	Completed 2020-2021		This action is completed. The heritage assessment was presented to Council on 27 July 2020, where Council resolved to prepare a planning proposal. The planning proposal to list 3 Trelawney Street will be undertaken as a different action.
Gazettal of of heritage status	Planning Proposal to list <b>3 Trelawney Street, Woollahra</b> as a local heritage item (CR 27 July 2020).	In Progress 2020-2021; exhibition by 30 March 2021		The assessment of heritage significance of 3 Trelawney Street Woollahra was reported to the EPC on 6 July 2020 and on 27 July 2020 Council resolved to prepare a planning proposal. This was reported to the WLPP on 6 August 2020 and the advice of the WLPP was reported to EPC on 6 September 2020 and endorsed by Council on 29 September 2020. On 8 October 2020 the planning proposal was sent to DPIE and a Gateway Determination was granted on 18 November 2020. The planning proposal is scheduled to be on public exhibition in the first quarter of 2021

Deliverables	Action	Measure	Status	Comments
Report to Council	Carry out an <b>Aboriginal Heritage Study.</b>	In Progress 2020-2021; report due by 30 June 2021		Coast History & Heritage were appointed in March 2020 to carry out the Woollahra Aboriginal Heritage Study. Since appointment, the following actions has occurred: (1) Review and update AHIMS listings. This involved: <ul style="list-style-type: none"> <li>• Review of background information</li> <li>• Preparation of a consultation methodology</li> <li>• Liaison and consultation with La Perouse Aboriginal Land Council (LPALC)</li> <li>• Inspection, recording and photography of existing Aboriginal sites in the public domain</li> <li>• Inspection, recording and photography of existing Aboriginal sites in the private domain</li> <li>• Update Aboriginal site cards based on the inspections</li> </ul> (2) Identifying and mapping sensitive areas. This involved: <ul style="list-style-type: none"> <li>• Review of geological, topographic and soil landscapes mapping</li> <li>• Inspection of the LGA to identify potential sensitive areas</li> <li>• Consultation with LPLALC</li> <li>• Identification of potential sensitive areas in the LGA</li> </ul> A Councillor briefing took place on 28 August 2020. It is anticipated that the study will be presented to Council by mid-2021.
Exhibition of planning proposal	<b>Double Bay Bowling Club</b> Preservation of Land for Private Recreational Use – Exhibit a planning proposal setting out amendments to the Woollahra Local Environmental Plan 2014. (NOM 24/08/2020)	In Progress 2020-2021; exhibition by 30 June 2021	 	On 24 August 2020, Council supported a Notice of Motion to prepare a planning proposal to rezone the land known as the Double Bay Bowling Club at 18 Kiaora Rd, Double Bay from R3 Medium Density Residential to RE2 Private Recreation in order to preserve this land for private recreational use. On 19 November 2020, the WLPP considered the planning proposal report. On 30 November 2020 the advice of the WLPP was reported to the EPC. On 14 December 2020, Council resolved that the planning proposal be submitted to the DPIE for gateway determination. The planning proposal was submitted for gateway determination on 21

Deliverables	Action	Measure	Status	Comments
				December 2020. Should the DPIE issue a gateway determination, the next step will be that the proposal will proceed to public exhibition in Q4 (Apr- Jun) 2021.

**Strategy 4.4: Encourage diversity in housing choice to suit a changing population.**

Ref	Priority	Comments
4.4.1	Ensure Council's planning documents support housing diversity.	During the reporting period this priority was addressed through work refining the Draft Strategies for the Double Bay Commercial Centre and the Edgecliff Commercial Corridor.

Deliverables	Action	Measure	Status	Comments
Report to Committee	<b>Double Bay Place Plan-</b> review Woollahra LEP 2014 and Woollahra DCP 2015 in regard to recommendations from Double Bay Centre Housing Economic Study.	In Progress 2019-2021; Report due by 31 March 2021		The project has been substantially progressed. A comprehensive planning and urban design analysis, including the 3D modelling, has been carried out and finalised. The built form and land use recommendations, informed by the Hill PDA Economic Study and context analysis, have been drafted. The Traffic and Transport Study has been updated to include active transport infrastructure based on the feedback from the combined Strategic Planning and Working Party on 29 October 2019. The draft Planning and Urban Design Strategy, and updated Transport Study were presented to Councillors on 23 September 2020. A Community Impact Statement has been drafted to demonstrate the likely outcomes and impacts of the proposed changes to the planning controls in the Centre. A report on the recommended changes to the Double Bay Centre Planning Controls has been prepared, which will be presented to the EPC in the first quarter of 2021.

**Strategy 4.5: Enhance the form and function of the local business centres.**




Ref	Priority	Comments
4.5.1	Ensure Council's planning strategies and controls support and promote appropriate development and activities in business centres.	<p>The Edgecliff Centre corridor study and the review of the Double Bay Planning controls which will support and promote appropriate development and activities in those centres will be reported to a meeting of Council by mid-2021.</p> <p>Planning for the Rose Bay Place Plan has commenced, and community pre-engagement with business, residents and key community stakeholders will take place by mid-2021.</p> <p>An Economic Development Officer was appointed in November 2020 to provide advocacy and support for the ongoing recovery for small businesses impact by COVID-19.</p> <p>A range of business support initiatives are being prepared including the streamlining of footway dining applications.</p>
4.5.2	Carry out urban design studies for areas, precincts and sites.	<p>The Edgecliff Centre corridor study and the review of the Double Bay Planning controls has included urban design studies and these will be reported to a meeting of Council by mid-2021. Background research has commenced on the preparation of special local character areas and local character statements. As these progress, elements of urban design studies will be incorporated into this work.</p>
4.5.3	Ensure that upgrades to infrastructure reinforce the distinctive character of business centres.	<p>In all of our business centres, Council staff maintain and replace appropriate infrastructure elements, by replacing these as like for like.</p> <p>Where infrastructure works are of a larger scale and have the potential to affect the appearance of the public domain, these are subject to a rigorous design process that includes consultation with the local community and community representatives.</p>

**Strategy 4.6: Ensure that planning and building requirements are complied with.**


Ref	Priority	Comments
4.6.1	Buildings are constructed in accordance with approval requirements.	The certifying authority and Principal Certifier (PC) are responsible for ensuring building work meets public safety and regulatory requirements by;
4.6.2	Statutory requirements in relation to the certification of buildings under construction are complied with.	<ul style="list-style-type: none"> <li>Ensuring proposed works comply with development consents and BCA requirements;</li> <li>Inspecting building work at specific stages to check it is consistent with the consent or complying development certificate and national building standards; and</li> <li>Conducting a final inspection and issuing the occupation certificate if satisfied the building is suitable for occupation or use.</li> </ul> <p>Council provides these services, however as reported elsewhere, the majority of this work is undertaken by private accredited certifiers in the Woollahra LGA.</p>
4.6.3	Council provides cost effective and timely building certification services.	<p>Council provided the following building certification services for the ½ year to December 2020;</p> <ul style="list-style-type: none"> <li>11 construction certificate applications (CCs) were received with 4 being determined, representing a market share of 1.5%;</li> <li>5 complying development certificate applications (CDC) were received with 4 being determined, representing a market share of 3.3%;</li> <li>Council was appointed the Principal Certifier for 6 projects, representing a market share of 2.6%; and</li> <li>7 occupation certificate certificates (OCs) were received with 4 being determined, representing a market share of 2.1%.</li> </ul>
4.6.4	Council provides a timely and effective response to unauthorised uses and works.	<p>For the reporting period July-December 2020 Council's Building Control staff;</p> <ul style="list-style-type: none"> <li>Received 289 customer requests and finalised 232, being comparable with the 2019/20 half year results;</li> <li>Served 37 'Notices of intention to give an Order';</li> <li>Served 9 Orders;</li> <li>Issued 3 penalty infringement notices</li> </ul>

## Goal 5: Liveable places

### Strategy 5.1: Enhance local community, cultural and recreation facilities to become more attractive, integrated, and accesible.

Ref	Priority	Comments		
5.1.1	Plan for community, cultural and recreational facilities to ensure they reflect community needs and aspirations.	<p>A Councillor briefing was held in August to discuss the findings of the 2019 Woollahra Community Facilities Study. A subsequent report was tabled at the September FC&amp;S meeting and the Study was endorsed by Council. The Study will assist in informing future decisions for the development of community facilities across the LGA and the Property Asset Working Party will be convened in 2021 to prioritise future capital works for community facilities.</p> <p>A further report by the Director of Technical Services recommending a list of proposed projects under the Local Roads and Community Infrastructure Grant funding allocation, including the refurbishment of the Cooper Park Community Hall, was endorsed by Council in November.</p>		
Deliverables / Action		Measure	Status	Comments
Plan and implement a community art gallery as part of the redevelopment of the St Brigid's site.		In Progress 2018-2022		Community Services has had input to the Gallery design planning in consultation with the Property team. Sebastian Goldspink was employed as the Art Gallery coordinator in September to have a program in place for the anticipated opening at the end of 2020/early 2021 (delayed due to construction delays). Prior to his appointment an operating plan, a marketing plan, development of a website and EOI processes had been initiated. The Art Gallery coordinator has managed a successful EOI process and developed policies for the gallery.
Complete review of the Recreational Needs Analysis.		In Progress 2018-2022		The draft Recreation Needs Study has been received and is currently being reviewed against the Playspace Strategy and the Plans of Management project. A Councillor briefing session with be organised in the third quarter prior to public exhibition which will occur at the same time as the Play Strategy.
Plan and construct multi use sports courts at locations agreed by Council. (NOM 13/11/2017)		In Progress 2017-2022		The investigation and feasibility of a multi-purpose court at Lough Playing fields is underway. Once we have a final design we will report it to the FC&S Committee.



Deliverables / Action	Measure	Status	Comments
Create an LGA-wide strategy for play spaces. (NOM 30/10/2017)	In Progress 2017-2021; due for exhibition by 30 June 2021		The Play Strategy is being finalised to be ready to go on public exhibition alongside the Recreation Needs Study. This strategy is designed to outline management of play spaces for the next 10 years and beyond across the LGA.

Ref	Priority	Comments
5.1.2	Consider issues of access and disability in all designs for infrastructure renewal.	Access and disability is considered in designs for all infrastructure renewal projects. Australian Standards, Council's Infrastructure Specifications and the Disability Discrimination Act is taken into consideration during the planning and design phase of all projects.
5.1.3	Implement a prioritised program of capital improvements to community and recreation facilities.	Budgeted capital works were undertaken in a timely manner. Some projects have been programmed later due to tenant requirements.

**Strategy 5.2: Provide and maintain safe, clean, serviceable public infrastructure including roads, footpaths, bicycle facilities, parks, open spaces, stormwater drains and seawalls.**

Ref	Priority	Comments
5.2.1	Implement the infrastructure maintenance programs for all classes of public infrastructure.	Maintenance program for Council's Civil Infrastructure ongoing and completed as programmed. Asset inspections are maintained in accordance with set schedules. Full time asset inspection officer employed and undertaking suburb by suburb detailed infrastructure inspections including utility works. Totals are updated as at 21/12/2020

Task	Jun-Dec 2020 Performance
Restoration/ ROP works	63 new works have been received (Reduction due to Sydney Water) 184 have been quoted and are ready to be issued to contractor (Increase due to identification of outstanding items found by Asset Inspection Officer) and 170 have been completed by contractors.
Asset Inspections	152 New Defects were identified in Double Bay / Point Piper and Darling Point and 290 Completed permanent repairs in Woollahra / Bellevue Hill and Paddington
Storm water pits and GPT's are maintained in accordance with set schedules	A total of 112.74 tonnes has been removed in the 2nd Quarter 2020/21 - 9.54 Ton-- Reactive works and 112.74 by contractors conducting GPT and stormwater cleaning.


Ref	Priority	Comments
5.2.2	Undertake regular reviews of street lighting.	Street lighting reviews are prioritised and undertaken regularly by Council's Engineers. Faulty streetlights are reported to Ausgrid and/or Council's Electrical contractors for urgent repair.

**Strategy 5.3: Provide attractive, accessible, connected and safe parks, sportsgrounds, foreshore areas and other public spaces.**

Ref	Priority	Comments
5.3.1	Ensure Plans of Management for public open spaces are updated periodically and reflect community needs and aspirations.	The Crown Land Plans of Management are currently being developed for 20 reserves. Upon completion the plans will be forwarded to Department of Planning, Industry and Environment and then to EP Committee for approval to exhibit to the public. This will progress during the 3rd and 4th quarter
5.3.2	Implement a prioritised program of capital improvements to public open spaces.	A program of open space renewals and upgrades is developed annually for approval by Council. Progress is reported quarterly in the Capital Works progress report. Some projects already complete include; Euroka Reserve upgrade, Coastal Pathway Lighting, Multi-Court facility, Oxford St Planters, Trumper Park Pathway Improvement – New McLean Street and Cooper Park creek wall renewal .
5.3.3	Continue improvement program for horticultural sites in business centres.	Council continues to investigate and implement improvements to Woollahra Business centres . Further planter boxes have been rolled out in Plumer Road, Vaucluse Shops and Oxford Street.
5.3.4	Support and promote public safety in public open spaces through local law enforcement officers.	Rangers undertake routine patrols throughout the LGA, in addition to responding to customer requests.
5.3.5	Provide lifeguard services to Camp Cove Beach.	Life guard services commenced during the 2nd quarter at Camp Cove, operating each weekend. During the school holidays only, the service was provided daily, subject to the weather.

**Strategy 5.4: Protect trees, streetscapes and landscapes.**

Ref	Priority	Comments
5.4.1	Implement adopted policy for public and private tree management throughout Woollahra.	The Tree Management Policy is implemented.

Deliverables / Action	Measure	Status	Comments
Continue to participate in the urban tree canopy research and implementation.	Ongoing 2018-2022		On 23 November 2020 Council resolved to forward a Planning Proposal recommending an FSR of 0.5:1, with accompanying changes to the Woollahra DCP 2015 to facilitate a new tree canopy control of 35% of the site area for low density residential development. Subject to the DPIE providing a Gateway Determination to allow public exhibition, the planning proposal and draft DCP will be on public exhibition in the first quarter of 2021.

**Strategy 5.5: Enhance the physical environment of our local suburbs, neighbourhoods and town centres.**

Ref	Priority	Comments
5.5.1	Maintain and improve accessibility to public places for all user groups.	Planning for Capital Improvements always take accessibility into consideration.

**Strategy 5.6: Reduce impacts of local flooding and improve floodplain risk management.**

Ref	Priority	Comments
5.6.1	Develop and implement a five year capital renewal program for stormwater drainage infrastructure and Environmental Works Program for water quality improvements.	Stormwater Drainage Infrastructure Program has been developed and is based on various Council Flood Studies and Flood Risk Management Studies and Plans.

Ref	Priority	Comments
5.6.2	Develop a Floodplain Risk Management Plan for the various catchments in Woollahra.	Floodplain Risk Management Plans are progressively being developed for various catchments within the Woollahra Municipality. Once these Floodplain Risk Management Plans are completed they are referred to the Woollahra Flood Risk Management Committee and Council's Environmental Planning Committee for adoption. Floodplain risk management studies and plans have been completed for Rushcutters Bay, Double Bay, Rose Bay and Watsons Bay and Paddington. A grant funding application has been made to the Department of Planning Industry and Environment to develop flood studies and plans for Vaucluse, Darling Point and other catchments.


**Strategy 5.7: Renew and upgrade ageing infrastructure including roads, footpaths, stormwater drains and seawalls.**

Ref	Priority	Comments
5.7.1	Complete annual condition surveys and prepare 5 year and annual Capital Works Program for all classes of public infrastructure.	Council's Infrastructure Assets are reviewed every five years and this information is used to develop Council's five year Infrastructure Renewal Capital Works Forward Program. The program is reviewed annually and informs the annual Delivery Program and Operational Plan (DPOP).
5.7.2	Implement the Infrastructure Capital Works Programs for renewal for all classes of public infrastructure.	Projects are delivered to Capital Projects to implement via Project Briefs from Asset Management. The progress of 51 nominated infrastructure projects for the Oct-Dec 2020 quarter are detailed in the Capital Works report.

## Goal 6: Getting around

### Strategy 6.1: Facilitate an improved network of accessible and safe alternate transport options.

Ref	Priority	Comments
6.1.1	Provide for sustainable, safe convenient and efficient local movement of pedestrians, cyclists and vehicles.	Council's transport networks are reviewed on an on-going basis to ensure that they provide for the sustainable, safe and convenient movement of people and vehicles. The Woollahra Integrated Transport Strategy is currently being developed and will consider the provision of safe and efficient transport networks.

Deliverables / Action	Measure	Status	Comments
Implement actions from the Integrated Transport Strategy and the Active Transport Plan	Ongoing 2018-2022		The recommendations made by the Woollahra Traffic Committee are programmed for implementation once they are endorsed by Council's Finance, Community & Services Committee. For standard signs and lines projects, works are prioritised and sent to Council's Civil Works Team for implementation. For larger traffic projects (such as pedestrian refuges, roundabouts, raised pedestrian crossings etc), these projects are included and considered as part of the future traffic capital works program.

Ref	Priority	Comments
6.1.2	Convene and service the Woollahra Local Traffic Committee and implement actions arising from this Committee's recommendations as adopted by Council.	The Woollahra Traffic Committee is held on a monthly basis and operates in accordance with RMS Guidelines and legislation. The actions arising from the Traffic Committee are prioritised and implemented once they are endorsed by Council's Community and Environment Committee.
6.1.3	Implement actions arising from the Woollahra Integrated Transport Strategy (once Strategy has been adopted by Council).	The Draft Integrated Transport Strategy (ITS) was considered by Council on 14 December 2020 where it was resolved, subject to the addition of key signature projects, to place the Strategy on Public Exhibition. Public Exhibition of draft ITS will commence in March 2021. Active Transport Consultants have been engaged to develop the Woollahra Active Transport Plan. A Councillor Workshop has occurred in November 2020 and public engagement is scheduled to occur in early 2021.

**Strategy 6.2: Improve the management of public parking on-street and off-street.**

Ref	Priority	Comments
6.2.1	Maintain public parking infrastructure and parking across the municipality.	Parking is reviewed by Council's Traffic Section on an on-going basis. Parking reports are prepared for the consideration of the Woollahra Traffic Committee and Council's Finance, Community and Services Committee.
6.2.2	Provide parking enforcement services.	Routine parking patrols are undertaken across the LGA, as well as responding to customers' specific requests. For the reporting period July-December 2020; <ul style="list-style-type: none"> <li>22,950 street parking infringements were issued, with 62.6% being for 'parking continuously for longer than permitted'.</li> <li>2,721 infringements were issued in Council carparks, with 77.8% being for 'fail to comply with terms of notice'.</li> </ul>

**Strategy 6.3: Promote provision of better, more integrated public and community transport.**

Ref	Priority	Comments
6.3.1	Provide services and programs to support improved and accessible public transport.	Council has supported various NSW Government Initiatives to support improved and accessible public transport. Council also supports improvements and upgrades to various Ferry Wharves across our municipality and a briefing on Ferry Wharf upgrades across the municipality is scheduled for February 2021.
6.3.2	Maintain and upgrade where possible, public transport facilities.	Council advocates for the NSW Government to upgrade public transport infrastructure. Council has advocated for improved access for mobility impaired people at Edgecliff Station and is considering pedestrian infrastructure improvements to and from the Double Bay and Watsons Bay Ferry Wharf.
6.3.3	Fund Holdsworth Community Centre and Services to conduct individual and community transport services throughout the Municipality.	Holdsworth continues to conduct individual and community transport throughout the Municipality with support from Council.



**Strategy 6.4: Reduce traffic congestion, noise and speeding.**

Ref	Priority	Comments
6.4.1	Reduce vehicle speed and traffic congestion through the introduction of traffic management facilities.	Traffic management facilities are implemented as part of the Annual Traffic Capital Works Program which is based on Council's adopted Traffic Management Strategy. The strategy provides a framework for the installation of traffic calming on key roads within the municipality aimed at reducing speed and traffic congestion and improving road safety.

## Goal 7: Protecting our environment


### Strategy 7.1: Protect natural landscapes, systems and biodiversity.

Ref	Priority	Comments
7.1.1	Plan and implement strategies and initiatives to enhance natural landscapes and systems.	Actions from Council's Biodiversity Strategy are implemented into the workflow of our Bush Regeneration team. The sustainability team and bush team now work closely to achieve results in this area. Examples of this collaboration includes the review of the existing water management systems within and above Cooper Park.
7.1.2	Implement a prioritised program of capital improvements to natural areas.	Capital improvements throughout our natural areas are implemented with the guidance of our asset register and Biodiversity Strategy. Upcoming projects include improvements to the Gap Park tram pathway.
7.1.3	Educate and partner with the community on the protection of natural areas and waterways, including Bushcare.	Council's Bushcare program has returned after closing due to COVID-19. We facilitate groups at the following locations; Cooper Park, Gap Park, Harbour View Park, Parsley Bay, Trumper Park, Paddington Community Nursery. Council's Harbourcare program continues, which invites Community and business groups to help remove litter from our beaches. We have continued our community education program via webinars and Council's Environmental E-News.
7.1.4	Provide scheduled tree maintenance programs and services and respond to customer needs.	All public trees are inspected annually with required maintenance scheduled as part of our proactive program.
7.1.5	Implement actions from the Biodiversity Conservation Strategy.	Actions from the Biodiversity Conservation Strategy continue to be implemented. The Biodiversity and Environmental Monitoring Program was rolled out and included a review of the actions in the Strategy and identification of additional actions, arising from the results of the monitoring. This quarter, the focus has been on urban wildlife and backyard habitat development.

**Strategy 7.2: Preserve and restore bushland areas and create wildlife corridor plantings.**

Ref	Priority	Comments
72.1	Continue the implementation of Council's Biodiversity Strategy.	Work has continued on implementation of projects from the Biodiversity Conservation Strategy. Design and implementation of the first round of biodiversity and environmental monitoring is complete. This included a review of actions in the Biodiversity Conservation Strategy and identification of a set of further actions as a result of the monitoring outcomes.

Deliverables / Action	Measure	Status	Comments
Implement street tree planting projects in line with Council's Conservation Biodiversity Strategy.	In Progress 2018-2022		Our planting projects refer to our Biodiversity Plan and the principles of Greenweb. We also follow Council's Tree Management Policy and Street Tree Masterplan. We have been successful in our grant application of \$100K from the Five Million Trees for Greater Sydney Grant Program for the purchase of new trees and maintenance.

**Strategy 7.3: Support cleaner, healthier waterways including improved water quality and healthy water catchments.**

Ref	Priority	Comments
73.1	Implement a five year Capital Renewal Program for stormwater drainage infrastructure and Environmental Works Program for water quality improvement.	No projects nominated in the reporting period.
73.2	Undertake water quality monitoring for public waterways.	Routine water quality monitoring is undertaken as part of Council's Biodiversity and Environmental Monitoring Program. Council has also participated in a detailed water quality audit for Rose Bay with NSW DPIE and UTS. The results of this audit were released in October 2020.
73.3	Provide street cleaning services to prevent litter and dirt entering the stormwater drainage system.	Maintenance and service program for street cleaning continues on a monthly basis in residential streets. High traffic areas and known 'hot spots' are cleaned on a fortnightly or weekly basis. 270 tonnes of street litter has been collected over the reporting period.

Ref	Priority	Comments
73.4	Implement the Stormwater Asset Management Plan.	No projects nominated in the reporting period.
73.5	Ensure that erosion and sedimentation controls are in place for new development where there is potential for the escape of sediment into the drainage system.	During the reporting period July-December 2020 Council's Rangers investigated the following customer requests; <ul style="list-style-type: none"><li>• 16 for dust and sediment control</li><li>• 20 for building site discharges, wash-downs and spills.</li></ul>
73.6	Take appropriate and timely action in response to pollution incidents.	During the reporting period July-December 2020, 27 customer requests were investigated by Council's Rangers and Environmental Health Officers relating to potential water pollution.


**Strategy 74: Ensure that premises which have the potential to impact on human health and safety are operated in accordance with relevant standards and statutory requirements.**

Ref	Priority	Comments
74.1	Inspect food premises twice per year to ensure compliance with food safety standards.	At the end of the reporting period July-December 2020 there were 353 recorded food premises in the LGA. The following food control activities were completed to the end of the fourth quarter; <ul style="list-style-type: none"> <li>• 97 primary inspections were carried out;</li> <li>• 15 re-inspections were carried out;</li> <li>• 2 food notices/orders were issued;</li> <li>• 15 customer requests were investigated; and 2 penalty infringement notice was issued.</li> </ul>
74.2	The necessary certificates are submitted to Council and registers maintained in relation to fire safety, regulated air conditioning systems, hair dressers, mortuaries and skin piercing premises.	At the end of the reporting period July-December 2020 Council's Health Premises and Fire Safety registers confirmed the following; <ul style="list-style-type: none"> <li>• 113 health premises were recorded;</li> <li>• 19 health premises inspections were carried out;</li> <li>• 62 regulated cooling tower/warm-water systems were recorded; and</li> <li>• 780 completed annual fire safety statements were lodged with Council.</li> </ul>
74.3	Operate an effective swimming pool safety program.	During the reporting period July-December 2020 the following activities were carried out pursuant to Council's swimming pool safety program; <ul style="list-style-type: none"> <li>• 30 swimming pool inspection requests were determined;</li> <li>• 9 swimming pool exemption applications were determined;</li> <li>• 5 swimming pool fencing customer requests were logged; and</li> <li>• 19 swimming pool fencing notices/orders were issued.</li> </ul>

## Goal 8: Sustainable use of resources

### Strategy 8.1: Reduce greenhouse gas emissions and ecological footprint.

Ref	Priority	Comments
8.1.1	Provide policy and planning initiatives based on the principles of Ecologically Sustainable Development (ESD).	During this half of the year, the planning projects addressing this priority were the progressing of the Tree Canopy and Urban Greening controls.
8.1.2	Provide programs and projects to reduce local greenhouse gas emissions and ecological footprint.	This quarter auditing of Council's carbon footprint for the financial year 2019/20 was completed. Climate Active Certification has been obtained, meaning that Woollahra Municipal Council is confirmed as carbon neutral for its business operations in 2019-20. Projects to reduce community carbon emissions continued to be implemented and developed. The Ecological Sustainability Taskforce discussed the setting of new corporate and community targets to further reduce emissions.



Deliverables / Action	Measure	Status	Comments
Participate in and implement projects arising from the Three Council Project Regional Environment Program.	In Progress 2018-2022		The Three Councils Regional Environment Program continued the following projects: <ul style="list-style-type: none"> <li>• Solar My School Program</li> <li>• Solar My Club Program</li> <li>• Compost Revolution, which celebrated 10 years of operating</li> <li>• Grow it Local</li> <li>• Development of a new water savings program</li> <li>• Eastern Suburbs EV Charging Network, including a new installation at Norwich Road Rose Bay.</li> </ul>

Ref	Priority	Comments
8.1.3	Coordinate Council's Environmental Grants Program.	Environmental grant projects awarded for the 2020/21 financial year are underway. Some are delayed due to Covid restrictions, for example, being unable to hold some community beach clean ups.






**Strategy 8.2: Monitor and strategically manage environmental risks and impacts of climate change.**


Ref	Priority	Comments
8.2.1	Participate in projects that respond to the effects of climate change, including the effects of sea level rise	Council continues to participate in two Coastal Management Programs - the Eastern Beaches CMP and the Greater Sydney Harbour CMP. A project brief is being developed to undertake a climate change risk assessment and adaptation plan for Council.

Deliverables / Action	Measure	Status	Comments
Develop Coastal Management Programs for the Woollahra LGA as specified by the CZMP.	In Progress		The Coastal Management Programs for the Eastern Beaches and Sydney Harbour are continuing, with Stage 1 complete for both. The Sydney Coastal Councils Group will be taking a lead governance role in coordinating the Sydney Harbour CMP.
Implement actions from the Biodiversity Conservation Strategy.	In Progress 2018-2022		Biodiversity projects undertaken this quarter include: <ul style="list-style-type: none"> <li>• Development of a planting project to improve habitat and reduce antisocial behaviour behind Rose Bay Community Garden.</li> <li>• Development of a planting project to restore coastal vegetation at Rose Bay Park.</li> <li>• Implementation of a community backyard habitat program, including a series of online backyard habitat community workshops, a residential habitat planting project for use as a case study, development of web-based resources, and a native plant give-away to residents.</li> <li>• Development of a nature wellness trail at Cooper Park to enhance people's connection with the natural environment.</li> <li>• Installation of a native bee hive at Council Chambers.</li> </ul>


**Strategy 8.3: Encourage and assist our community to be leaders in waste management and resource recycling.**

Ref	Priority	Comments
8.3.1	Participate in projects that respond to the effects of climate change, including the effects of sea level rise	<p>Councils' website is regularly updated with detailed information on re-use and recycling options for all waste categories. A new and refreshed page for our organics recycling has been developed and made live. There are regular features in E-news relating to recycling and re-use alternatives for residents.</p> <p>Participation with SSROC in providing regional education campaigns to provide generic communication to all residents and visitors. A couple of Zoom recycling workshops have been planned in partnership with SSROC for beginning 2021.</p> <p>Waste magnets provided to every household outlining clean-up collection dates have been replaced with cards which are recyclable unlike magnets which are not. The new clean-up waste cards have been sent to every residence in the municipality along with a letter to promote to engage residents with our organics collection service. Residents were given the choice to register for either a roll of compostable bags or a kitchen caddy to assist with the collections of organic waste in the home. Delivery of these items will occur in February 2021.</p> <p>The compost revolution program is being run to encourage composting and worm farming at home. Council's E-waste collection service was halted due to Covid, but has now resumed. A new service has been planned to cater for problem waste items which will run as a drop off event. There will be 4 scheduled drop off events throughout 2021 hosted at the Woollahra/Waverley depot in partnership with Waverley Council. The battery collection bin at the Woollahra library continues to be a success and investigations into expanding this service with additional items is underway.</p>

Deliverables / Action	Measure	Status	Comments
Encourage the recycling of E-Waste through our joint collections days with Waverley Council and the E-waste service.	In Progress 2018-2022		Our in-house E-waste collection service resumed in June 2020. Residents can again make bookings to have e-waste removed from the convenience of their home kerbside. A new "problem waste" collection has been explored by Waverley/Woollahra Councils to supersede the previous E-waste drop off collection. This service will accept a larger range of problem wastes including polystyrene, bulky cardboard, light globes, batteries, mobile phones, x-rays, soft plastics and textiles. Our aim is to provide this service 4 times per calendar year at the Woollahra/Waverley depot as an opportunity for the safe disposal and recycling of the above mentioned items. Tenders were drafted and distributed to applicable contractors. Contracts have been awarded and the first joint Woollahra/ Waverley problem waste drop off event has been planned for 6 February 2021.
Encourage the recycling of organics through the 3 Council Compost Revolution.	In Progress 2018-2022		The compost revolution program is on-going and has continued to be advertised via social media, Council newsletters, website and Rates notice mail out.
Carry out the household clean-up collection service.	In Progress 2018-2022		2021 clean-up has started and as at the time of reporting has progressed to zone 3.

Deliverables / Action	Measure	Status	Comments
Participate in regional waste avoidance/reduction recycling projects and events, including National recycling week, Clean Up Australia Day, Second Hand Sunday and The Garage Sale Trail.	In Progress 2018-2022		<p>Council took place in two regional Zoom events (Woollahra, Waverley and Randwick) in August and October aimed at keeping residents engaged with waste management and up to date waste management information. The first was titled "Speed Date a Sustainability Expert" where residents could join a breakout room to discuss waste issues, concerns, education. The second was titled "Collaborating for Impact" was an opportunity for residents to learn more about their Council's current waste management initiatives. Both sessions had a reasonable attendance with at least 10 participants joining from Woollahra Council.</p> <p>Planning for a Zoom recycling quiz and information session was also initiated and is being coordinated by SSROC educators for Woollahra residents at the beginning of 2021.</p> <p>National recycling week was celebrated via informative posts on social media and Council newsletters promoting the recycling services available outside of the regular weekly bin collection including our E-waste collection, organics service and compost revolution, battery collection point as well as general recycling information (<a href="https://www.woollahra.nsw.gov.au/news/articles/its-national-recycling-week!">https://www.woollahra.nsw.gov.au/news/articles/its-national-recycling-week!</a>). No events were scheduled due to Covid.</p> <p>Council made recommendations and promoted the Garage Sale Trail be restricted to virtual garage sales only this time in an effort to reduce close contact that can occur at garage sales.</p> <p>Promotion of the EPA's chemical cleanout and the RMS expired flares program for this half of the years were posted on social media, Council events webpage and newsletters.</p>

Ref	Priority	Comments
8.3.2	Implement programs to educate the community including schools, residents, community groups, businesses and staff on reducing waste and litter and increasing re-use and recycling.	Council carries out educational programs for schools, residents and businesses as required. These programs are designed to target specific areas of concern for the community using the waste avoidance hierarchy and are aligned to national events, such as Clean Up Australia and local events such as waste drop off days. A large focus on organics recycling using our food/green bin will take place in 2021 to increase organics recovery as well as increasing options for problem waste drop off.

Deliverables / Action	Measure	Status	Comments
Carry out education programs to relevant stakeholders.	In Progress 2018-2022		<p>Council was successful in obtaining a \$100,000 grant from the EPA to boost community engagement and participation in our food organics service. The funds will be going towards providing compostable bags and kitchen caddies, as well as new promotional materials, advertising and an audit. Report back on our aims and accomplishments to the EPA will be due within a year.</p> <p>Our battery bin stationed at the Woollahra Library at Double Bay continues to be a success and will continue to be operational. Given the success of this bin, investigations are being made into including other problem waste items for drop off like light globes and mobile phones.</p> <p>A recycling education workshop was presented to students at Ascham in year 4 (this was a zoom conference). Education and workshops will continue to be offered upon request by the schools.</p>

Ref	Priority	Comments
8.3.3	Conduct cost effective and efficient waste collection and recycling to residents and businesses.	Full waste collection services to all residents continue on a weekly basis. 5,745 tonnes of domestic waste and 1,176 tonnes of trade waste have been collected over the 2 quarters.
8.3.4	Conduct organics recycling services.	Organics service provided to all residents 2,072 tonnes of organics have been collected in the 2 quarters.

**Strategy 8.4: Reduce local water usage by Council and on private property.**

Ref	Priority	Comments
8.4.1	Encourage greater community participation in water savings initiatives.	Information on Council's website was updated to ensure that the most recent water restriction information was provided. A new residential water conservation project is in development across Woollahra, Waverley and Randwick Council areas.
8.4.2	Implement the Environmental Education Program for each year.	This reporting period, the environmental education program focused on urban wildlife and backyard habitat, sustainability for apartment blocks, the Woollahra Garden Awards, and the development of a nature wellness trail for Cooper Park.
8.4.3	Educate the community to reduce use of potable water.	Information about water restrictions was communicated to the community. A workshop was held focussed on apartment sustainability, including reducing water use. The Garden Awards incorporated sustainability aspects into the judging criteria, including water saving.

**Strategy 8.5: Promote and carry out water sensitive urban design.**




Ref	Priority	Comments
8.5.1	Integrate water sensitive urban design into local infrastructure and development.	Raingardens are integrated into new infrastructure developments where feasible. In this quarter, the raingardens at Lyne Park Rose Bay were rejuvenated to improve their stormwater treatment capacity.





## Goal 9: Community focussed economic development

**Strategy 9.1: Encourage vibrant and vital local suburbs, villages and neighbourhoods that support a healthy economy.**


Ref	Priority	Comments
9.1.1	Plan and implement strategies and initiatives to enhance natural landscapes and systems.	Councils' Environment & Sustainability team continue to implement strategies such as the Biodiversity Plan to enhance natural landscapes and systems. They work closely with Councils' operations team to implement many of these actions.
9.1.2	Encourage economic development in business and retail centres	<p>Council's placemaking program continues with the implementation of the Double Bay Place Plan and the Oxford Street and Paddington Place Plan. Planning for the Rose Bay Place Plan has commenced, and community pre-engagement with business, residents and key community stakeholders will take place by mid-2021.</p> <p>Council is also well advanced with the review of planning controls for both the Edgecliff and Double Bay commercial centres.</p> <p>To provide additional support for local businesses, the Placemaking team conducted a second round of Placemaking Grants which were open for applications during Small Business Month in October.</p> <p>An Economic Development Officer was appointed in November 2020 to provide advocacy and support for the ongoing recovery for small businesses impact by COVID-19. A range of business support has been provided including:</p> <ul style="list-style-type: none"> <li>(1) Strengthening the stakeholder relationship with Service NSW to develop business concierge information for various Council initiatives and services;</li> <li>(2) Reviewing opportunities for improvement in the Footpath Dining and Display of Goods on Footway application process to streamline;</li> <li>(3) Analysis of newly acquired Spendmapp data and various economic data to monitor the COVID-19 recovery process and economic trends;</li> <li>(4) Review of grant opportunities and initiation of a grant register that can be disseminated to small businesses;</li> <li>(5) Develop a local business database in the LGA to strengthen the engagement opportunities for economic development;</li> <li>(6) Engaging with local business chambers and other Councils to provide support and explore potential to collaborate more closely.</li> </ul>



Deliverables / Action	Measure	Status	Comments
Undertake Oxford Street Paddington business management.	Ongoing 2018-2022		This is an ongoing process. Council provides ongoing financial and in kind assistance to the Paddington Business Partnership on a regular basis.
Support the operation of the Paddington Business Partnership.	Ongoing 2018-2022		This is an ongoing process. Council provides ongoing financial and in kind assistance to the Paddington Business Partnership on a regular basis.
Participate in and support the Small Business Friendly Councils Program.	Ongoing 2018-2022		Small Business Month in October 2020 was utilised as an opportunity to engage with businesses in the Woollahra LGA. The first Woollahra Small Business News email newsletter was distributed to a database of 3,500 registered businesses obtained through the Australian Business Register. Small Business Month initiatives were developed to provide practical support for businesses in response to the impacts of COVID-19. The Placemaking Team and the Libraries team collaborated on a series of webinars which were funded by a NSW Government grant.




Deliverables / Action	Measure	Status	Comments
Maintain an active placemaking program of events, activities and support for businesses.	Ongoing 2018-2022		<p>Due to the impact of the COVID-19, Business Chambers were limited in their ability to deliver events and activities. Following the change of management of the Paddington Business Partnership, efforts were made to grow membership which increased to over 100 businesses by the end of 2020.</p> <p>To provide additional support for local businesses, the Placemaking team conducted a second round of Placemaking Grants which were open for applications during Small Business Month in October. Following a resolution of Council, the Placemaking team managed the preparation of the Paddington Marketing Strategy by consultancy firm Sparrowly Group. The presentation was delivered in November 2020 from which the Placemaking team developed a marketing campaign to be delivered in 2021.</p> <p>An Economic Development Officer was appointed in November 2020 to provide advocacy and support for the ongoing recovery of small businesses impact by COVID-19. A range of business support has been provided including:</p> <ul style="list-style-type: none"> <li>(1) Strengthening the stakeholder relationship with Service NSW to develop business concierge information for various Council initiatives and services;</li> <li>(2) Reviewing opportunities for improvement in the Footpath Dining and Display of Goods on Footway application process to streamline;</li> <li>(3) Analysis of newly acquired Spendmapp data and various economic data to monitor the COVID-19 recovery process and economic trends;</li> <li>(4) Review of grant opportunities and initiation of a grant register that can be disseminated to small businesses;</li> <li>(5) Develop a local business database in the LGA to strengthen the engagement opportunities for economic development;</li> <li>(6) Engaging with local business chambers and other Councils to provide support and explore potential to collaborate more closely.</li> </ul>

Deliverables / Action	Measure	Status	Comments
Support the operation of the Sydney East Business Chamber.	Ongoing 2018-2022		Funding for the Sydney East Business Chamber is on hold pending the submission of a Business Plan for the 2021 Calendar Year. It is anticipated that an update report will be prepared for a meeting of the FC&S in the first quarter of 2021.

Ref	Priority	Comments
9.1.3	Manage and promote open space and foreshore areas with high visitation rates.	The Council website is our major promotional means for Council's open space and foreshore areas. We manage these bookings through a centralised system whereby we balance the community needs against formalised bookings.
9.1.4	Implement the strategies, priorities and actions for which the Council is responsible for in the Double Bay Place Plan.	Priority 9.1.4 has been included in the Delivery Program and Operational Plan (DPOP) to facilitate regular review and reporting on the implementation of the Double Bay Place Plan. The Actions are updated quarterly under the Double Bay Place Plan Quarterly Progress Reports. Reporting on the implementation of the Double Bay Place Plan will also be through the Double Bay Working Party.




Deliverables / Action	Measure	Status	Comments
Subject to gateway determination, exhibit Planning Proposal which aims to retain employment space in Double Bay. (DBPP Priority 3.1.1)	Completed 2019-2020		A Planning Proposal was submitted to DPIE on 7 November 2018 requesting a Gateway Determination. On 21 September 2020 the DPIE advised that the planning proposal is not supported and a Gateway Determination was not issued. This has been incorporated in work associated with DBPP Priority 3.2.1.


Deliverables / Action	Measure	Status	Comments
Present proposals for revised planning controls, including revised building envelopes to Council together with a draft Community Impact Statement, transport report and supporting economic analysis. (DBPP Priority 3.2.1)	In progress 2019-2022; Report due by 31 March 2021		The project has been substantially progressed. A comprehensive planning and urban design analysis, including 3D modelling, has been carried out and finalised. The built form and land use recommendations to maintain and enhance the business character of the Centre have been drafted. The Traffic and Transport Study has been updated to include active transport infrastructure based on the feedback from the combined Strategic Planning and Working Party on 29 October 2019. The project was presented to Councillors on 23 September 2020. A Community Impact Statement has been drafted to demonstrate the likely outcomes and impacts of the proposed changes to the planning controls in the Centre. A report on the recommended changes to the Double Bay Centre Planning Controls has been prepared, which is anticipated to be presented to the EPC in the first quarter of 2021. The report includes the Planning and Urban Design Strategy, Transport Study and Community Impact Statement, community engagement strategy and timeline.
Review Council's Section 94 and Section 94A Plans. Ensure that contributions for car parking are consistent with any decisions made in relation to the Cross Street car park site. (DBPP Priority 3.3.1)	In Progress 2019-2022		A Voluntary Planning Agreement (VPA) policy relating to Section 7.11 (previously Section 94) was adopted by Council on 10 February 2020. A review of the Section 7.12 (previously Section 94A) Contributions Plan is being undertaken. It is anticipated that a draft Section 7.12 Contributions Plan will be reported by June 2021 requesting public exhibition.

Deliverables / Action	Measure	Status	Comments
Implement activities and public domain improvements that will maintain, enhance and activate the laneways of Double Bay. (DBPP Priority 3.7.1)	Ongoing 2019- 2022		Talis Consulting has provided the latest draft version of the Double Bay Centre Commercial Waste Management Study. The study includes recommendations to minimise the impacts of the waste infrastructure on the laneways and enhance the aesthetic appearance of the laneways. In September 2020, feedback on the latest draft study was provided to Talis Consulting. The review of the planning controls for the Double Bay Centre includes built form, land use and public domain recommendations to activate and enhance the laneway characteristics. A report on the recommended changes to the Double Bay Centre Planning Controls has been prepared, which will be presented to the EPC in March 2021.
Continue to work with the preferred parties to deliver a high quality cinema, new car park and mixed use development on Council's Cross Street car park site. (DBPP Priority 3.9.1)	In Progress 2018- 2022		In September 2020, Council resolved to invite fresh expressions of Interest (EOI) for private project partners. The EOI advertisement period closes on 26 February 2021. Following the EOI, short listed respondents will be invited to submit detailed proposals. This is expected to occur in April 2021.
Conduct quarterly business education forums to assist businesses to improve merchandising, marketing and customer service and respond to new and emerging business issues. (DBPP Priority 5.1.1)-	Ongoing 2019- 2022		Due to COVID-19 restrictions, Small Business Month initiatives were developed to provide practical support for businesses in response to the impacts of COVID-19. The Placemaking Team and the Libraries team collaborated on a series of webinars which were funded by a NSW Government grant. Double Bay Networking Group hosted a business connection event at Woollahra Library in October 2020 with Woollahra Mayor Susan Wynne and Member for Vaucluse Gabrielle Upton as speakers.



Ref	Priority	Comments
9.1.5	Implement actions and projects for Oxford Street and Paddington.	Priority 9.1.5 has been included in the Delivery Program and Operational Plan (DPOP) to facilitate regular review and reporting on the implementation of the Oxford Street & Paddington Place Plan. The Actions are updated quarterly under the Oxford Street & Paddington Place Plan Quarterly Progress Reports. Reporting on the implementation of the Oxford Street & Paddington Place Plan will also be through the Oxford Street Working Party.

Deliverables / Action	Measure	Status	Comments
Review the 'Visit Paddington' brand so it fits with the Oxford Street & Paddington vision and place story (OS&PPP 4.1)	In Progress 2019-2022		Paddington Business Partnership redesigned their popular Visit Paddington map in order to feature more of their member businesses. The Paddo Trails booklet launched in December 2020 and will be promoted through a travel-focused marketing strategy in 2021. Coinciding with the launch of Paddo Trails was the redesigned Visit Paddington website.
Develop a program which encourages creative and attractive shop fronts and window displays (OS&PPP 5.3)	Ongoing 2019-2022		Both rounds of the 2020/21 Placemaking Grants conducted between July-December 2020 awarded funding to shop-front display and street front activation projects. These included two projects on William Street, Paddington, an under-awning display on Oxford Street, Paddington and a Christmas collaboration between businesses in Double Bay. In total \$22,000 was invested by Woollahra Council in shop front activations during July-December 2020.
Have a variety of promotional aids available for use by businesses and others to showcase Oxford & Paddington Street attractions and offerings. (OS&PPP 5.6)-	In Progress 2019-2021		Conducted professional photo shoots of new and existing member businesses for promotional purposes. The preparation of the Paddington Marketing Strategy will provide guidance for the development of promotional aids in 2021 as part of the Paddington Marketing Campaign.

Deliverables	Action	Measure	Status	Comments
Complete feasibility study for Paddington Greenway and seek grant funding for implementation if found to be feasible.		In Progress 2020-2022		A draft feasibility was completed in December 2020 and will be considered by Council in March 2021, prior to public exhibition. Funding has been sought under the DPIE Metro Greenspace Program for detailed design of the Rushcutters Creek section.

**Strategy 9.2: Balance tourism demands with impacts on the community.**

Ref	Priority	Comments
9.2.1	Ensure planning for high profile tourism areas considers and protects residential amenity.	In 2019/20 this priority was address through the completion of the Local Strategic Planning Statement which contains actions relating to tourism.

**Strategy 9.3: Balance tourism demands with impacts on the community.**

Ref	Priority	Comments
9.3.1	Provide services to meet community expectations in relation to the presentation of business centres and high profile areas.	Capital upgrades and maintenance work carried out to schedules and approved budgets. Horticultural elements of business centres are continually improving with a rollout of planter boxes with seasonal flowers and vegetation included.
9.3.2	Provide street furniture maintenance services.	Street furniture maintenance is carried out to a high standard.

## Goal 10: Working together

### Strategy 10.1: Improve communication with the community and increase awareness of Council's activities.

Ref	Priority	Comments
10.1.1	Provide professional publications, promotional material and media releases.	<p>In addition to focussing on promoting our services and projects, resources were allocated to COVID-19 and general public health messaging on support services, reinforcing messages from the NSW Government and NSW Health, local case alerts and testing locations. A printed community COVID-19 support resource was delivered to all households. Printed newsletters are produced seasonally, eNews is produced monthly attracting a 58% open rate (industry standard is 30%). An extensive suite of outdoor signage was created for our beaches, parks, playground, fitness stations and service points. These signs were changed regularly to reflect public health requirements.</p> <p>Our website received 1,041,997 views during the 6 month period with the most popular content being: our homepage, waste, library and building and development. 50% of website views are from a PC and the balance visit from a mobile device.</p> <p>In this period we rolled out a cloud-based shared image library for internal staff use to increase the sharing and storage of photos. This involved extensive training of staff across the organisation with the aim of presenting a high standard of images with permission for use and easy search function and sharing capabilities.</p>
10.1.2	Provide educational tours for school children and community groups on local government processes and Council's role in the community.	<p>Due to COVID-19 there were no delegations or school visits during the reporting period.</p>

**Strategy 10.2: Plan for the future for Woollahra.**

Ref	Priority	Comments
10.2.1	Maintain a long term Community Strategic Plan for Woollahra.	<p>Council's Community Strategic Plan, Woollahra 2030, was adopted by Council in June 2018. It will continue to be maintained and be informed by future community engagements. The next full review of the Community Strategic Plan is due following the September 2021 Local Government election.</p> <p>The Community Strategic Plan is supported by Council's Delivery Program and Operational Plan which is reviewed and updated annually with progress reports on the Priorities and Actions within it, reported to the community at a minimum of twice a year.</p>



**Strategy 10.3: Build and foster relationships, strategic networks and work collaboratively with all levels of government.**

Ref	Priority	Comments
10.3.1	Work closely with the Southern Sydney Regional Organisation of Councils (SSROC) and other appropriate regional bodies to improve service efficiency and effectiveness and to promote Council's position on matters of common interest.	The GM continues to attend monthly SSROC General Manager meetings.

## Goal 11: A well managed council

**Strategy 11.1: Facilitate community led decision-making that is open, honest and ethical and benefits the broad community.**

Ref	Priority	Comments
11.1.1	Undertake community consultation and engagement processes in Council decision-making and the delivery of projects.	Our Community Engagement Officer provided ongoing support to departments in planning and delivering their community engagement projects. This included copy-writing, survey creation, strategic review and advice and online engagement updates.

Deliverables / Action	Measure	Status	Comments
Support and guide the implementation of community engagement through training & development, resource kits, support hours and engagement calendar.	Ongoing 2018-2022		A resource toolkit has proved useful for staff involved in engagement planning and delivery and a calendar of engagement milestone dates assists Directors and Managers to coordinate engagement activities and resources.
Develop Council's online engagement presence and promote participation across the community.	Ongoing 2018-2022		During the pandemic there were less in-person engagement activities hosted by Council. There has been good take-up of our digital online engagement tool – Your Say. In the last 12 months there has been a 60% increase in registrations. With strong interest in projects relating to parks, recreation and planning.


Ref	Priority	Comments
11.1.2	Provide organisational support systems that facilitate transparent and democratic decision-making.	Council promotes open meeting processes where members of the public can attend Committee meetings and address the Councillors on any matter on the agenda (via zoom at present given COVID-19). Council promotes its decision making activities through the timely availability of meeting agendas and minutes on its website and at Council's Customer Service Centre.

**Strategy 11.2: Develop and maintain effective reporting systems that enable Council to measure and report on performance.**

Ref	Priority	Comments
11.2.1	Ensure Council maintains a transparent and integrated planning and reporting framework that is legislatively compliant and facilitates effective decision-making.	The 2020/21 Operational Plan is currently undergoing a detailed review in light of COVID-19 and its associated budget impacts to establish what is achievable with current resourcing. Included in the review is an overhaul of reporting content and format to ensure it facilitates effective decision-making by Council. The results of the review will be tabled to Council in the Jan-Mar 2021 quarter.

Deliverables / Action	Measure	Status	Comments
Ensure compliance with the IP&R legislation and guidelines including planning for Council's 2017/21 End of Term Report, Community Strategic Plan update, new 2021/25 Delivery Program and review of the Resourcing Strategy in conjunction with delivering the 2021-25 Delivery Program.	Ongoing 2018-2022		The audited Financial Statements for 2019/20 were presented to the public at the Finance Community & Services Committee on 9 November 2020. They were publicly exhibited from 21 October 2020 to 10 November 2020 and no submissions were received. The Annual Report 2019/20 was lodged with the Office of Local Government and published on our website on 23 December 2020, ahead of the 31 December 2020 due date, as per the Local Government Act.
Deliver a four year outlook Workforce Management Plan.	In Progress 2018-2022; Delayed due to COVID		Review of the 4 Year Workforce Management Plan has been commenced but will be delayed as we consider the implications of COVID-19 for the long term shape and disposition of our workforce.
Deliver a ten year outlook Asset Management Plan.	In Progress 2018-2022		Draft Asset Management Plans (AMP) for each of Councils major asset classes have been prepared and have informed development of a draft Long Term Financial Plan. The AMP and a draft overarching Asset Management Strategy will be presented to Council as part of the Resourcing Strategy consistent with IP&R requirements.




Deliverables / Action	Measure	Status	Comments
Deliver a ten year outlook Long Term Financial Plan based on the Workforce Management Plan and Asset Management Plan.	In Progress 2020-2021		The Long Term Financial Plan is currently being updated in conjunction with the development of Council's 2021/22 draft budget.

Ref	Priority	Comments
11.2.2	Ensure council maintains a strong governance framework by continually reviewing Council policies and procedures for adequacy and currency.	Policies and procedures are reviewed and updates as required to reflect changes in legislation, best practice process and/or as operational requirements.
11.2.3	Report regularly on Council's activities and achievements to the community.	<p>We continue to use a range of communication channels to reach our local community, including: website, social media, print and digital advertising, editorial, community noticeboards and public display stands, signage, direct mail, monthly eNews, seasonal print newsletter, events, engagement and LCD screen in our Customer Service Centre.</p> <p>In the last 12 months we have seen a steady increase in followers on our social media platforms, with Instagram showing a 50% increase. WMC had 2,323 media mentions and we have developed good editorial relationships with newer local media publications. In response to the decline in reporting of local news by the Wentworth Courier and the temporary ceasing of print production during the pandemic, we have dedicated time and resources to boosting our own channels and monitoring popular content. Across the board the most popular content topics delivered via enews, social and website include: environment, heritage, walks, recreation, cycling, local relevant news and quirky local stories eg. Council finds lost cat and reunites it with owner after 6 years. During this period in house and professional videos have assisted in communicating projects, new services and events, proving to be more popular via our eNews and website, rather than on social when competition for time is more competitive.</p>

**Strategy 11.3: Maintain community access and effective participation in Council committees.**

Ref	Priority	Comments
11.3.1	Provide effective support to manage the efficient operation of Council and other Committee meetings.	Agenda and Minutes for Council meetings, Committee meetings (i.e. Environmental Planning Committee and Finance, Community & Services and Strategic & Corporate Committee) and also Planning Panel (i.e. Application Assessment Panel and Woollahra Local Planning Panel) are published onto Council's HUB and Council's website within service standards. Governance staff provide assistance to internal and external stakeholders as required.
11.3.2	Encourage community representation on subject based sub-committees.	Community representation on sub-committees is determined by each sub-committee's Terms of Reference. Periodic reviews of the promotion of each sub-committee through Council's website, reviewing the operation of each sub-committee to their adopted Terms of Reference ensure the conduct of meetings.

Deliverables / Action	Measure	Status	Comments
Coordinate the review and update of Terms of Reference for sub-committees and working parties.	In Progress 2020-2021		Review of Terms of Reference are being undertaken progressively for each of the Sub-Committee and/or Working Parties, based on a newly developed template.

**Strategy 11.4: Maintain Council's strong financial position.**



Ref	Priority	Comments
11.4.1	Effective management of Council's finances.	Council's Financial Statements for the year ended 30 June 2020 were presented to the public at the FC&S Committee on Monday 9 November 2020. The Quarterly Budget Review was completed as at 30 September 2020 and presented to the FC&S Committee. The December 2020 review is currently being completed and it is anticipated to be presented to the FC&S Committee at their meeting on 8 February 2021. Council is currently developing its draft 2021/22 budget.
11.4.2	Manage the leasing and licensing of Council buildings.	Property Officers manage the leasing & licencing of Council buildings and ensure that all agreements are attended to in a timely manner. Some agreements have not been able to be renewed/retendered due to COVID-19 or until new Plans of Management are adopted by Council later this year in accordance with the new Crown Lands Management Act.

**Strategy 11.5: Deliver high quality services that meet customer expectations.**



Ref	Priority	Comments
11.5.1	Provide the best practice customer services in a timely and professional manner.	The performance of the Customer Service team over the reporting period is detailed in the table below. Q1 and Q2 were very busy for Customer Service with an increase in all areas relative to the same period in 2019/20.

Service	1st Qtr 2019/20	2nd Qtr 2019/20	3rd Qtr 2019/20	4th Qtr 2019/20	1st Qtr 2020/21	2nd Qtr 2020/21	3rd Qtr 2020/21	4th Qtr 2020/21	FY 2019/20 (average)
DAs and CDCs processed by Customer Service staff	266	263	178	251	<b>272</b>	<b>269</b>	-	-	<b>240</b>
Calls answered by by Customer Service staff	18,416	18,414	19,498	19,378	<b>21,155</b>	<b>19,417</b>	-	-	<b>19,927</b>
Service standard for call answered	94%	94%	96%	98%	<b>95%</b>	<b>97%</b>	-	-	<b>96%</b>
Visitor permits and Daily permits issued by Customer Service staff	5,755	5,350	4,930	2,700	<b>5,220</b>	<b>5,970</b>	-	-	<b>4,484</b>
Parking permits issued by Customer Service staff	1,303	1,396	1,424	876	<b>1,449</b>	<b>1,528</b>	-	-	<b>1,250</b>

Ref	Priority	Comments
11.5.2	Provide for the effective planning and delivery of information technology services to enable efficient services to the community.	Implemented multiple system upgrades including Technology One Financials , Skype for Business secondary server, InfoCouncil and iChris HR and Payroll system. Purchased and installed eighty new laptops due to existing equipment end of life. Currently in the process of replacing the servers and storage devices.

Deliverables / Action	Measure	Status	Comments
Review Council's 5 year Information Technology Strategy to ensure our electronic business systems continue to meet operational needs and community expectations.	In Progress 2020-2021		Currently undergoing a review of the existing Information Technology Strategy with the view to make it more contemporary and to refresh the strategy's roadmap. Appointed a consultant to facilitate a planning and feedback workshop with the Executive Leadership Team. Feedback is currently being sought from various departments regarding current and future requirements.
Expand the usage of the Woollahra App to incorporate customer service request functionality.	Ongoing 2020-2022		The Customer Service department is currently conducting internal testing of the Service Request functionality in the Woollahra App. Ten categories representing the highest volume of service requests received annually have been selected for the testing process. In addition, we are currently consolidating the main categories with the view to implement them in the Woollahra App subject to successful testing of the initial ten categories.


Ref	Priority	Comments
11.5.3	Maintain a highly skilled, productive, committed and customer focused workforce.	Our December quarter HR metrics reflect a workforce situation that is reasonably stable with all but a few benchmarks being met or exceeded. We continue to manage with most office based staff working from home. Planning around a two staged process to establish longer term arrangements for our offices is well advanced. Our workforce planning which will inform our 2021/22 budget and beyond concluded with all Departments in December 2020.

Deliverables / Action	Measure	Status	Comments
Administer our continuous improvement (Best Service) program. Strengthen the capacity of all departments to integrate continuous improvement techniques into their business operations.	Ongoing 2018-2022		Review and refresh of program has commenced. New regular presentations have been designed. Increased staff involvement evident in number of OFIs submitted by staff.
Design and implement contemporary workforce policies and practices that reflect our values and desired culture.	Ongoing 2018-2022		Policies have been updated where required to reflect the new 2020 Award. We have developed Child Protection and Provision of a Child Safe Environment Policy, and now working on completing policy changes to address COVID-19 impacts, notably for maintaining flexible work arrangements.

Ref	Priority	Comments
11.5.4	Implement and conduct a Service Delivery Review Program to identify improvements to services delivery, customer experience, develop performance measures to deliver value for money for our community.	The General Manager has proposed a service review methodology for the whole of Council for consideration by the Executive Leadership Team (ELT) in February 2021. At the same time, ELT will also be considering a performance measurement framework for development and implementation across the organisation. Both of these initiatives will be focused on improving the entire customer experience in dealings with Council. Councillors will be consulted as the service review methodology and performance measurement framework are further developed.

**Strategy 11.6: Minimise risk for Council and the community.**

Ref	Priority	Comments
11.6.1	Maintain a risk management framework that achieves best practice in managing risks associated with Council's business activities.	The Council has in place a Risk Management Framework for 2016 to 2021. In responding to this Framework each Council Department is required to have its own Risk Management Plan (part of the Department's Business Assurance Plan) which is reviewed annually and progress is reported on a quarterly basis. An action for each Department is included in their Department Service Plan.

Deliverables / Action	Measure	Status	Comments
Undertake a comprehensive review of the existing risk enterprise framework and introduce a new 5 Year Framework commencing 1 July 2021.	Not commenced 2020-2021		A review will commence in last quarter of 2020/2021.

Ref	Priority	Comments
11.6.2	Maintain a corporate wide Business Assurance Framework to manage our systems/processes and risks to improve and protect Council's current and future performance.	Council maintains a Business Assurance Framework that includes the operation of an Audit & Assurance Committee and a comprehensive Audit Program. The five lines of defence that comprise Council's Business Assurance Framework are: (1) Management; (2) Strategic Framework; (3) Audit Services; (4) Audit & Assurance Committee; (5) Finance, Community and Services Committee/Council. Council has an Audit Management Software System to monitor our progress on the implementation of audit recommendations, to plan for future audits and to provide executive reports to management and the Audit & Assurance Committee. Each Department is required to have a Department Audit Plan (part of the Department Business Assurance Plan) identifying the audits to be completed over the period 1 July 2016 to 30 June 2021. An action for this is included in the Department Service Plans and progress is reported quarterly to Divisional Directors.



Woollahra  
Municipal  
Council



536 New South Head Road,  
Double Bay NSW 2028  
**[woollahra.nsw.gov.au](http://woollahra.nsw.gov.au)**  
T: 02 9391 7000  
F: 02 9391 7044  
E: [records@woollahra.nsw.gov.au](mailto:records@woollahra.nsw.gov.au)

**Item No:** D4 Delegated to Committee  
**Subject:** **SMALL BUSINESS WORKING PARTY MINUTES - 5 FEBRUARY 2021**  
**Author:** Kate Burgess, Temp Coordinator Placemaking  
**Approvers:** Anne White, Manager - Strategic Planning  
Craig Swift-McNair, General Manager  
**File No:** 21/29733  
**Reason for Report:** To report the minutes of the Small Business Working Party meeting that took place on 5 February 2021.

**Recommendation:**

THAT the Minutes of the Small Business Working Party meeting held on 5 February 2021 be received and noted.

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**Background**

The Small Business Working Party (SBWP) was established by Council resolution on 30 October 2017 with the aim of focussing on small business and start-ups.

The purpose of the SBWP is to promote and support small business and start-ups within the Woollahra Local Government Area (LGA).

The SBWP is advisory only and has no delegation. Accordingly, the minutes of the Group are to be reported to the Environmental Planning Committee.

**Meeting of 5 February 2021**

The first meeting of the SBWP in 2021 was held on 5 February. A copy of the meeting minutes are attached at **Annexure 1**. A summary of the key issues discussed at the meeting is provided below:

Issue	Subject
• <b>Manager - Placemaking</b>	The General Manager provided an update on the recruitment process for the Manager –Placemaking position.
• <b>2021 Economic Development Initiatives</b>	The Economic Development Officer provided an update on initiatives being undertaken including: <ul style="list-style-type: none"><li>- Review and streamlining of footway dining and footway display of goods application processes</li><li>- Engagement with businesses</li><li>- Development of Woollahra Business Database</li><li>- Stakeholder collaboration</li><li>- Visitation programs (Council support for tourism industry)</li><li>- Bi-annual Mayor’s Business Breakfast (June &amp; December)</li></ul>
• <b>Double Bay Networking Group</b>	The General Manager provided an update on the recent request for funding assistance from the Double Bay Networking Group for Council.

Issue	Subject
<ul style="list-style-type: none"><li>• <b>Placemaking Initiatives</b></li></ul>	<p>The Placemaking Coordinator provided an update on Placemaking projects including:</p> <ul style="list-style-type: none"><li>- Christmas decorations</li><li>- Placemaking Grants</li><li>- Rose Bay Place Plan</li><li>- Paddington Marketing Campaign</li></ul>
<ul style="list-style-type: none"><li>• <b>SpendMapp</b></li></ul>	<p>Acting Manager Placemaking provided an update on spending trends in the Woollahra area from SpendMapp data.</p>

As a consequence of this meeting, the following key actions are being undertaken by Council staff:

- Prepare a summary of expenditure to business chambers and networking groups, and report this to a future meeting of the SBWP.
- Prepare a draft model for funding of business chambers and networking groups, and report this to a future meeting of the SBWP.

### **Working Party Agenda Coordination**

At the meeting of the Oxford Street & Paddington Working Party on 5 December 2020, it was noted that reports on items that are relevant and of interest to the members of the Oxford Street & Paddington Working Party have been reported to the SBWP and the Environmental Planning Committee, but not necessarily to all relevant Working Parties.

Council officers have now established an internal process to coordinate the agenda items for the SBWP, the Double Bay Working Party and the Oxford Street & Paddington Working Party. This process has commenced for all 2021 meetings of the aforementioned Working Parties, to ensure that similar items of interest are reported to each of the above-mentioned groups in a coordinated manner.


### **Conclusion**

The SBWP held its first meeting in 2021, which provided staff with the opportunity to update the members on a number of different projects.

As a consequence of this meeting, staff will prepare a report on funding for business chambers and networking groups, and prepare a draft model for the funding of such groups.

Staff recommend that the minutes of the meeting of the SBWP of 5 February 2021 be received and noted.

### **Annexures**

1. Minutes of Small Business Working Party - Friday, 5 February 2021 [↓](#) 



## Small Business Working Party



## Minutes

Friday 5 February 2021

Woollahra Municipal Council

Small Business Working Party Minutes

## Small Business Working Party Minutes

Friday 5 February 2021

**Present: Councillors:**

The Mayor, Susan Wynne (ex-officio)  
Nick Maxwell (Chair)  
Mary-Lou Jarvis  
Mark Silcocks

**Staff:**

Craig Swift-McNair	(General Manager)
Anne White	(Acting Manager Placemaking)
Jin Young Kim	(Economic Development Officer)
Kate Burgess	(Temporary Coordinator Placemaking)

**Meeting opened:**

10:30am held using teleconferencing technology

DRAFT

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Woollahra Municipal Council

Small Business Working Party Minutes

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- 1. Opening**
- 2. Acknowledgement of Country**
- 3. Apologies**

Nil

- 4. Declarations of Interest**

Councillor Maxwell declared a non-significant, non-pecuniary interest in relation to Item 7.3 (Double Bay Networking Group) as Deidre O’Loughlin has a personal relationship with his family. Councillor Maxwell participated in the discussion.

Councillor Jarvis declared a non-significant, non-pecuniary interest in relation to Item 7.3 (Double Bay Networking Group) as Deidre O’Loughlin is a member of the Liberal Party. Councillor Jarvis participated in the discussion.

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- 5. Late Correspondence**

Nil

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DRAFT



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Woollahra Municipal Council

Small Business Working Party Minutes

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**6. Confirmation of Minutes**

**Item No:** 6.1  
**Subject:** **CONFIRMATION OF MINUTES OF THE SMALL BUSINESS  
WORKING PARTY HELD ON 9 OCTOBER 2020**

**Recommendation:**

**(Wynne/Silcocks)**

THAT the Minutes of the Small Business Working Party held on the 9 October 2020 be confirmed.

---

**7. Items for Discussion**

**Item No:** 7.1  
**Subject:** **MANAGER PLACEMAKING**

**Note:** General Manager provided an update to the Working Party that the Manager – Placemaking role is in the final stages of recruitment.

**Recommendation:**

**(Silcocks/Jarvis)**

THAT the Small Business Working Party note the update from the General Manager on the recruitment of the new Manager Placemaking.

---

**Item No:** 7.2  
**Subject:** **2021 ECONOMIC DEVELOPMENT INITIATIVES**

**Note:** Economic Development Officer provided an update on initiatives proposed for 2021 including:

- Review and streamlining of footway dining and footway display of goods application processes
- Engagement with businesses
- Development of Woollahra Business Database
- Stakeholder collaboration
- Visitation programmes (Council support for tourism industry)
- Bi-annual Mayor's Business Breakfast (June & December)

**Recommendation:**

**(Wynne/Silcocks)**

THAT the Small Business Working Party note the proposed economic development initiatives that will be delivered over the next 12 months.

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Woollahra Municipal Council

Small Business Working Party Minutes

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**Item No:** 7.3

**Subject:** **DOUBLE BAY NETWORKING GROUP**

**Note:** General Manager provided an update on the recent request from the Double Bay Networking Group for Council funding for the organisation.

The Working Party agreed that the exclusive model of the Double Bay Networking Group was a barrier for Council to provide funding support for the organisation.

The Working Party discussed what elements make a business chamber successful.

**Recommendation:**

**(Wynne/Silcocks)**

- A. THAT the Small Business Working Party note the update from the General Manager on the Double Bay Networking Group.
  - B. THAT staff prepare a summary of expenditure to business chambers and networking groups, and that this is reported to a future meeting of the Small Business Working Party.
  - C. THAT staff prepare a draft model for the funding of business chambers and networking groups, and that this is reported to a future meeting of the Small Business Working Party.
- 

**Item No:** 7.4

**Subject:** **PLACEMAKING UPDATE**

**Note:** Temporary Coordinator - Placemaking provided an update on Placemaking projects including:

- 2020 Christmas decorations
- Rose Bay Place Plan
- Paddington Marketing Campaign

**Recommendation:**

**(Wynne/Jarvis)**

THAT the Small Business Working Party note the update on Placemaking from the Placemaking Team.

---

**Item No:** 7.5

**Subject:** **SPENDMAPP**

**Note:** Acting Manager – Placemaking provided an update on spending trends in the Woollahra area from the most recent SpendMapp data.

Members of the Working Party queried the drop in residential online spend. Staff advised they would research and provide clarification.

Woollahra Municipal Council

Small Business Working Party Minutes

**Recommendation:**

**(Silcocks/Jarvis)**

THAT the Small Business Working Party note the staff presentation on Spendmapp.

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**6. General Business**

**Item No:** 8.1

**Subject:** GENERAL BUSINESS

Nil

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**7. Next Meeting**

The next meeting is scheduled for TBC.

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There being no further business the meeting concluded at 11:30am.

DRAFT

**Item No:** D5 Delegated to Committee  
**Subject:** **OXFORD STREET & PADDINGTON WORKING PARTY MINUTES - 18 FEBRUARY 2021**  
**Author:** Kate Burgess, Temp Coordinator Placemaking  
**Approvers:** Anne White, Manager - Strategic Planning  
Craig Swift-McNair, General Manager  
**File No:** 21/29786  
**Reason for Report:** To report the minutes of the Oxford Street & Paddington Working Party that took place on 18 February 2021.

**Recommendation:**

THAT the Minutes of the Oxford Street & Paddington Working Party meeting held on 18 February 2021 be received and noted.

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**Background**

The purposes of the Oxford Street & Paddington Working Party (OS&PWP) is to:

- Support and drive the implementation of the strategies, actions and projects under the Place Plan
- Engage with stakeholders
- Advise on the priority of specific actions and projects under the Place Plan
- Monitor progress and identify roadblocks to the implementation of strategies, actions and projects under the Place Plan
- Identify new opportunities for Placemaking initiatives
- Make recommendations to Council for consideration on any refinements to the Place Plan that may be considered appropriate by the Working Party.

The OS&PWP is advisory only and has no delegation. Accordingly, the minutes of the group are to be reported to the Environmental Planning Committee.

**Meeting of 18 February 2021**

The first meeting of the OS&PWP of 2021 took place on 18 February 2021. A copy of the meeting minutes are attached at **Annexure 1**. A summary of the key issues discussed at the meeting is provided below:

Issue	Summary
• <b>Update from City of Sydney Council</b>	City of Sydney Council representative, Victoria Moxey, provided the Working Party with an update on recent and current activities affecting Oxford Street and Paddington.
• <b>Update from the Paddington Business Partnership</b>	Michael Fegent, President – Paddington Business Partnership, provided the Working Party with an update on recent and current activities.
• <b>Paddington Marketing Strategy and 2021 Marketing Campaign</b>	Temporary Coordinator - Placemaking presented the initial activities planned for the 2021 Paddington Marketing Campaign. The Working Party discussed the pros and cons of the Marketing Strategy at length.

Issue	Summary
• <b>Mobile food &amp; drink outlets</b>	A report identifying how Council can encourage and support mobile food and drink outlets was presented to the Working Party.
• <b>Update on the GANDA apps &amp; wayfinding</b>	Staff provided the Working Party with a brief on their investigation into the GANDA app development process and analysis of the apps function and usage.
• <b>2021 Economic Development Initiatives</b>	Economic Development Officer provided an update on initiatives being undertaken including: <ul style="list-style-type: none"><li>- Review and streamlining of footway dining and footway display of goods application processes</li><li>- Engagement with businesses</li><li>- Development of Woollahra Business Database</li><li>- Stakeholder collaboration</li><li>- Visitation programs (Council support for tourism industry)</li><li>- Bi-annual Mayor's Business Breakfast (June &amp; December)</li></ul>
• <b>Oxford Street Placemaking reserve</b>	A report on the remaining funds in the Oxford Street Placemaking Reserve was tabled for the meeting.

As a consequence of this meeting, the following key actions are being undertaken by Council staff:

- Undertake the initiatives of the 2021 Paddington marketing campaign
- Request written feedback from members of the working party on the Paddington Marketing Strategy
- Prepare a report to the appropriate committee of Council detailing the origins of the Oxford Street Placemaking Reserve budget, and its intended use.

## Conclusion

The OS&PWP held its first meeting in 2021, which provided staff with the opportunity to update the members of a number of different projects.

As a consequence of this meeting, staff will prepare a report on the Oxford Street Placemaking Reserve to a future Financial, Community & Services Committee.

Staff recommend that the minutes of the meeting of the OS&PWP of 18 February 2021 are received and noted.

## Annexures

1. Minutes of Oxford Street & Paddington Working Party - Thursday, 18 February 2021 [↓](#)





## Oxford Street & Paddington Working Party



# Minutes

Thursday 18 February 2021



## **Oxford Street & Paddington Working Party Minutes**

**Thursday 18 February 2021**

<b>Present: Councillors:</b>	Susan Wynne (Vaucluse Ward) Peter Cavanagh (Paddington Ward) Luise Elsing (Cooper Ward) Anthony Marano (Cooper Ward) Harriet Price (Paddington Ward) Matthew Robertson (Paddington Ward)
<b>Trader:</b>	Robbie Ingham
<b>Member of the Paddington Business Partnership:</b>	Michael Fegent
<b>Residents:</b>	Keri Huxley Andrew Moss
<b>Staff:</b>	Craig Swift-McNair – General Manager Anne White – Acting Manager Placemaking Jin Young Kim – Economic Development Officer Kate Burgess – Temporary Coordinator Placemaking
<b>Other Woollahra Councillors:</b>	Toni Zeltzer (Double Bay Ward)
<b>Meeting opened:</b>	6.00pm (held using teleconferencing technology)

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Woollahra Municipal Council

Oxford Street & Paddington Working Party Minutes

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**1. Opening**

**2. Acknowledgement of Country**

**3. Apologies**

Sam Egerton

Cr Thalys (City of Sydney Council)

Staff apologies: Nil

**4. Declarations of Interest**

Nil

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**5. Late Correspondence**

Nil

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**6. Confirmation of Minutes**

**Item No:** 6.1

**Subject:** **CONFIRMATION OF THE MINUTES OF THE OXFORD ST & PADDINGTON WORKING PARTY HELD ON 2 DECEMBER 2020**

**Author:** Anne White, Manager - Strategic Planning

**Recommendation:**

**(Price/Cavanagh)**

THAT the Minutes of the Oxford Street & Paddington Working Party held on the 2 December 2020 be confirmed.

---

**7. Items for Discussion**

**Item No:** 7.1

**Subject:** **CITY OF SYDNEY COUNCIL UPDATE**

**Author:** Anne White, Manager - Strategic Planning

**Note:**

City of Sydney Council representative, Victoria Moxey, provided the Working Party with an update on recent and current activities affecting Oxford Street and Paddington. These initiatives include:

- Mardi Gras
- 2021 Paddington Marketing Campaign
- City of Sydney upskilling programs
- 24-Hour Alfresco City initiative with NSW Government
- Sydney Local Campaign – ‘Our Sydney’ campaign on Concrete Playground including Paddington

**Recommendation:**

**(Robertson/Cavanagh)**

THAT the Oxford St & Paddington Working Party note the update given by the representative from the City of Sydney Council on the activities and plans of City of Sydney Council regarding Oxford St and Paddington.

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**Item No:** 7.2

**Subject:** **PADDINGTON BUSINESS PARTNERSHIP UPDATE**

**Author:** Anne White, Manager - Strategic Planning

**Note:**

Michael Fegent, President – Paddington Business Partnership, provided the Working Party with an update on recent and current activities including:

- Partnership membership has increased to 110 businesses
- Approximately 100 member businesses have now been photographed for promotional purposes
- Paddo Trails, the redesigned Visit Paddington map, has been well received.
- A 2021 Night Out event (25 March) has received strong initial support from Paddington businesses
- Five Ways businesses are investigating a potential public art installation
- William Street Festival – preparation has commenced
- Paddington Marketing Strategy is being used as a guide for organisation activities

Members offered their advice as to the possible expansion of the William Street Festival to other areas of Paddington including Oxford Street.

**Recommendation:**

**(Price/Marano)**

THAT the Oxford St & Paddington Working Party note the update given by Michael Fegent, President – Paddington Business Partnership, on the activities and plans of the Paddington Business Partnership.

---

**Item No:** 7.3

**Subject:** **PADDINGTON MARKETING STRATEGY AND 2021 MARKETING CAMPAIGN**

**Author:** Kate Burgess, Temp Coordinator Placemaking

**Note:**

Staff presented the initial activities planned for the 2021 Paddington Marketing Campaign.

The Paddington Marketing Strategy was discussed at length by those present at the meeting, including concerns regarding the content of the Strategy and the procurement process.

The Working Party were invited to submit additional feedback on the Strategy in writing to staff.

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Woollahra Municipal Council

Oxford Street & Paddington Working Party Minutes

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**Recommendation:**

**(Cavanagh/Huxley)**

- A. THAT the Oxford Street & Paddington Working Party note the Paddington Marketing Strategy prepared by Sparrowly Group and have raised concerns with regard to the effectiveness of the Strategy and the relevance to the original brief.
- B. THAT the Oxford Street & Paddington Working Party note the proposed marketing initiatives that will be delivered in Paddington in the year 2021.

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**Item No:** 7.4

**Subject:** **MOBILE FOOD & DRINK OUTLETS**

**Authors:** Jin Young Kim, Economic Development Officer

**Recommendation:**

**(Huxley/Cavanagh)**

THAT the Oxford Street & Paddington Working Party note the report on mobile food and drink outlets, and that a report identifying how Council can encourage and support mobile food and drink outlets will be reported to the Environmental Planning Committee.

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**Item No:** 7.5

**Subject:** **UPDATES ON THE GANDA APPS AND WAYFINDING**

**Author:** Anne White, Manager - Strategic Planning

**Note:**

Staff provided the Working Party with a brief on their investigation into the GANDA app development process and analysis of the apps function and usage.

Working Party members expressed concerns over the funds invested into a product that did not fulfil its purpose.

**Recommendation:**

**(Huxley/Marano)**

THAT the report on the updates on the GANDA Apps and Wayfinding is noted.

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**Item No:** 7.6  
**Subject:** **2021 ECONOMIC DEVELOPMENT INITIATIVES**  
**Author:** Jin Young Kim, Economic Development Officer

**Recommendation:**

**(Huxley/Cavanagh)**

THAT the Oxford Street & Paddington Working Party note the proposed economic development initiatives that will be delivered over the next 12 months.

**Item No:** 7.7  
**Subject:** **OXFORD STREET PLACEMAKING RESERVE**  
**Author:** Anne White, Manager - Strategic Planning

**Recommendation:**

**(Huxley/Marano)**

- A. THAT the Oxford Street & Paddington Working Party note the amount of money left in the Oxford Street Placemaking Reserve.
- B. THAT a report detailing the origins of the reserve and what it was intended for be provided to the appropriate committee of Council

**8. General Business**

**Item No:** 8.1  
**Subject:** **GENERAL BUSINESS**  
**Author:** Anne White, Manager - Strategic Planning

Members of the Working Party requested that the letter sent from the Mayor to City of Sydney Council in relation to the Sydney Business Chamber submission on the future of Oxford Street be circulated to working party members.

The General Manager provided an update to the Working Party that the Manager – Placemaking role is in the final stages of recruitment.

**9. Next Meeting**

The next meeting is scheduled for TBC.

There being no further business the meeting concluded at 8:10pm.

**Item No:** D6 Delegated to Committee  
**Subject:** **DOUBLE BAY WORKING PARTY MINUTES - 23 FEBRUARY 2021**  
**Author:** Kate Burgess, Temp Coordinator Placemaking  
**Approvers:** Anne White, Manager - Strategic Planning  
Craig Swift-McNair, General Manager  
**File No:** 21/29798  
**Reason for Report:** To report the minutes of the Double Bay Working Party meeting that took place on 23 February 2021

**Recommendation:**

THAT the Minutes of the Double Bay Working Party meeting from 23 February 2021 be received and noted.

**Background:**

The purpose of the working party is to oversee the preparation and implementation of the Double Bay Place Plan for the Double Bay commercial centre. The Double Bay Place Plan contains an impressive but challenging array of interventions identified to revitalise, activate and energise Double Bay as a vital public destination

The Double Bay Working Party (DBWP) is advisory only and has no delegation. Accordingly, the minutes of the Group are to be reported to the Environmental Planning Committee.

**Meeting of 23 February 2021:**

The first meeting of the DBWP of 2021 took place on 23 February. A copy of the meeting minutes are attached at **Annexure 1**. A summary of the key issues discussed at the meeting is provided below:

Issue	Summary
• <b>Update on the GANDA apps &amp; wayfinding</b>	Staff provided the Working Party with a brief on their investigation into the GANDA app development process and analysis of the apps function and usage.
• <b>Sydney East Business Chamber Update</b>	Sydney East Business Chamber board member, Alan Rae, provided the Working Party with an update.
• <b>Update on the Double Bay Lanterns Project</b>	The Double Bay Working Party will attend a further site meeting to consider samples of Dulux Natural Bronze and IGuzzini Silver Gray. An endorsed colour is to be referred to the Environmental Planning Committee for approval.
• <b>Mobile food &amp; drink outlets</b>	A report identifying how Council can encourage and support mobile food and drink outlets was presented to the Working Party.
• <b>2021 economic development initiatives</b>	A report detailing proposed economic development initiatives that will be delivered over the next 12 months was presented to the Working Party.



As a consequence of this meeting, the following key actions are to be undertaken:

- Sydney East Business Chamber are to provide the working party with a copy of its board members and the minutes of the AGM which was held in December 2020.
- Council staff are to arrange for members of the DBWP to attend a further site meeting to consider samples of Dulux Natural Bronze and IGuzzini Grey/Silver.

### **Conclusion:**

The DBWP held its first meeting in 2021, which provided staff with the opportunity to update the members of a number of different projects.

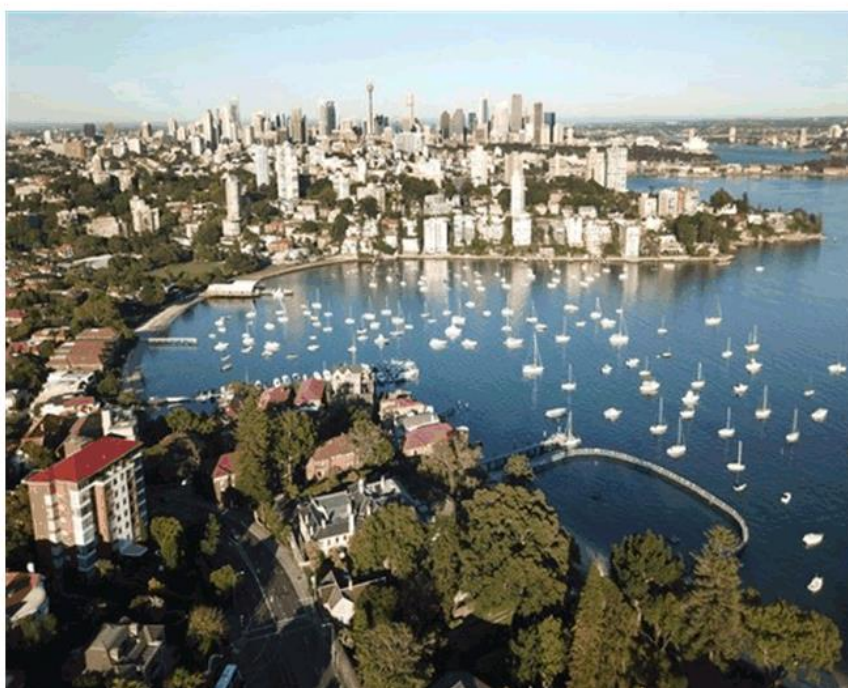
Staff recommend that the minutes of the meeting of the DBWP of 23 February 2021 are received and noted.

### **Annexures**

1. Minutes of Double Bay Working Party - Tuesday, 23 February 2021 [↓](#) 



## Double Bay Working Party



## Minutes

Tuesday 23 February 2021

## Double Bay Working Party Minutes

Tuesday 23 February 2021

<b>Present: Councillors:</b>	The Mayor, Susan Wynne (ex-officio) Mark Silcocks (Double Bay Ward) Anthony Marano (Cooper Ward) Megan McEwin (Cooper Ward)
<b>Business:</b>	Alan Rae (Sydney East Business Chamber) Deirdre O'Loughlin (Double Bay Networking Group)
<b>Property owners:</b>	Eduard Litver (Cosmopolitan Centre)
<b>Residents:</b>	Anthony Tregoning
<b>Staff:</b>	Tom O'Hanlon – Director Technical Services Anne White – Acting Manager Placemaking Jin Young Kim – Economic Development Officer Kate Burgess – Temporary Coordinator Placemaking
<b>Others:</b>	Luise Elsing (Cooper Ward)
<b>Meeting opened:</b>	6.00pm (held using teleconferencing technology)

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Woollahra Municipal Council

Double Bay Working Party Minutes

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**1. Apologies**

Zena K'dor (House of K'dor)  
Alex Oliver (Resident)

Staff apologies: Craig Swift-McNair (General Manager)

---

**2. Confirmation of Minutes**

**Item No:** 6.1  
**Subject:** **CONFIRMATION OF THE MINUTES OF THE DOUBLE BAY  
WORKING PARTY MEETING HELD ON 26 NOVEMBER 2020**  
**Author:** Anne White, Manager - Strategic Planning

**Recommendation:**

**(Marano/McEwin)**

THAT the Minutes of the Double Bay Working Party held on the 26 November 2020 be confirmed.

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**3. Late Correspondence**

Nil

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**4. Items for Discussion**

**Item No:** 7.1  
**Subject:** **UPDATES ON THE GANDA APPS AND WAYFINDING**  
**Author:** Anne White, Manager - Strategic Planning

**Recommendation:**

**(McEwin/Marano)**

THAT the report on the updates on the GANDA Apps and Wayfinding is noted.

---

**Item No:** 7.2  
**Subject:** **SYDNEY EAST BUSINESS CHAMBER UPDATE**

**Author:** Anne White, Manager - Strategic Planning

**Note:** Sydney East Business Chamber board member Alan Rae provided an update on the activities of the organisation. He advised that there was a meeting of the new board in December 2020 to discuss activities, including the Double Bay festival. Another meeting will be held in March 2021.

Staff advised the Working Party that they are in the process of preparing a report regarding Council funding of the Sydney East Business Chamber.

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Woollahra Municipal Council

Double Bay Working Party Minutes

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Members of the Working Party requested that the new board members and minutes of the AGM are to be shared with the working party.

**Recommendation:**

**(McEwin/Silcocks)**

THAT the Double Bay Working Party note the update given by the Chair Katherine O'Regan on the activities and plans of the Sydney East Business Chamber.

---

**Item No:** 7.3

**Subject:** **UPDATE ON DOUBLE BAY LANTERNS PROJECT**

**Author:** Tom O'Hanlon, Director - Technical Services

**Recommendation:**

**(Silcocks/McEwin)**

- A. THAT the Double Bay Working Party note that a site visit took place on Tuesday 23 February 2021 in Guilfoyle Park, Double Bay where members were able to view different coloured prototypes.
  - B. THAT the Double Bay Working Party attend a further site visit to consider samples of Dulux Natural Bronze and iGuzzini Grey/Silver, and that a report is prepare to the Environmental Planning Committee confirming the preferred colour selected by the Double Bay Working Party.
- 

**Item No:** 7.4

**Subject:** **MOBILE FOOD & DRINK OUTLETS**

**Author:** Jin Young Kim, Economic Development Officer

**Recommendation:**

**(Silcocks/McEwin)**

THAT the Double Bay Working Party note that a report to identify how Council can encourage and support mobile food and drink outlets be reported to the Environmental Planning Committee.

---

**Item No:** 7.5

**Subject:** **2021 ECONOMIC DEVELOPMENT INITIATIVES**

**Author:** Jin Young Kim, Economic Development Officer

**Note:** Mayor, Cr Wynne noted that the proposed initiatives reflected that Council is thinking differently about economic development.

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**Recommendation:**

**(Silcocks/O’Loughlin)**

THAT the Double Bay Working Party note the proposed economic development initiatives that will be delivered over the next 12 months.

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**5. General Business**

**Item No:** 8.1

**Subject:** GENERAL BUSINESS

**Author:** Anne White, Manager - Strategic Planning

**(Marano/Silcocks)**

Staff advised the Working Party that the new Manager – Placemaking has been appointed and will be commencing at the end of March 2021.

Tom O’Hanlon noted that the pedestrianisation of Knox Street, Double Bay has been endorsed by Council as per the Pedestrianisation Study. The works will be funded by the Department of Planning, Industry & Environment, to be completed by December 2022.

Anthony Tregoning noted that the use of Kiaora Lane by delivery trucks and other vehicles after 8am continues to be of concern. Tom O’Hanlon advised that he would take this on notice.

Anthony Tregoning noted that there is increasing concerns about safety on the corner of Kiaora Rd and New South Head Rd. Mayor, Cr Wynne and Tom O’Hanlon advised that this is on the agenda of the Community Safety Committee.

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**Next Meeting**

The next meeting is scheduled for TBC.

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There being no further business the meeting concluded at 6:32pm.





**Item No:** R1 Recommendation to Council  
**Subject:** WAYFINDING  
**Author:** Kate Burgess, Temp Coordinator Placemaking  
**Approvers:** Anne White, Manager - Strategic Planning  
Craig Swift-McNair, General Manager  
**File No:** 20/220875  
**Reason for Report:** To recommend that Council terminates the GANDA app contract.  
To identify other opportunities for Wayfinding in the Woollahra LGA.

**Recommendation:**

- A. THAT Council cease supporting the GANDA app wayfinding program and terminate the contract between Woollahra Council and the app developer.
- B. THAT Council notes that funding for a Local Government Area-wide Wayfinding and Visitation Strategy, has been included in the draft 2021-2022 Budget

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**Introduction**

A report on the GANDA Double Bay and Paddington wayfinding apps was developed in response to a Question of Notice and reported to Council at the 29 September 2020 Council meeting.

Subsequent to this, a report was considered by the Small Business Working Party (SBWP) on 9 October 2020, where the SBWP recommended that staff prepare a report to the Environmental Planning Committee recommending the use of alternative opportunities to facilitate wayfinding. As other working parties have also been involved in wayfinding, a similar report was then presented to the Oxford Street & Paddington Working Party on 18 February 2021 and the Double Bay Working Party on 23 February 2021.

The purpose of this report is to identify options and opportunities to facilitate wayfinding in the Woollahra Local Government Area (LGA). Wayfinding is defined as the process by which people orientate themselves in a physical space and navigate from place to place. Importantly, wayfinding forms part of the 20 year strategic vision for the Woollahra LGA as it is embedded as an action into the *Woollahra Local Strategic Planning Statement 2020*.

*Action 32: Collaborate with organisations and our community to enhance education, heritage interpretation, history walks and wayfinding.*

Wayfinding is also a key element of the *Double Bay Centre Public Domain Strategy* which was adopted by Council on 8 August 2016. Page 88 of the Strategy contains the following statement:

*Wayfinding is essentially the ability to navigate and orientate oneself within a space or between places. Finding your way around an unfamiliar place can seem daunting and also an exciting adventure of discovery. People generally use a number of sensory and cognitive devices to navigate and map their journeys. These can be maps, signs, digital devices, landmarks or even topography. Less prescriptive wayfinding occurs naturally or intuitively. People wandering or discovering may be directed by the lay of the land, landscape or architectural prompts in the built form or just follow other people along visibly popular routes and networks*

## **GANDA Wayfinding apps (Double Bay & Paddington)**

In August 2016, the GANDA app was commissioned, designed and coordinated to facilitate wayfinding in Double Bay. In March 2018 GANDA Double Bay went live via a soft launch, as a free wayfinding app to help locals and visitors find their way across Double Bay. The second app, GANDA Paddington was launched in August 2019. Both apps are compatible with iOS and Android operating systems.

The apps contain information on businesses, locations of interest, services and events in their respective areas. Access to the app information is provided by a two-level structure of categorised, colour coded menus. Council staff have reviewed the app, with the results of the findings detailed below:

### *GANDA apps usage*

Staff met with the developer in August 2020 to review the current usage and future direction of the app. At this meeting, the Placemaking team requested data on the current usage of the app, which is detailed below:

<b>App</b>	iOS installs	iOS deletions	Android installs	Android deletions	<b>Current installs</b>
<b>Double Bay</b>	128	44	26	22	<b>88</b>
<b>Paddington</b>	27	2	7	3	<b>29</b>

It is noted that this information does not discriminate between Council/developer staff or external users, however as can be seen by the data included above, there are very low levels of installs and usage of the app.

### *Functionality*

Data quality is critical to the success of any app. To draw people away from Google or Apple maps and into a Council-specific app, the information provided must be equal to or better than the information available through these free services. However, the functionality of the directional and navigational features of the app are considered inferior to those offered by Google or Apple maps. Key standard features, such as the ability to change the starting point to a different location, are not present in the GANDA app.

The information in the GANDA apps has to be maintained manually by Council staff and it quickly becomes out of date, plus there are numerous issues with the quality of the data as you navigate your way around the app.

### *Financial information*

Total payments from Woollahra Council to the app developer for the initiation and ongoing maintenance of both apps since 2016 is \$98,650.20.

### *Promotion*

Accompanying the June 2019 release of GANDA Double Bay, the Council's communication team conducted a number of marketing initiatives including:

- Pavement decals
- Media release
- Wentworth Courier Message from the Mayor
- Eastern Suburbs Life advertisement

- Darling Point Edge promotion

In addition to the above, accompanying the August 2019 release of GANDA Paddington, the Council communications team placed a paid advertisement in Local Paddo magazine (February 2020 edition).

Unfortunately, the businesses included in both GANDA apps were not consulted or engaged with during the development of the apps. The app developer established the business database of the apps by conducting a street audit, therefore very few businesses were aware of GANDA and that they were included on it. This was a missed opportunity during development to utilise the promotional capacity of the businesses featured on GANDA.

#### *Consultation*

In preparing this report, staff consulted with representatives from the Sydney East Business Chamber, the Paddington Business Partnership (PBP) and Sparrowly Group, a marketing consultancy. These representatives have provided the following feedback:

- *There are more efficient and effective ways to support local businesses than through further development and use of the Ganda app. Over the years as technology has developed such that businesses are able to leverage alternative existing digital platforms and channels to communicate, engage and market their products and services.*
- *An app to work alongside a physical map is a great enhancement for the businesses of Paddington and was something we were hoping the GANDA App may have been able to provide. Unfortunately GANDA was a bespoke product that would require constant upgrading by either Woollahra Council, Paddington Business Partnership or a paid third party at high expense and time.*
- *We were introduced to the product when it was effectively completed however we did find it difficult to use and update. We believe it really has been superseded by generic products provided by the likes of google maps.*
- *We understand that the PBP is taking the existing map template to another level (a booklet/map with a series of walks) and may link these to google maps both of which are fantastic initiatives and based on my interactions with members would be welcomed. The paper map was very well received by businesses, shoppers, residents, hotels and the tourism sector.*
- *Overall GANDA was a great concept but was overtaken by technology and didn't have the resources to achieve the outcomes the Council and Paddington Business Partnership were looking for and always suffered from under development.*

During 2020, Woollahra Council commissioned the preparation of a marketing strategy for Paddington which was prepared by Sparrowly Group. In the course of preparing this strategy, Sparrowly Group provided staff with the following analysis on wayfinding:

- ☞ Printed handheld maps are a superior wayfinding and navigation tool, and provide a better visitor experience.
- ☞ People still rely on physical markers in the built environment such as directional pillars and signage which are used along with smart technologies.
- ☞ We need to continue to invest in wayfinding signage systems and other visual treatments in cities, and avoid the impulse to rely only on digital GPS navigation.

- ☞ Rather than encouraging GPS navigation, cities need to consider when and how they might wish to disrupt GPS navigation, especially for out-of-town visitors and tourists; to bring people back to routes that help maximize commercial and retail opportunity, to re-engage visitors with the built environment, and to reduce the tendency to be antisocial when using GPS navigation.

### **Recommendation: GANDA apps**

Having received consistent feedback from internal and external stakeholders, Council staff are concerned with the GANDA apps high financial costs, poor functionality, low usage and the inconsistency with the outcomes of research on wayfinding tools.

Council staff do not consider that the GANDA app is an effective wayfinding tool, and are therefore recommending that the GANDA apps wayfinding program cease and the ongoing contract between Woollahra Council and the app developer is terminated effective following the minimum notice period of one month.

### **Alternative wayfinding tools**

Staff have been investigating different opportunities to facilitate wayfinding using examples sourced nationally and internationally. Wayfinding is influenced by many factors, physical as well as intangible. Intrinsic wayfinding can be supported by place making that uses:

- ☞ Key landmark features;
- ☞ Accessible routes that support desire lines;
- ☞ Creation and promotion of vistas to aid route promotion;
- ☞ Public artwork;
- ☞ Public squares; and
- ☞ Consistency in material quality.

The needs of different user groups will result in the need for different approaches to wayfinding, as a pedestrian will differ from a cyclist who will differ from a car user.

### **Wayfinding Strategy**

Having considered the numerous options available, Council staff recommend the preparation of a Wayfinding and Visitation Strategy for the whole Woollahra LGA. This strategy should facilitate a Council wide and holistic approach that would be prepared in collaboration with key internal and external stakeholders. Some best practice principles that should be integrated into this strategy are:

- ☞ Coherent and consistent systems;
- ☞ Designed for all people;
- ☞ Informative; and
- ☞ Sustainable.

It is recognised that the preparation of a Wayfinding and Visitation Strategy has budget implications. Accordingly, a budget allocation of \$55,000 for the development of a Wayfinding and Visitation Strategy has been included in the draft 2021-2022 budget for consideration by Council as part of the budget process.

With regard to the strategy, staff believe that at a minimum any Wayfinding and Visitation Strategy should include similar recommendations to those listed below, subject of course to engagement with key stakeholders.

### 1. Printed handheld maps

A key finding of the consultation on the GANDA apps was that printed handheld maps are a great wayfinding and navigation tool, and provide a better visitor experience.

The PBP have redesigned the existing Visit Paddington hard copy map. The redesign is intended to improve the maps wayfinding and marketing capabilities as well as introduce more businesses onto the current map. The information included in the new booklet is also featured on the Visit Paddington website.

Subject to funding and resources, a similar hard copy map could be prepared for other areas in the LGA, however would be subject to recommendations included in any future Wayfinding and Visitation Strategy.

### 2. Online Hub

Mirroring the printed handheld map and with the same look and feel, staff would create a website or page to include way finding information for the whole Woollahra LGA. This page would allow the hand held maps to “pop out” thus providing users with the option to use either the online map, or print out a hard copy map.

Facilitating a central website page could provide further opportunities to enhance wayfinding in the LGA. For example, posters in shop windows with a QR code could link a user back to the central website. A series of decal stickers with QR codes could encourage visitors to follow a walking trail such as the “Cooper Park Wellness Trail” or the “Paddington Ale Trails”.

### 3. Physical markers – wayfinding signage systems

No matter what other wayfinding tools are used, visitors will still rely on physical markers in the built environment such as directional pillars and signage. **Figure 2** below provides an example of a pedestrian focused wayfinding suite that was included in the *Double Bay Public Domain Strategy*.

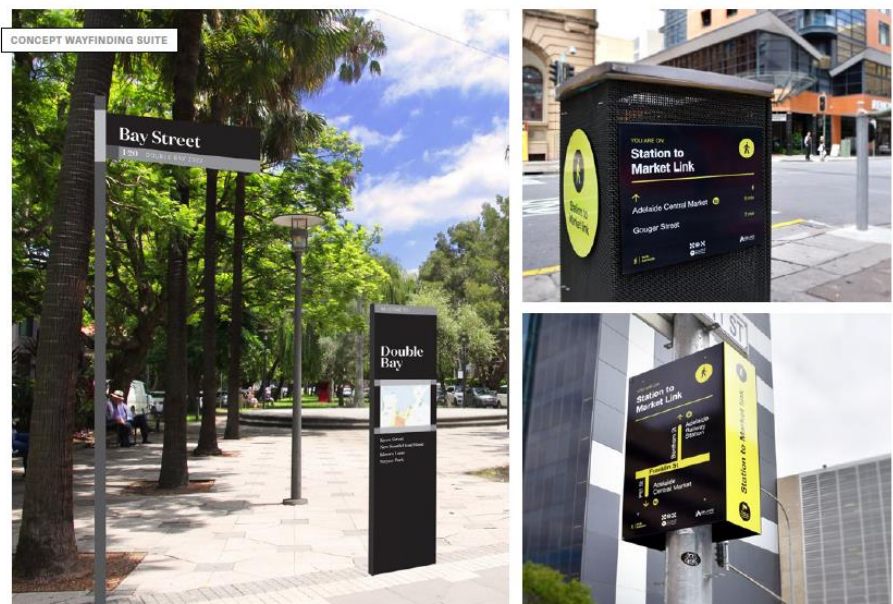
Any wayfinding and directional signage would be designed in a manner sympathetic to the desired future character of our precincts, using form and shapes that would fit into the surrounds. The purpose of wayfinding signage is to act as an intuitive aid that adds to our local character, rather than dominating or cluttering the visual landscape

In 2018, Eurobodalla Shire Council commissioned a tourism signage consultancy *Wayfound* to develop a whole of destination integrated tourism wayfinding and signage strategy. This strategy provided the following information on wayfinding signage, as shown in **Figure 1** below:



**Figure 1: Extract from the Eurobodalla Tourism wayfinding and signage strategy (pg 11)**





**Figure 2: Extract from the Double Bay Public Domain Strategy**

## Conclusion

Having carried out a comprehensive review of the GANDA apps as a wayfinding tool, and having sought feedback from key stakeholders, Council staff recommend that the GANDA apps are terminated.

Council staff also recommend that subject to funding, Council commission a Wayfinding and Visitation Strategy that could be applied to the whole LGA. This Strategy would contain a holistic approach to wayfinding, and would identify appropriate wayfinding tools such as printed hand help maps, web-based information and enhanced wayfinding signage systems.

## Annexures

Nil

**Item No:** R2 Recommendation to Council

**Subject:** **DRAFT DCP CONTROLS FOR INTER-WAR FLAT BUILDINGS IN THE WOOLLAHRA LOCAL GOVERNMENT AREA AND TIMBER BUILDINGS IN PADDINGTON AND WATSONS BAY**

**Author:** Flavia Scardamaglia, Strategic Heritage Officer

**Approvers:** Anne White, Manager - Strategic Planning  
Nick Economou, Acting Director Planning & Development

**File No:** 21/25385

**Reason for Report:** To respond to a Notice of Motion adopted by Council on 11 November 2019 requesting a review of the planning controls for Inter-War Flat Buildings in the Woollahra Development Control Plan 2015.  
To obtain Council's approval to exhibit a draft development control plan to amend the Woollahra Development Control Plan 2015.

**Recommendation:**

- A. THAT the report on the review of the controls for Inter-War flat buildings in the Woollahra Local Government area and timber buildings in Paddington and Watsons Bay in the Woollahra Development Control Plan 2015 be received and noted.
- B. THAT Council resolves to exhibit the *Draft Woollahra Development Control Plan 2015 (Amendment No.14)* as contained in **Annexure 1** of the report to the Environmental Planning Committee on 1 March 2021.

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**1. Background**

This report responds to the following Notice of Motion adopted by Council on 11 November 2019, where Council resolved:

THAT Council:

- A. *Request staff to report to the Environmental Planning Committee on how the detailed controls for Inter-War flat buildings found in B3.8.7 of the Woollahra DCP 2015 can be applied to the Paddington, Woollahra and Watsons Bay Heritage Conservation Areas.*
- B. *Notes community concern about the recent demolition of interwar residential flat buildings at 12 and 16 William Street, Double Bay, and 75 and 77 O'Sullivan Road, Bellevue Hill, and requests staff to provide commentary on the most effective means of protecting from demolition interwar buildings located in all zones across the municipality, including if appropriate the invocation of LEP provisions.*

The following background information accompanied the Notice of Motion on the meeting agenda:

*Part B3.8.7 of the Woollahra DCP 2015 contains detailed objectives and controls to ensure, among other things, that the significant characteristics of Inter-War flat buildings, in regard to their presentation to the street, are retained and conserved. These are the most detailed and comprehensive controls in the DCP for Inter-War flat buildings. However, being part of Chapter B3, General Development Controls these controls apply only to our ten (10) residential precincts and our eleven (11) neighbourhood Heritage Conservation Areas. They do not apply to the Paddington, Woollahra and Watsons Bay Heritage Conservation Areas.*

*Chapter C1 of the Woollahra DCP 2015 contains detailed objectives and controls for the Paddington Heritage Conservation Area. Part C1.3.6 contains specific objectives and controls for residential flat buildings. However, this part does not contain specific objectives and controls for Inter-War flat buildings.*

*Chapter C2 of the Woollahra DCP 2015 contains detailed objectives and controls for the Woollahra Heritage Conservation Area. Part C2.4.5 contains specific objectives and controls for Inter-War flat buildings. However, these controls are not as detailed and comprehensive as the controls contained in Part B3.8.7 of the DCP.*

*Chapter C3 of the Woollahra DCP 2015 contains detailed objectives and controls for the Watsons Bay Heritage Conservation Area. Part C3.4.4 contains specific objectives and controls for commercial and residential flat buildings. However, these controls are not specifically crafted for Inter-War flat buildings.*

*There are no detailed objectives and controls for Inter-War flat buildings for the Paddington and Watsons Bay Heritage Conservation Areas and the controls which apply in the Woollahra Heritage Conservation Area are not as detailed and rigorous as those found in Part B3.8.7 of the DCP. There is therefore a need to review the way our controls for Inter-War flat buildings are applied across the Municipality. In particular, there is a need to apply our most detailed objectives and controls for Inter-War flat buildings to the Paddington, Woollahra and Watsons Bay Heritage Conservation Areas."*

Staff have reviewed the existing planning provisions in the *Woollahra Development Control Plan 2015* (Woollahra DCP 2015) and identified opportunities to strengthen provisions to help ensure Inter-War flat buildings are protected and retained where they contribute to the character of the area.

## **2. Current planning controls**

The main planning provisions that apply to Inter-War flat buildings are located in the following chapters of the Woollahra DCP 2015:

- Chapter A3: Definitions
- Chapter B1: Residential precincts
- Chapter B2: Neighbourhood Heritage Conservation Areas
- Chapter B3: General Development Controls
- Chapter C1: Paddington Heritage Conservation Area
- Chapter C2: Woollahra Heritage Conservation Area
- Chapter C3: Watsons Bay Heritage Conservation Area.

Each of these chapters are discussed separately below.

### **2.1 Chapter A3 Definitions**

Inter-War flat buildings are defined in Chapter A3: Definitions of the Woollahra DCP 2015 as

*a building of two or more storeys and containing two or more dwellings, constructed in the period from c.1918 to c.1950.*

This definition includes years outside the recognised ‘Inter-War period’ of 1918 to 1939. This is to recognise that a building type may not have been finalised between certain years.

Inter-War flat buildings have been constructed in many parts of the Woollahra LGA. Many of these buildings make an important historic, aesthetic, social and technical contribution to the character of an area and to the historical development of the LGA.

As identified in the Woollahra DCP 2015, there are numerous cohesive groups and one-off examples that demonstrate the key characteristics of architectural styles of the Inter-War period, including Art Deco, Mediterranean, Georgian Revival, Spanish Mission, Skyscraper Gothic and Functionalist. Many of the Inter-War flats were designed by prominent architects such as Leslie Wilkinson, Emil Sodersten, Aaron Bolot, Eric Clarke Pitt, John R. Brogan and Samuel Lipson among others.



*Figure 1: Extract from Chapter C2 Pg 47: of the Woollahra DCP 2015 illustrating a “Typical Inter-War Flat building”*

## **2.2 Chapter B1 Residential Precincts**

This chapter applies to ten residential precincts in Woollahra, outside of the heritage conservation areas (HCAs). References to Inter-War flat buildings are included in the character statements and desired future character of eight of the precincts being the Double Bay Precinct, Wallaroy Precinct, Point Piper Precinct, Bellevue Hill South Precinct, Bellevue Hill North Precinct, Rose Bay Precinct, Vaucluse West Precinct and Vaucluse East Precinct.

The protection of Inter-war flat buildings is also noted in the objectives of each precinct. However, some precincts do not contain objectives relating to the retention of Inter-War flat buildings. Minor amendments to address this omission are recommended.

## **2.3 Chapter B2 Neighbourhood Heritage Conservation Areas**

Neighbourhood HCAs are separately identified to differentiate them from the larger HCAs of Paddington, Woollahra and Watsons Bay. The controls in this Chapter apply to the following neighbourhood HCAs:

- Etham Avenue, Darling Point
- Darling Point Road, Darling Point
- Mona Road, Darling Point
- Loftus Road and Mona Road, Darling Point
- Aston Gardens, Bellevue Hill
- Victoria Road, Bellevue Hill
- Balfour Road, Rose Bay
- Beresford Estate, Rose Bay
- Rose Bay Gardens Estate, Rose Bay
- Kent Road, Rose Bay
- Bell Street, Vaucluse.

Each neighbourhood HCA has its own section and set of planning provisions which include appropriate provisions for Inter-War flat buildings.

## **2.4 Chapter B3 General Development Controls**

The controls for residential development in Chapter B3 apply to the residentially zoned land in the municipality, with the exception of the Paddington, Woollahra and Watsons Bay HCAs. The provisions in this chapter should be read in conjunction with the provisions in Chapter B1 Residential Precincts and Chapter B2 Neighbourhood HCAs.

*B3.8.7 Inter-War flat buildings* contains a comprehensive set of provisions to ensure that alterations and additions to this building type retains its typical Inter-War character. These provisions are generally appropriate, however, some minor amendments are recommended to enhance this set of controls.

## **2.5 Chapter C1 Paddington Heritage Conservation Area**

Whilst the emphasis on the significance of the Paddington HCA is Victorian Development, *C1.2.2 Building types in Paddington* recognises that later development in the HCA has included Inter-War apartment buildings.

Inter-War flat buildings do not have a specific set of provisions in this Chapter. However, *Clause 1.3.6: Residential flat buildings, manor houses, multi dwelling housing and multi dwelling housing (terraces)* contains provisions applicable to residential flat buildings, including Inter-War flat buildings but also Post-War social housing, 1960s-1970s towers and 1990s residential infill.

*C1.2.1 The significance of the Paddington HCA*, *C 1.2.3 Character elements*, and *C 1.2.4 Desired Future Character* do not currently include Inter-War flat buildings as a building type.

Changes to clauses in this chapter are required to strengthen the protection of Inter-War flat buildings in the Paddington HCA.

## **2.6 Chapter C2 Woollahra Heritage Conservation Area**

The Woollahra HCA is organised into seven precincts. Each precinct has its own set of provisions and a list of significant characteristics, including (where relevant) significant Inter-War flat buildings.

*Clause 2.4.5 Inter-War flat buildings* contains a detailed set of provisions aimed at protecting Inter-War flat buildings.

*Clause 2.7 Schedule of contributory items* identifies the contributory items in the Woollahra HCA and this list includes a number of Inter-War flat buildings.

Changes to Clause 2.4.5 are required to strengthen the protection of Inter-War flat buildings in the Woollahra HCA.

## **2.7 Chapter C3 Watsons Bay Heritage Conservation Area**

The Watsons Bay HCA is organised into 19 precincts. Only four precincts contain Inter-War flat buildings, being:

- Clause 3.4.1 Precinct A: Entrance
- Clause 3.4.4 Precinct D: Commercial and residential flat buildings;
- Clause 3.4.10 Precinct K: Camp Cove Village; and
- Clause 3.4.11 Precinct L: Salisbury Street / Hopetoun Avenue

Precinct D is currently the only area which contains generic controls for residential flat buildings. However, these are not specifically tailored to Inter-War flat buildings. Minor amendments are required to this chapter to recognise and protect Inter-War flat buildings.

## **3. Timber building s in Watsons Bay and Paddington**

Watsons Bay retains the largest concentration of timber buildings in the Woollahra LGA. Timber buildings provide evidence of the early village of Camp Cove and contribute to the area's heritage values and character.

Timber buildings are also present in Paddington, the majority of which are single storey workers' cottages dating from the 1840s to 1870s. They play an important role in the development of the Paddington village and contribute to the character and significance of the HCA.

In preparing this report, staff have identified that the existing controls relating to timber buildings in both Paddington and Watsons Bay could be enhanced.

## **4. Proposed amendments to the Woollahra DCP 2015**

Based on our review, staff recommend that the Woollahra DCP 2015 is amended to:

- Insert specific provisions for Inter-War flat buildings in Paddington, Woollahra and Watsons Bay;
- Insert provisions for timber buildings in Paddington & Watsons; and
- Undertake minor wording changes to Clause B3.8.7 to strengthen existing provisions.



This approach will provide additional protection to Inter-War flat buildings and timber buildings. The table below summarises the proposed amendments. The draft DCP Amendment with the changes included is attached at **Annexure 1**. **Annexure 2** contains the relevant extracts from each of the chapters, and illustrates how the changes identified can be read in context with the other provisions.

Chapter and clause	Summary of proposed amendments
<b>Chapter B1 – Residential Precincts</b>	
<i>Clause B1.3 Double Bay Precinct</i>	Enhance existing objective O7 to address the protection of Inter-War flat buildings.
<i>Clause B1.4 Wallaroy Precinct</i>	Enhance the precinct character statement to identify Inter-War flat buildings as key elements of the precinct. Add a new objective O9 to address the retention of Inter-War flat buildings.
<i>Clause B1.6 Point Piper Precinct</i>	Define Inter-War apartment buildings Inter-War flat buildings for consistency with other sections of the DCP. Enhance existing objective O8 to address the retention of Inter-War flat buildings.
<i>Clause B1.7 Bellevue Hill South Precinct</i>	Define Inter-War apartment buildings Inter-War flat buildings for consistency with other sections of the DCP. Enhance the precinct character statement to identify Inter-War flat buildings as key elements of the precinct. Enhance existing objective O4 to address the retention of Inter-War flat buildings.
<i>Clause B1.8 Bellevue Hill North Precinct</i>	Enhance the precinct character statement to identify Inter-War flat buildings as key elements of the precinct and add a new objective O12 to address the protection of Inter-War flat buildings.
<i>Clause B1.9 Rose Bay Precinct</i>	Define Inter-War apartment buildings Inter-War flat buildings for consistency with other sections of the DCP.  Enhance the streetscape character provisions and add new objective to address the protection of Inter-War flat buildings.
<i>Clause 1.11 Vacluse East Precinct</i>	Enhance the precinct character statement to identify Inter-War flat buildings as key elements of the precinct and add a new objective O9 to address the protection of Inter-War flat buildings.
<b>Chapter B3 – General Residential Controls</b>	
<i>Clause B3.8.7 Inter-War flat buildings</i>	Amend objective O1 to make reference to the character of the area and the need to retain and protect this building type consistent with O2.  Minor enhancement of various objectives and controls, including replacing the word “discrete” with “discreet at O1, O5, O14, C41 and enhancing C16, C20, C24, C40, C48 and C49.”

Chapter and clause	Summary of proposed amendments
<b>Chapter C1 – Paddington Heritage Conservation Area</b>	
<i>Clause 1.2.1 The significance of the Paddington HCA</i>	Insert new paragraph to specifically identify Inter-War flat buildings as significant to the HCA.
<i>Clause 1.2.2 Building types in Paddington</i>	Amend terminology from Inter-War apartment buildings to Inter-War flat buildings.
<i>Clause 1.2.3 Character elements</i>	Identify Inter-War flat building as a character element that is to be retained.
<i>Clause 1.2.4 Desired future character</i>	Identify Inter-War flat buildings as a building type that needs to be retained.
<i>Clause 1.3.2 Timber buildings.</i>	Amend existing objectives and controls for timber buildings.
<i>Clause 1.3.6 Residential flat buildings, manor houses, multi dwelling housing and multi dwelling housing (terraces)</i>	Amend existing objectives and controls for residential flat buildings. Insert new objectives and controls for Inter-War flat buildings.
<b>Chapter C2 – Woollahra Heritage Conservation Area</b>	
<i>Clause 2.4.5 Inter-War flat buildings</i>	Enhance existing provisions by adding new objectives and controls for Inter-War flat buildings, consistent with B3.8.7.
<b>Chapter C3 – Watsons Bay Heritage Conservation Area</b>	
<i>Clause 3.4.1 Precinct A: Entrance</i>	Define Inter-War apartment buildings as Inter-War flat buildings for consistency with other sections of the DCP.  Insert a new reference to Inter-War flat buildings provisions in Clause 3.6.
<i>Clause 3.4.4 Precinct D: Commercial and residential flat buildings</i>	Define Inter-War apartment buildings as Inter-War flat buildings for consistency with other sections of the DCP.  Insert a new reference to Inter-War flat buildings provisions in Clause 3.6.
<i>Clause 3.4.10 Precinct K: Camp Cove Village</i>	Define Inter-War apartment buildings as Inter-War flat buildings for consistency with other sections of the DCP.  Insert a new reference to Inter-War flat buildings provisions in Clause 3.6.
<i>Clause 3.4.11 Precinct L: Salisbury Street / Hopetoun Avenue</i>	Define Inter-War apartment buildings as Inter-War flat buildings for consistency with other sections of the DCP.  Insert a new reference to Inter-War flat buildings provisions in Clause 3.6.
<i>Clause 3.6 Contributory items: additional built form controls</i>	Define Inter-War apartment buildings as Inter-War flat buildings for consistency with other sections of the DCP. Insert a new set of objectives and controls to protect Inter-War flat buildings.  Insert objectives and controls to protect timber buildings. These new controls have been based on the amended controls in Chapter C1 Paddington HCA.

## 5. Mechanisms to protect Inter-War flat buildings

In response to Part B of the resolution from 11 November 2019, staff can advise the following.

The most effective mechanism to protect significant Inter-War flat buildings is to identify them (when they meet the criteria) as either a heritage item or part of an HCA. Once listed, these buildings are afforded protection by virtue of *Cl 5.10 Heritage Conservation* of the Woollahra LEP 2014.

Notwithstanding the fact that an amendment to the Woollahra LEP 2014 would be the most effective mechanism, the recommended changes to the DCP identified in this report, will strengthen the existing provisions in the Woollahra DCP 2015 with regards to the protection of Inter-War flat buildings across the local government area.

The purpose and status of a development control plan is identified in *3.43 Purpose and status of development controls plans* under the *Environmental Planning and Assessment Act 1979*. This identifies that a development control plan is to provide guidance and to give effect to the aims of an environmental planning instrument. Accordingly, whilst the provisions in the Woollahra DCP 2015 encourage the protection and retention of Inter-War flat buildings, these are not a prohibition and can only be considered as a guide.

We note that in all cases where a development application has been lodged and Cl 5.10 does not apply, Council's heritage officer will undertake a preliminary heritage assessment under Cl 1.2 (f) *Aims of Plan* of the Woollahra LEP 2015 to establish if the building has the potential to meet the NSW heritage criteria. If the building meets any one of the criteria, is considered under threat and it fits the requirements of the Ministerial Order, a heritage officer will advise on the issue of an Interim Heritage Order (IHO) under the *NSW Heritage Act, 1977*. As a consequence, demolition or intrusive alterations and additions will not be supported. However, this is not a preferred approach to heritage conservation as it is a reactive rather than proactive approach.

There are 53 Inter-War flat buildings listed in *Schedule 5: Environmental Heritage* of the Woollahra LEP 2014. There are also Inter-War flat buildings identified as contributory items within HCAs, scattered across different suburbs of the Municipality. Groups of Inter-War flat buildings recognised as individual HCAs include Aston Gardens, Victoria Road, Balfour Road, Loftus Road and Mona Road and Rose Bay Gardens Estate. These HCAs derived from the 1984 Woollahra Heritage Study, the 1997-98 Tanner Study or later heritage studies.

On 28 March 2011, Council resolved to undertake a heritage study initially called "The Woollahra Inter-War Residential Flat Buildings, Bungalows and Arts and Crafts heritage study," which began with a resolution from Council on 28 March 2011. In August 2014, the project was divided into three different studies which identified different fields of research being the:

- Bungalows (comprising but not limited to Californian Bungalows);
- Arts and Crafts Buildings (comprising both Inter-War and Federation buildings)
- Inter-War Residential Flat Buildings.

The initial research and fieldwork on this project identified buildings employing different styles designed by prominent architects including, among others, Eric Pitt, Samuel Lipson, Joseland and Gilling, John Brogan and E.L. Sodersten. The majority of these buildings date from the Inter-War flat period, but there are also examples of Modernist buildings in the study.

Due to a lack of resources and change in priorities, this project stalled in 2015 and has not restarted. The project will restart when resources become available in order to identify whether any of these buildings should be listed as either individual heritage items, or form part of a HCA. An updated heritage program and clearly identified priorities will be presented to the Environmental Planning Committee as part of the Heritage Gap Analysis.

## 6. Next steps

If Council decides to support amending the Woollahra DCP 2015, the next step is exhibit the draft development control plan. The process for amending a DCP is set out in the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2000*, and the *Woollahra Community Participation Plan 2019*.

The draft DCP must be publicly exhibited for a minimum of 28 days. Public notice will be given in the Wentworth Courier and on Council's website each week of the exhibition. The outcome of public exhibition will be reported to a future meeting of the Environmental Planning Committee.



## 7. Conclusion

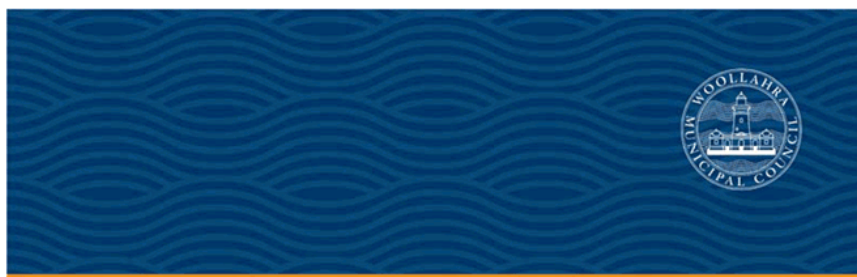
In response to a Notice of Motion adopted on 11 November 2019, staff have reviewed the planning controls for Inter-War flat buildings in the Woollahra DCP 2015. In addition, staff have reviewed the controls for timber buildings in the Paddington and Watsons Bay HCA.

Based on this review, staff have identified opportunities to strengthen the existing objectives and controls in the Woollahra DCP 2015 and introduce new ones. The proposed amendments seek to protect and retain existing Inter-War flat buildings in the Paddington, Woollahra and Watsons Bay HCAs and strengthen the general provisions in Chapter B3. These changes also seek to enhance the controls for timber buildings in Watsons Bay and Paddington.

Staff recommend that Council resolve to exhibit the *Draft Woollahra Development Control Plan 2015* (Amendment No 14) as contained in **Annexure 1**.

## Annexures

1. Woollahra Draft DCP Amendment No.14 (Inter-War flat buildings and timber buildings) [↓](#) 
2. Proposed changes to the Woollahra Development Control Plan 2014 [↓](#) 



## Woollahra Development Control Plan 2015 (Amendment 14)

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Prepared Date:	March 2021
Adopted:	TBC
Commenced:	TBC
Division/Department:	Strategic Planning
HPE CM Record Number:	21/27245

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## Woollahra Development Control Plan 2015 (Amendment No 14)

### Part 1 Preliminary

#### 1.1 Background

Inter-War flat buildings are defined in Chapter A3 of the Woollahra DCP 2015 as "a building of two or more storeys and containing two or more dwellings, constructed in the period from c.1918 to c.1950."

Inter-War flat buildings were constructed in many parts of the Woollahra LGA. Many of these buildings make an important historic, aesthetic, social and technical contribution to the character of areas and to the historical development of the area.

According to the Woollahra DCP 2015, there are numerous cohesive groups and one-off examples that demonstrate the key characteristics of architectural styles of the Inter-War period including Art Deco, Mediterranean, Georgian Revival, Spanish Mission, Skyscraper Gothic and Functionalist. Many of the Inter-War flat buildings across the LGA were designed by prominent architects such as Leslie Wilkinson, Emil Sodersten, Aaron Bolot, Eric Clarke Pitt, John R. Brogan and Samuel Lipson among others.

On 11 November 2019, Council adopted the following notice of motion (NOM), in part:

- A. Request staff to report to the Environmental Planning Committee on how the detailed controls for Inter-War residential flat buildings found in B3.8.7 of the Woollahra DCP 2015 can be applied to the Paddington, Woollahra and Watsons Bay Heritage Conservation Areas.

The following background information accompanied the NOM on the meeting agenda, in part:

*There are no detailed objectives and controls for Inter-War residential flat buildings for the Paddington and Watsons Bay Heritage Conservation Areas and the controls which apply in the Woollahra Heritage Conservation Area are not as detailed and rigorous as those found in Part B3.8.7 of the DCP. There is therefore a need to review the way our controls for Inter-War residential flat buildings are applied across the Municipality. In particular, there is a need to apply our most detailed objectives and controls for Inter-War residential flat buildings to the Paddington, Woollahra and Watsons Bay Heritage Conservation Areas.*

This draft DCP seeks to amend the *Woollahra Development Control Plan 2015* (Woollahra DCP 2015) to update and strengthen existing provisions for Inter-War flat buildings and to ensure they apply also to Paddington, Woollahra and Watsons Bay Heritage Conservation Areas (HCAs). Existing provisions aiming to protect timber buildings will also be provided for Paddington and Watsons Bay heritage conservation areas.

## 1.2 Name of plan

This plan is the *Woollahra Development Control Plan 2015 (Amendment No 14)*.

## 1.3 Objectives of the plan

The objectives of the plan are to:

- a) Strengthen the existing objectives and controls for Inter-War flat buildings to help protect those buildings that form part of the character of the area.
- b) Amend and add existing provisions in the Paddington HCA to ensure Inter-War flat buildings are identified as significant and are protected.
- c) Amend and add existing provisions in the Woollahra HCA to ensure Inter-War flat buildings are protected.
- d) Add new provisions in the Watsons Bay HCA to ensure Inter-War flat buildings are protected.
- e) Strengthen existing provisions for timber buildings in Paddington HCA.
- f) Add new provisions in the Watsons Bay HCA to ensure timber buildings are protected.

## 1.4 Land to which this plan applies

This plan applies to land within the Woollahra local government area and identified on the map in **Figure 1** where the following chapters of the Woollahra DCP 2015 apply:

- Chapter B1 – Residential Precincts
- Chapter B3 - General Development Controls
- Chapter C1 - Paddington Heritage Conservation Area
- Chapter C2 - Woollahra Heritage Conservation Area
- Chapter C3 - Watsons Bay Heritage Conservation Area



**Figure 1: Land to which this draft plan applies**

#### **1.5 Relationship of this plan to the Act, Regulation and other plans or environmental planning instruments**

This plan has been prepared under Division 3.6 of the *Environmental Planning and Assessment Act 1979* and Part 3 of the *Environmental Planning and Assessment Regulation 2000*.

*Woollahra Local Environmental Plan 2014* (Woollahra LEP 2014) applies to the land to which this plan applies. In the event of an inconsistency between this plan and the Woollahra LEP 2014, the Woollahra LEP 2014 prevails.

#### **1.6 Approval and commencement of this plan**

This plan was approved by Woollahra Council on TBC and came into effect on TBC.

#### **1.7 How this plan amends Woollahra DCP 2015**

This plan amends Woollahra DCP 2015 in the manner set out in Part 2 of this plan.

## Part 2 Amendments to Woollahra Development Control Plan 2015

This plan amends Woollahra DCP 2015 in the following manner:

Insertions – identified in blue and underlined

Deletions – identified in red and strikethrough

Notes in the right hand margin of each section identify the source of the proposed amendments.

### Chapter A1 Introduction

#### 2.1 Amendments to clause A1.1.9 Savings and transitional provisions relating to development applications

2.1.1 Insert at the end of the clause

This DCP (as commenced on TBC) continues to apply to development applications, applications to modify consents under section 4.55 of the EP&A Act and applications for review of determination under Division 8.2 Reviews of the EP&A Act that were made prior to but not determined before the commencement of Amendment No 14 to this DCP.

#### 2.2 Amendments to clause A1.4 List of amendments

2.2.1 Insert at the end of the clause

Amendment	Date of approval and Commencement	Description of amendment
<u>No 14</u>	<u>Date approved – TBC</u> <u>Date commenced - TBC</u>	<u>Amend Part B Chapter B1 and B3; Part C Chapters C1, C2 and C3 by modifying and amending various sections, controls and objectives to strengthen provisions for Inter-War flat buildings and timber buildings in Paddington and Watsons Bay.</u>

### Chapter B1 Residential Precincts

#### 2.3 Amendments to section B1.3 Double Bay Precinct

2.3.1 Amend Objective O7 to strengthen the protection of Inter-War flat buildings in B1.3.2.

~~b7~~ To ~~retain encourage the retention of~~ Inter-War flat buildings, particularly significant and traditional building elements visible from the street.

**Commented [DCP1]:** Enhance O7 to address the retention of Inter-War flat buildings

#### 2.4 Amendments to section B1.4 Wallaroy Precinct

2.4.1 Include Inter-War flat buildings as key elements of the precinct by adding i) to B1.4.2.

<p>i) <u>Inter-War flat buildings.</u></p>	<b>Commented [DCP2]:</b> Include Inter-War flat buildings as key elements of the precinct.
<p>2.4.2 Add a new objective O9 aiming to retain Inter-War flat buildings at B1.4.2.</p> <p><u>O9 To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.</u></p>	<b>Commented [DCP3]:</b> Add a new objective to address the retention of Inter-War flat buildings.
<b>2.5 Amendments to section B1.6 Point Piper Precinct</b>	
<p>2.5.1 Identify Inter-War apartment buildings as Inter-War flat buildings in B.1.6.1 for consistency with other sections of the DCP.</p> <p>The precinct contains a range of housing types and styles including an excellent group of Inter-War flat buildings at Longworth Avenue (substantially retained in their garden settings), large post World War II <del>apartment-flat</del> buildings at Wolseley Road, and more recent substantial harbourside houses on large lots (including battle-axe lots).</p>	<b>Commented [DCP4]:</b> Amend terminology for consistency with other sections of the DCP.
<p>2.5.2 Enhance Objective O8 of B1.6.2.</p> <p>O8 <del>To retain encourage the retention of the</del> Inter-War flat buildings, particularly significant and traditional building elements visible from the street.</p>	<b>Commented [DCP5]:</b> Enhance objective O4 to address the retention of Inter-War flat buildings.
<b>2.6 Amendments to section B1.7 Bellevue Hill South Precinct</b>	
<p>2.6.1 Identify Inter-War apartment buildings as Inter-War flat buildings in B.1.7.1 for consistency with other sections of the DCP.</p> <p>Land within this precinct is zoned R3 Medium Density Residential, but the form and scale of buildings vary from the Inter-War flat buildings and more recent <del>apartment flat</del> buildings to low density dwelling houses and semi-detached dwellings.</p>	<b>Commented [DCP6]:</b> Amend terminology for consistency with other sections of the DCP.
<p>2.6.2 Include Inter-War flat buildings as key elements of the precinct by adding h) to B1.7.2.</p> <p>h) <u>Inter-War flat buildings.</u></p>	<b>Commented [DCP7]:</b> Insert Inter-War flat buildings as key elements of the precinct.
<p>2.6.3 Enhance Objective O4 of B1.7.2.</p> <p><del>O4 To retain ensure that alterations and additions to the</del> Inter-War flat buildings and <u>ensure that alterations and additions</u> do not detract from the character of these buildings and their presentation to the street.</p>	<b>Commented [DCP8]:</b> Enhance objective O4 to address the retention of Inter-War flat buildings.
<b>2.7 Amendments to section B1.8 Bellevue Hill North Precinct</b>	
<p>2.7.1 Include Inter-War flat buildings as key elements of the precinct by adding h) to B1.8.2.</p> <p>i) <u>Inter-War flat buildings.</u></p>	<b>Commented [DCP9]:</b> Insert Inter-War flat buildings as key elements of the precinct.
<p>2.7.2 Add a new objective O9 aiming to retain Inter-War flat buildings at B1.8.2.</p> <p><u>O12 To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.</u></p>	<b>Commented [DCP10]:</b> New objective to address the retention of Inter-War flat buildings.
<b>2.8 Amendments to section B1.9 Rose Bay Precinct</b>	
<p>2.8.1 Identify Inter-War apartment buildings as Inter-War flat buildings in B.1.9.1 for consistency with other sections of the DCP.</p> <p>Prominent building types within the precinct include Inter-War detached housing and</p>	
<p>Woollahra Development Control Plan 2015 (Amendment No. 14) Adopted TBC</p> <p>HPE: 21/27945 Page 9 of 30</p>	

<p>Art Deco <del>apartment</del> <u>flat</u> buildings. More recent development, particularly in Spencer and Carlisle Streets, has seen the subdivision pattern altered to create larger lots for residential flat buildings.</p>	<p><b>Commented [DCP11]:</b> Amend terminology for consistency with other sections of the DCP</p>
<p>2.8.2 Include Inter-War flat buildings as key elements of the precinct by adding i) to B1.9.2.</p>	
<p>i) <u>Inter-War flat buildings.</u></p>	<p><b>Commented [DCP12]:</b> Insert Inter-War flat buildings as key elements of the precinct.</p>
<p>2.8.3 Add a new objective O9 aiming to retain Inter-War flat buildings at B1.9.2.</p>	
<p><u>O9 To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.</u></p>	<p><b>Commented [DCP13]:</b> New objective to address the retention of Inter-War flat buildings.</p>
<p><b>2.9 Amendments to section B1.11 Vauluse East Precinct</b></p>	
<p>2.9.1 Include Inter-War flat buildings as key elements of the precinct by adding f) to B1.11.2.</p>	
<p>f) <u>Inter-War flat buildings.</u></p>	<p><b>Commented [DCP14]:</b> Insert Inter-War flat buildings as key elements of the precinct.</p>
<p>2.9.2 Add a new objective O9 aiming to retain Inter-War flat buildings at B1.11.2.</p>	
<p><u>O9 To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.</u></p>	<p><b>Commented [DCP15]:</b> New objective to address the retention of Inter-War flat buildings.</p>
<p><b>Chapter B3 General Development Controls</b></p>	
<p><b>2.10 Amendments to section B3.8.7 Inter-War flat buildings</b></p>	
<p>2.10.1 Amend Objective O1 to ensure consistency with O2 and O3.</p>	
<p>O1 To ensure that the significant characteristics of Inter-War flat buildings <u>that contribute to the character of the area</u> <del>in regard to their presentation to the street</del>, are retained and protected.</p>	<p><b>Commented [DCP16]:</b> Amend terminology consistent with Control C2.</p>
<p>2.10.2 Amend Objective O5 to replace the word "discrete" with "discreet".</p>	
<p>O5 To ensure that alterations and additions to the roofs are <u>discreet</u> <del>discrete</del> and do not detract from the original character, proportions or key elements.</p>	<p><b>Commented [DCP17]:</b> Administrative change: replace "discrete" with "discreet".</p>
<p>2.10.3 Amend Control C16 to allow non-protruding shade structures on the main elevations.</p>	
<p>C16 <u>Protruding</u> <del>Shade</del> structures, including awnings and canopies, are not located on the principal building elevations.</p>	<p><b>Commented [DCP18]:</b> Amend to allow non-protruding shade structures on the main elevations.</p>
<p>2.10.4 Amend Control C20 to identify other materials not to be painted, rendered or coated, consistently with Chapter C2.16 to allow non-protruding shade structures on the main elevations.</p>	
<p>C20 Original face brickwork, <u>terracotta or decorative concrete panels</u> <del>is must not be</del> painted, rendered or coated.</p>	<p><b>Commented [DCP19]:</b> Enhance control C20 to identify other materials not to be painted, rendered or coated, consistent with Chapter C2.</p>
<p>2.10.5 Amend Control C24 to allow new verandahs and balconies to the rear and side elevations only.</p>	
<p>C24 New verandahs and balconies <u>are allowed to the rear or side elevations only if they:</u> a) respect the character of the existing building; and b) are sympathetically integrated with the character and form of the building.</p>	<p><b>Commented [DCP20]:</b> Enhance control C24 to allow new verandahs and balconies to the rear and side elevations only.</p>



2.10.6 Amend Objective O14 to replace "discrete" with "discreet".

O14 To ensure that additions and alterations for fire upgrading and safety are ~~discreet~~ discrete, and retain and respect the original and significant building fabric.

**Commented [DCP21]:** Administrative change: replace "discrete" with "discreet".

2.10.7 Amend Control C40 to modify the height of balustrades under the National Construction Code.

C40 Where the height of the original stair balustrades is ~~to be modified for fire safety~~, the modification is discreet and sympathetically integrated with the existing stair balustrade.

**Commented [DCP22]:** Enhance control C40 to include any height modification enforced by codes (i.e. National Construction Code).

2.10.8 Amend Control C41 to replaced "discrete" with "discreet".

C41 Stair treads applied to existing stairs are ~~discrete~~ discreet.

**Commented [DCP23]:** Administrative change: replace "discrete" with "discreet".

2.10.9 Amend Control C48 c) to ensure new work complement the principal building but not necessarily match it.

C48 New ancillary development:

- a) is smaller in scale than the principal building;
- b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;
- c) is constructed in a style, form, materials and finishes that ~~match~~ complement the principal building;
- d) is single storey with a maximum clear internal height of 2.4m; and
- e) is sympathetic in scale and style to traditional forms of ancillary structures.

**Commented [DCP24]:** Enhance Control C48 to ensure new work complements but not necessarily matches the principal building.

2.10.10 Amend Control C49 to give more emphasis to the removal of unsympathetic additions rather than new works.

C49 Previous unsympathetic additions and modifications to the building and its grounds, are to be removed and replaced by reinstating original forms and matching fabric or with new works sympathetic to the age and style of the building. Unsympathetic additions and modifications to the building, and its grounds, are removed and replaced with sympathetic works, or reinstatement of original forms and matching fabric.

**Commented [DCP25]:** Enhance control C49 to encourage the removal of unsympathetic additions.

## Chapter C1 Paddington Heritage Conservation Area

### 2.11 Amendments to section C1.2.1 The significance of the Paddington Heritage Conservation Area

2.11.1 Amend the statement of significance to include a reference to the heritage significance of Inter-War flat buildings.

Paddington is a unique urban area which possesses historical, aesthetic, technical and social significance at a National and State level. An important factor in the significance of Paddington is its exceptional unity, encompassing scale, character, history, architecture and urban form.

The built environment of Paddington is an excellent example of the process of 19th century inner city urbanisation of Sydney which was largely completed by 1890. The predominant Victorian built form is an excellent representative example of the

phenomena of land speculation and a 'boom' building period between 1870 and 1895.

The terraces of Paddington clearly trace the evolution of the imported English Georgian and Regency terrace models into the distinct Australian style evident in the Victorian era terraces.

Paddington retains many significant types of buildings that represent all phases of the suburb's historical development. These building types range from modest, small-scale, single storey timber and masonry cottages, to remnant examples of former gentry mansions, boom style middle-class terrace houses, apartment blocks and contemporary infill development, all of which are set in a varied network of streets, lanes and pedestrian accessways which reflect the phases of subdivision and development.

Paddington has a multitude of important historical and social associations. It is linked with the early transport routes along South Head Road (Oxford Street) and Point Piper Road (Jersey Road), the construction of Victoria Barracks in the 1840s, the gentry estates, prominent figures of the early colony, the speculative building boom between 1870 and 1890, and the development of Australian tennis at the White City site. Its historical and social associations extend to the periods of occupancy by immigrant groups and minority groups including the Chinese market gardeners, the Jewish community around the turn of the century, the European immigrants in the 1950s and an alternative artistic and intellectual population in the 1960s and 1970s. Today Paddington has a high level of social esteem and is regarded as one of Sydney's most desirable inner-city urban areas. The changing sociology of Paddington demonstrates phenomenal variations in status and changes in community attitudes to the 19th century suburb.

Paddington has important associations with the evolution of the conservation movement in Australia, in particular with the actions by the National Trust and the Paddington Society, which ensured its conservation at a time of redevelopment threat in the 1960s. It is significant as the first suburb classified by the National Trust, a community based, non-government organisation committed to promoting and conserving Australia's heritage.

Paddington has a unique aesthetic significance due to the superimposition of the built form on a sloping topography which overlooks Sydney Harbour and its foreshores. The coherent and extensive Victorian built form comprising groups of terrace buildings on narrow allotments which step down hills, turn corners or sit in ranks along tree lined streets produces a singularly recognisable image.

Inter-War flat buildings are also present in Paddington. Many of these buildings make an important historic, aesthetic, social and representative contribution to the character and illustrate the historical evolution of development of the area.

Paddington provides vast opportunity for research, education and interpretation through the physical layout of its road network, its subdivision pattern and the varied form of buildings.

These buildings provide an excellent record of past technologies and domestic lifestyles through features such as original external and internal building fabric, detailing and room layouts. Terrace houses, semi-detached dwellings, flat buildings and freestanding houses all show the evolving attitudes towards families and the home from the early 19th to the late 20th century.

#### 2.11.2 Remove inconsistencies with other sections of the DCP in relation to Inter-War flat

**Commented [DCP26]:** Enhance the Statement of Significance to identify that Inter-War flat buildings form part of the evolution of the historical development of Paddington.

buildings:

Later development which occurred on further subdivisions, vacant blocks, or on redeveloped sites includes Federation era terraces, Inter-War ~~apartment flat~~ buildings, 1960s and 1970s high rise style units, and more recently some excellent examples of contemporary infill.

**Commented [DCP27]:** Administrative change: amend terminology for consistency with other sections of the DCP.

## 2.12 Amendments to section C1.2.3 Character elements

- 2.12.1 Amend the character elements to include Inter-War flat buildings in Paddington as distinctive features of the area and administrative change to syntax.

Paddington has a valuable historic and predominantly 19th century residential character, which is represented by late-Victorian terrace houses, modest workers' cottages, including single-storey timber and masonry houses, and former mansions. It ~~also~~ contains a mix of shops and pubs, ~~residential flat buildings~~ commercial buildings and a few surviving light industrial and warehouse buildings, with many being adapted to residential uses.

**Commented [DCP28]:** Administrative grammatical change.

**Commented [DCP29]:** Amend character elements to reflect the importance of Inter-War flat buildings in Paddington that are distinctive features of the area to be retained.

## 2.13 Amendments to section C1.2.4 Desired future character

- 2.13.1 Amend the desired future character (objective g)) to include Inter-War flat buildings in Paddington among the diversity of building types to be retained.

g) retains the diversity of building types including multi-storey and single-storey terrace house rows, modest scale timber and masonry cottages, semi-detached dwellings, dwelling houses, commercial buildings, pubs, former industrial buildings, places of public worship, ~~Inter-War flat buildings~~ and public buildings;

**Commented [DCP30]:** Amend to reflect the importance of Inter-War flat buildings in Paddington.

## 2.14 Amendments to section C1.3.2 Timber buildings

- 2.14.1 Introduce a new objective to protect timber buildings from fire and access upgrading.

~~b6~~ To ensure that additions and alterations for fire and access upgrading are discreet, and retain and respect the original and significant building fabric.

**Commented [DCP31]:** Add a new objective to address the protection of timber buildings from fire upgrading and access.

- 2.14.2 Enhance C2 by removing the need to reinstate render onto timber buildings.

C2 When works are proposed to the principal building form or original significant elevations visible from the street or lane, Council strongly encourages, and may require, restoration or reconstruction of missing elements appropriate to the architectural style of the building or reversal of uncharacteristic elements where:

- ~~original render has been stripped from an external wall surface;~~
- balconies or verandahs have been enclosed and details such as balustrade panels, rails, columns, friezes and fringes have been removed;
- original door or window types and patterns have been removed;
- roof cladding is in a unsympathetic material;
- details are missing from chimneys; and
- inappropriate reconstruction of period detail and elements has occurred.

**Commented [DCP32]:** Delete this control as rendered surfaces can not be found on timber buildings.

Note: Reconstruction and restoration may be guided by traditional models and physical or documentary evidence of an earlier state of the building or architectural style.

- 2.14.3 Add new controls to protect fabric of the principal building form from proposed parking areas and fire upgrade and access works.

~~C7~~ No parking is permitted under or within the principal building form of a dwelling.

**Commented [DCP33]:** Insert a new control to protect timber buildings from demolition in order to facilitate onsite parking.

~~C8~~ Fire upgrade and access works must be done sympathetically and avoid removal of significant fabric.

**Commented [DCP34]:** Insert a new control to address the protection of fabric from fire upgrade and access works.

#### **2.15 Amendments to section C1.3.6 Residential flat buildings, manor houses, multi dwelling housing and multi dwelling housing (terraces)**

- 2.15.1 Amend the introductory text to include a paragraph on the significance of Inter-War flat buildings in Paddington.

Inter-War flat buildings illustrate the Inter-War development of Paddington. They make an important historic, aesthetic, social and representative contribution to the character of Paddington.

**Commented [DCP35]:** Insert new paragraph to reflect the importance of Inter-War flat buildings in Paddington.

- 2.15.2 Amend and add new objectives and controls for Inter-War flat buildings in Paddington.

##### General

**Commented [DCP36]:** Amend Clause 1.3.6 so that there are general controls for all flat buildings and more detailed controls for Inter-War flat buildings consistent with B3.8.7.

##### **Objectives**

~~O1 To retain contributory examples of residential flat buildings and multi dwelling housing.~~

**Commented [DCP37]:** Delete objective O1 as this is replaced by proposed O1 of Inter-War flat buildings objectives.

~~O2~~ To mitigate the effects of intrusive residential flat building, manor house, multi dwelling housing (terraces) and multi dwelling housing development.

~~O3~~ To encourage redevelopment or modification of intrusive development.

~~O3~~ To ensure that parking does not detract from the character of the streetscape.

**Commented [DCP38]:** Insert new objective (consistent with B3.8.7) to ensure that parking does not detract from the streetscape.

##### **Controls**

C1 Redevelopment or modification of intrusive development must be to a design that is appropriate to the relevant aspects of the historic context.

~~C2~~ Alterations and additions that reverse unsympathetic works is encouraged.

**Commented [DCP39]:** Insert new control C2 to encourage the reversal of unsympathetic works.

~~C3~~ Alterations and additions to intrusive development must be an appropriate response to the historic streetscape and mitigate intrusiveness.

**Commented [DCP40]:** Insert new control C3 to encourage an appropriate response of intrusive development to the HCA.

Inter-War flat buildings

**Commented [DCP41]:** Insert new set of objectives and controls for Inter-War flat buildings consistent with B3.8.7.

##### Objectives

O1 To conserve and maintain Inter-War flat buildings and multi dwelling housing in Paddington by ensuring these buildings and their significant characteristics are retained and protected.

O2 To conserve the principal street elevations and the character of Inter-War flat buildings.

- O3 To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.
- O4 To ensure that alterations and additions to the roofs are discreet and do not detract from the original character, proportions or key elements.
- O5 To conserve the established garden settings, including significant elements and features.
- O6 To ensure that external materials, details and finishes respect and complement the original building.
- O7 To ensure that works to balconies and verandahs do not detract from the character and form of Inter-War flat buildings.
- O8 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.
- O9 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.
- O10 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.
- O11 To ensure that additions and alterations for fire upgrading and safety are discreet, and retain and respect the original and significant building fabric.
- O12 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.
- O13 To promote restoration and reconstruction works to restore significance.

#### Controls

- C1 Significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations are to be retained, except for restoration or reconstruction.
- C2 Changes to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building.
- C3 Alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.
- C4 Additions are limited to undercroft areas, roof spaces and the provision of balconies.
- C5 Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.
- C6 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.
- C7 Existing original fanlights and other openings are retained and sealed from behind, if necessary.

- C8 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.
- C9 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.
- C10 New additional security elements are in character with the building. Security bars are:
- a) fitted internally;
  - b) respect the existing glazing patterns; and
  - c) painted in a dark recessive colour.
- C11 Original verandas and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.
- C12 New verandahs and balconies are allowed to the rear or side elevations only if they:
- a) respect the character of the existing building; and
  - b) are sympathetically integrated with the character and form of the building.
- C13 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.
- C14 Materials are similar in type and finish to those on the original building or sympathetically integrate with the fabric of the building.
- C15 Original face brickwork, terracotta or decorative concrete panels must not be painted, rendered or coated.
- C16 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building. Skylights are flush with the roof surface.
- C17 Original chimneys and their details are retained.
- C18 Privacy screens are discreet and do not impact on the overall character of the building.
- C19 Protruding shade structures, including awnings and canopies, are not located on the principal building elevations.
- C20 The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.
- C21 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, wall details, light fittings, internal doors and the like.



C22 New lifts are designed and located so that the addition:

- a) is located outside the principal building form, if practical; and
- b) does not require significant alterations to existing common areas.

C23 Unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced with sympathetic works, or reinstatement of original forms and matching fabric.

C1724 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.

**Commented [DCP42]:** Existing control C17 integrated into the new set of controls as C24.

C25 Alarm bell boxes and the like, are not attached to the principal building elevations.

C26 New or upgraded services are discreetly and sensitively located to minimise visual impact. They are located within existing ducts, behind cornices or bulkheads or within external lightwells that are not visually prominent. Wiring or other services are housed in concealed conduits.

C27 Original timber staircases are retained and smoke isolated, if necessary.

C28 Where the height of the original stair balustrades is to be modified –the modification is discreet and sympathetically integrated with the existing stair balustrade.

C29 Stair treads applied to existing stairs are discreet.

C30 Emergency and exit lighting is incorporated into existing original light fittings, where practical.

C31 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.

C32 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.

C33 Original fencing, gates and mailboxes are retained and conserved.

C34 New ancillary development:

- a) is smaller in scale than the principal building;
- b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;
- c) is constructed in a style, form, materials and finishes that complement the principal building;
- d) is single storey with a maximum clear internal height of 2.4m; and
- e) is sympathetic in scale and style to traditional forms of ancillary structures.

C35 Characteristic front gardens, and their elements, are retained with minimal alteration.



~~C36 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.~~

~~C37 New fences and gates to the front building alignment must complement the streetscape and the existing building.~~

~~C38 Mailboxes are discreetly located and do not impact on the character of the building.~~

Note: Refer also to Section 1.2.5 Contemporary design in Paddington and Section 1.3.14 Intrusive buildings.

~~C2 Alterations may be made to the external finishes of residential flat buildings and manor houses, if appropriate to the building type.~~

**Commented [DCP43]:** Control deleted as it is replaced by proposed C2 of Inter-War flat buildings controls.

~~C3 Alterations are permitted that reverse any unsympathetic works to residential flat buildings, manor houses, multi-dwelling housing (terraces) and multi-dwelling housing.~~

**Commented [DCP44]:** Control deleted as it is replaced by proposed C1 of the General controls.

~~C4 Alterations and additions must not adversely affect the form or character of contributory buildings.~~

**Commented [DCP45]:** Control deleted as it is replaced by proposed C3 and C5 of the Inter-War flat building controls.

~~C6 Alterations or additions to the original forms, details or materials of the principal elevations of contributory buildings are not permitted.~~

**Commented [DCP46]:** Control deleted as it is replaced by proposed C5 and C6 of the Inter-War flat buildings controls.

~~C7 Alterations and additions to an individual unit must not adversely affect the cohesiveness of the principal building form of the building.~~

**Commented [DCP47]:** Control deleted as it is replaced by proposed C3 and C4.

~~C8 Alterations to windows and external doors of contributory buildings are not permitted except where they would not be visually prominent, such as to rear ground floor flats or below street level.~~

**Commented [DCP48]:** Control deleted as it is replaced by proposed C6 and C9.

~~C9 Enclosure of balconies and verandahs of contributory buildings is not permitted.~~

**Commented [DCP49]:** Control deleted as it is replaced by proposed C11.

~~C10 Alterations to improve accessibility (including lifts, ramps and stairs) must retain the original character and design of the building and setting.~~

**Commented [DCP50]:** Control deleted as it is replaced by proposed C13.

~~C11 Skylights are not permitted where visible from the public domain.~~

**Commented [DCP51]:** Control deleted as it is replaced by proposed C16.

~~C12 Dormer windows are not permitted.~~

**Commented [DCP52]:** Control deleted as it is replaced by proposed C16.

~~C13 Ancillary development must be no higher than one storey and should be constructed of materials in the style and character of the principal building.~~

**Commented [DCP53]:** Control deleted as it is replaced by proposed C34.

~~C14 Ancillary development should be located behind the principal building form.~~

**Commented [DCP54]:** Renumber existing control C14 as proposed C34.

~~C15 Shade structures including awnings and canopies are not permitted to the street front elevation of the building.~~

**Commented [DCP55]:** This control is deleted as it is replaced by proposed C19.

~~C16 Privacy screens must be discreet, must not be visible from the street and must not adversely affect the overall character of the building.~~

**Commented [DCP56]:** This control is deleted as it is replaced by proposed C18.

~~C18 Existing ground level landscaped spaces must not be reduced in area, or screen the principal elevation of the building.~~

**Commented [DCP57]:** This control is deleted as it is replaced by proposed C36.

## Chapter C1 Woollahra Heritage Conservation Area

### 2.16 Amendments to section C2.4.5 Inter-War flat buildings

- 2.16.1 Amend the introductory text to include a paragraph on the significance of Inter-War flat buildings in Woollahra.

Inter-War flat buildings make a contribution to the conservation area as they illustrate the evolution of Sydney's living accommodation from the single house to the acceptance of multi-unit living during the Inter-War period.

**Commented [DCP58]:** Insert new paragraph to reflect the importance of Inter-War flat buildings in Woollahra.

- 2.16.2 Amend and add new objectives and controls for flat buildings and new objectives and controls for Inter-War flat buildings.

#### Objectives

O1 To conserve and maintain Inter-War flat buildings in Woollahra.

**Commented [DCP59]:** Amend objectives so that there are controls for Inter-War flat buildings consistent with B3.8.7.

~~O12~~ To ensure that the original significant characteristics of Inter-War flat buildings contributing to the character of the area are retained and protected.

**Commented [DCP60]:** Renumber existing objective O1 with proposed O2.

O3 To conserve the principal street elevations and the character of the Inter-War flat buildings.

O4 To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.

O5 To ensure that alterations and additions to the roofs are discreet and do not detract from the original character, proportions or key elements.

O6 To conserve the established garden settings, including significant elements and features.

O7 To ensure that parking does not detract from the character of the streetscape.

O8 To ensure that external materials, details and finishes respect and complement the original building.

O9 To ensure that works to balconies and verandahs to rear or side elevations do not detract from the character and form of Inter-War flat buildings.

O10 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.

O11 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.

O12 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.

~~O213 To ensure that fire safety and access upgrading works are discreet and retain and respect the original and significant building fabric. To ensure those services upgrading and fire safety works are carried out in a way that retains and conserves the distinctive characteristics of the building.~~

**Commented [DCP61]:** Renumber existing objective O2 with proposed O13.

~~p3 To allow sympathetic additions to the external façade of Inter-War flat buildings that conserve the distinctive or original characteristics of the building.~~

**Commented [DCP62]:** Control deleted as it is replaced by proposed O3, O4 and O5.

~~p4 To encourage redevelopment or modification of intrusive development.~~

**Commented [DCP63]:** Control deleted as it is replaced by proposed O15.

O14 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.

O15 To promote restoration and reconstruction works to restore significance.

#### **Controls**

**Commented [DCP64]:** Enhance controls for Inter-War flat buildings consistent with B3.8.7.

#### **Streetscape**

C1 Significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations are to be restored or reconstructed.

C2 Changes to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building.

C3 Alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.

C4 Additions are limited to undercroft areas, roof spaces and the provision of balconies.

C5 Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.

C6 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.

C7 Existing original fanlights and other openings are retained and sealed from behind, if necessary.

C8 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.

C9 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.

C10 New additional security elements are in character with the building. Security bars are:

a) fitted internally;

b) respect the existing glazing patterns; and

c) painted in a dark recessive colour.

C11 Original verandahs and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.

C12 New verandahs and balconies are allowed to the rear or side elevations only if they:

- a) respect the character of the existing building; and
- b) are sympathetically integrated with the character and form of the building.
- C13 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.
- C14 Materials are similar in type and finish to those on the original building or sympathetically integrate with the fabric of the building.
- C15 Original face brickwork, terracotta or decorative concrete panels must not be painted, rendered or coated.
- C16 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building. Skylights are flush with the roof surface.
- C17 Original chimneys and their details are retained.
- C18 Privacy screens are discreet and do not impact on the overall character of the building.
- C19 Protruding shade structures, including awnings and canopies, are not located on the principal building elevations.
- C20 The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.
- C21 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, wall details, light fittings, internal doors and the like.
- C22 New lifts are designed and located so that the addition:
  - a) is located outside the principal building form, if practical; and
  - b) does not require significant alterations to existing common areas.
- C23 Unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced with sympathetic works, or reinstatement of original forms and matching fabric.
- C24 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.
- C25 Alarm bell boxes and the like, are not attached to the principal building elevations.
- C26 New or upgraded services are discreetly and sensitively located to minimise visual impact. They are located within existing ducts, behind cornices or bulkheads or within external lightwells that are not visually prominent. Wiring or other services are housed in concealed conduits.

- C27 Original timber staircases are retained and smoke isolated, if necessary.
- C28 Where the height of the original stair balustrades is to be modified – the modification is discreet and sympathetically integrated with the existing stair balustrade.
- C29 Stair treads applied to existing stairs are discreet.
- C30 Emergency and exit lighting is incorporated into existing original light fittings, where practical.
- C31 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.
- C32 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.
- C33 Original fencing, gates and mailboxes are retained and conserved.
- C34 New ancillary development:
- a) is smaller in scale than the principal building;
  - b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;
  - c) is constructed in a style, form, materials and finishes that complement the principal building;
  - d) is single storey with a maximum clear internal height of 2.4m; and
  - e) is sympathetic in scale and style to traditional forms of ancillary structures.
- C35 Characteristic front gardens, and their elements, are retained with minimal alteration.
- C36 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.
- C37 New fences and gates to the front building alignment must complement the streetscape and the existing building.
- C38 Mailboxes are discreetly located and do not impact on the character of the building.
- ~~C1 Contributory and/or characteristic street front gardens are to be maintained.~~
- ~~C2 There shall be no structures, including secondary fencing, erected in the front gardens which detract from the feeling of openness or impact upon the principal elevations of the buildings.~~
- ~~C3 There shall be no alterations or additions to the original forms, details or materials of the principal elevations of the buildings.~~

**Commented [DCP65]:** Control deleted as it is replaced by proposed C35.

**Commented [DCP66]:** Control deleted as it is replaced by proposed C35 and C36.

**Commented [DCP67]:** Control deleted as it is replaced by proposed C2 and C3.

~~C4 All car parking and garage structures are to be located at the rear with access from the rear lane or side driveway.~~

**Commented [DCP68]:** Control deleted as it is replaced by proposed C32.

#### *Landscaped area*

~~C5 The landscaped areas shall not be reduced in area or screen the principal elevation of the building.~~

**Commented [DCP69]:** Control deleted as it is replaced by proposed C35 and C36.

#### *Alterations and additions*

~~C6 Alterations and additions to an individual flat must not adversely affect the cohesiveness of the principal building form of the building.~~

**Commented [DCP70]:** Control deleted as it is replaced by proposed C3 and C4.

~~C7 Additions should not significantly change the overall form of the building. Additions should not be visually disruptive to the form or character of the building.~~

**Commented [DCP71]:** Control deleted as it is replaced by proposed C3.

~~C8 Alterations to windows and external doors are not permitted except where they are not visually prominent, such as to rear ground floor flats or below street level. C9 Enclosure of balconies and verandahs is not permitted.~~

**Commented [DCP72]:** Control deleted as it is replaced by proposed C6 and C7.

~~C10 Proposed alterations to improve accessibility, including lifts, ramps and stairs, must retain the original character and design of the building and setting.~~

**Commented [DCP73]:** Control deleted as it is replaced by proposed C11.

~~C11 Original timber staircases must be retained and smoke isolated if necessary.~~

**Commented [DCP74]:** Control deleted as it is replaced by proposed C13.

#### *Roofs*

~~C12 The original roof form of the building is not to be altered.~~

**Commented [DCP75]:** Control deleted as it is replaced by proposed C27.

~~C13 Roofs must not be re-pitched to allow for the introduction of an attic storey.~~

**Commented [DCP76]:** Control deleted as it contradicts proposed C16.

~~C14 Skylights are not permitted where visible from the public domain.~~

**Commented [DCP77]:** Control deleted as it is replaced by proposed C13.

~~C15 Dormers are not permitted.~~

**Commented [DCP78]:** Control deleted as it is replaced by proposed C16.

#### *Fences and gates*

~~C16 Fences and gates at the street frontage must be between 400mm and 900mm in height and consistent in design with the style, form, materials, finishes and character of the building. Appropriate materials are generally masonry for fences and wrought iron for gates.~~

**Commented [DCP79]:** Control deleted as it contradicts proposed C16.

~~C17 Fencing behind the front outer wall of the building must be timber paling.~~

**Commented [DCP80]:** Control deleted as it is replaced by proposed C37.

#### *Ancillary development*

~~C18 Ancillary development must be no higher than one storey and located between the principal building and the rear boundary. They should be constructed of material in the style and character of the principal building and with traditional forms of ancillary development.~~

**Commented [DCP81]:** Control deleted as it is replaced by proposed C14 and C37.

~~C19 Shade structures, including awnings and canopies, are not permitted to the principal elevation of the building.~~

**Commented [DCP82]:** Control deleted as it is replaced by proposed C34.

**Commented [DCP83]:** Control deleted as it is replaced by proposed C19.

~~C20 Privacy screens must be discreet, must not be visible from the street and must not adversely affect the overall character of the building.~~

**Commented [DCP84]:** Control deleted as it is replaced by proposed C18.

#### **Extended materials**

~~C21 Materials for repair or replacement must match the original material in type, profile and colour.~~

**Commented [DCP85]:** Control deleted as it is replaced by proposed C1, C2 and C14.

~~C22 Original face brick, terracotta or decorative concrete panels on external elevations are not to be rendered, painted or coated.~~

**Commented [DCP86]:** Control deleted as it is replaced by proposed C15.

~~C23 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.~~

**Commented [DCP87]:** Control deleted as it is replaced by proposed C13, C24 and C26.

~~C24 Concrete tiles and metal roofing are not permitted.~~

**Commented [DCP88]:** Control deleted as it is replaced by proposed C14 and C20.

~~C25 Aluminium windows are not permitted as replacements for timber windows, but may replace steel windows if they match the original windows in all other respects.~~

**Commented [DCP89]:** Control deleted as it is replaced by proposed C6 and C14.

## **Chapter C3 Watsons Bay Heritage Conservation Area**

### **2.17 Amendments to section C3.4.1 Precinct A: Entrance**

2.17.1 Amend terminology to define 'Keronga' as an Inter-War flat building in the list of contributory items to Precinct A.

Contributory items	
1 Robertson Place	2 storey <u>Inter-War flat building</u> <del>interwar duplex</del> 'Keronga'

**Commented [DCP90]:** Administrative change: amend terminology consistent with other chapters of the DCP.

2.17.2 Add a reference to Clause 3.6 for Inter-War flat buildings at the end of the clause.

Inter-War flat buildings or multi dwelling housing

**Commented [DCP91]:** Insert a reference to the new Inter-War flat buildings controls.

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

### **2.18 Amendments to section C3.4.4 Precinct D: Commercial and residential flat buildings**

2.18.1 Amend terminology to define 3 Military Road as an Inter-War flat building in the list of contributory items to Precinct D.

Contributory items	
3 Military Road	2 storey 1920s <u>Inter-War flat building</u> <del>flats</del> over retail

**Commented [DCP92]:** Administrative change: amend terminology consistent with other chapters of the DCP.

2.18.2 Add a reference to Clause 3.6 for Inter-War flat buildings at the end of the clause.



Inter-War flat buildings or multi dwelling housing

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

**Commented [DCP93]:** Insert a reference to the new Inter-War flat buildings controls.

## 2.19 Amendments to section C3.4.10 Precinct K: Camp Cove Village

2.19.1 Amend the character statement terminology in Victoria Street to define duplex building as an Inter-War flat building, consistently with other chapters of the DCP.

### Victoria Street

- Surviving single storey weatherboard and masonry cottages, and a two storey c1930s house on a larger allotment, with ~~duplex (flat)~~ Inter-War flat building at corner of Pacific Street.

**Commented [DCP94]:** Administrative change: amend terminology consistent with other chapters of the DCP.

2.19.2 Amend terminology to define 22-24 Victoria Street as an Inter-War flat building in the list of contributory items to Precinct K.

Contributory items	
22-24 Victoria Street	2 storey Inter-War <u>flat building duplex</u>

**Commented [DCP95]:** Administrative change: amend terminology consistent with other chapters of the DCP.

2.19.3 Add a reference to Clause 3.6 for Inter-War flat buildings at the end of the clause.

Inter-War flat buildings or multi dwelling housing

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

**Commented [DCP96]:** Insert a reference to the new Inter-War flat buildings controls.

## 2.20 Amendments to section C3.4.11 Precinct L: Salisbury Street / Hopetoun Avenue

2.20.1 Amend terminology to define 7 and 11 Salisbury Street as Inter-War flat buildings.

Contributory items	
7 Salisbury Street	2 storey Inter-War <u>flat building duplex</u>
11 Salisbury Street	2 storey Inter-War <u>flat building duplex</u>

**Commented [DCP97]:** Administrative change: amend terminology consistent with other chapters of the DCP.

**Commented [DCP98]:** Administrative change: amend terminology consistent with other chapters of the DCP.

2.20.2 Add a reference to Clause 3.6 for Inter-War flat buildings at the end of the clause.

Inter-War flat buildings or multi dwelling housing

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

**Commented [DCP99]:** Insert a reference to the new Inter-War flat buildings controls.

## 2.21 Amendments to section C3.4.14 Precinct O: Gibsons Beach Waterfront and Marine Parade South

2.21.1 Enhance the character statement to remove any reference to Inter-War flat buildings, given that 4 Marine Parade has been demolished.

Housing includes single storey detached and semi-detached dwellings (c1920s–1930s) ~~and larger two to three storey duplexes of the same period,~~ with pitched roofs, many of which have been altered (Figure 112). Front gardens are generally set behind low walls and are open in character, elevated above the promenade toward the south end. The two to three storey dwellings above in the southern section (some with

**Commented [DCP100]:** Remove due to the fact that the Inter-War flat building at 4 Marine Parade (the only Inter-War flat building) has been demolished.

remnant cultural plantings) are barely visible from the beach.

- 2.21.2 Remove reference to 4 Marine Parade being a contributory item since it has been demolished.

Contributory items	
4 Marine Parade	2 storey 1920s flats over garage 'Belvedere'

**Commented [DCP101]:** Delete as 4 Marine Parade has been demolished and it is no longer a contributory item.

## 2.22 Amendments to section C3.6 Contributory items: additional built form controls

- 2.22.1 Administrative changes to the font and size of all headings of C3.6.1 Contributory items to make them consistent with the other chapters of the Woollahra DCP 2015.
- 2.22.2 Add new objectives and controls for Inter-War flat buildings at 3.6.2, including a small introduction.

### 3.6.2 Inter-War residential flat buildings

Residential flat buildings and multi dwelling housing in Watsons Bay generally consist of small two, three and four storey buildings dating from the 1930s to 1950s, taller buildings dating from the 1960s to 1970s, and the infill buildings of the 1990s.

Contributory buildings identified in Clause 3.4 Precincts include some Inter-War flat buildings.

#### General

#### Objectives

- O1 To mitigate the effects of intrusive residential flat building and multi dwelling housing development.
- O2 To encourage redevelopment or modification of intrusive development.
- O3 To ensure that parking does not detract from the character of the streetscape.

#### Controls

- C1 Redevelopment or modification of intrusive development must be to a design that is appropriate to the historic context.
- C2 Alterations and additions that reverse any unsympathetic works is encouraged.
- C3 Alterations and additions to intrusive development must be an appropriate response to the historic streetscape and mitigates intrusiveness.

#### Inter-War Residential Flat Buildings

#### Objectives

- O1 To conserve and maintain Inter-War flat buildings in Watsons Bay.
- O2 To ensure that the significant characteristics of Inter-War residential flat buildings contributing to the character of the area are retained and protected.

- O3 To conserve the principal street elevations and the character of the Inter-War flat buildings.
- O4 To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.
- O5 To ensure that alterations and additions to the roofs are discreet and do not detract from the original character, proportions or key elements.
- O6 To conserve the established garden settings, including significant elements and features.
- O7 To ensure that parking does not detract from the character of the streetscape.
- O8 To ensure that external materials, details and finishes respect and complement the original building.
- O9 To ensure that works to balconies and verandahs to rear or side elevations do not detract from the character and form of Inter-War flat buildings.
- O10 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.
- O11 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.
- O12 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.
- O13 To ensure that additions and alterations for fire upgrading and safety are discreet, and retain and respect the original and significant building fabric.
- O14 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.
- O15 To promote restoration and reconstruction works to restore significance.

#### Controls

- C1 Significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations are to be restored or reconstructed.
- C2 Changes to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building.
- C3 Alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.
- C4 Additions are limited to undercroft areas, roof spaces and the provision of balconies.
- C5 Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.

- C6 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.
- C7 Existing original fanlights and other openings are retained and sealed from behind, if necessary.
- C8 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.
- C9 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.
- C10 New additional security elements are in character with the building. Security bars are:
- a) fitted internally;
  - b) respect the existing glazing patterns; and
  - c) painted in a dark recessive colour.
- C11 Original verandahs and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.
- C12 New verandahs and balconies are allowed to the rear or side elevations only if they:
- a) respect the character of the existing building; and
  - b) are sympathetically integrated with the character and form of the building.
- C13 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.
- C14 Materials are similar in type and finish to those on the original building or sympathetically integrate with the fabric of the building.
- C15 Original face brickwork, terracotta or decorative concrete panels must not be painted, rendered or coated.
- C16 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building. Skylights are flush with the roof surface.
- C17 Original chimneys and their details are retained.
- C18 Privacy screens are discreet and do not impact on the overall character of the building.
- C19 Protruding shade structures, including awnings and canopies, are not located on the principal building elevations.
- C20 The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.

- C21 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, wall details, light fittings, internal doors and the like.
- C22 New lifts are designed and located so that the addition:
- a) is located outside the principal building form, if practical; and
  - b) does not require significant alterations to existing common areas.
- C23 Unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced with sympathetic works, or reinstatement of original forms and matching fabric.
- C24 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.
- C25 Alarm bell boxes and the like, are not attached to the principal building elevations.
- C26 New or upgraded services are discreetly and sensitively located to minimise visual impact. They are located within existing ducts, behind cornices or bulkheads or within external lightwells that are not visually prominent. Wiring or other services are housed in concealed conduits.
- C27 Original timber staircases are retained and smoke isolated, if necessary.
- C28 Where the height of the original stair balustrades is to be modified – the modification is discreet and sympathetically integrated with the existing stair balustrade.
- C29 Stair treads applied to existing stairs are discreet.
- C30 Emergency and exit lighting is incorporated into existing original light fittings, where practical.
- C31 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.
- C32 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.
- C33 Original fencing, gates and mailboxes are retained and conserved.
- C34 New ancillary development:
- a) is smaller in scale than the principal building;
  - b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;
  - c) is constructed in a style, form, materials and finishes that complement the principal building;
  - d) is single storey with a maximum clear internal height of 2.4m; and

e) is sympathetic in scale and style to traditional forms of ancillary structures.

C35 Characteristic front gardens, and their elements, are retained with minimal alteration.

C36 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.

C37 New fences and gates to the front building alignment must complement the streetscape and the existing building.

C38 Mailboxes are discreetly located and do not impact on the character of the building.

2.22.3 Add a new set of objectives and controls for timber buildings at 3.6.3.

C3.6.3 Timber buildings

**Commented [DCP103]:** Insert new provisions to address the protection of timber buildings in Watsons Bay.

Watsons Bay retains the largest concentration of timber weatherboard buildings within the Woollahra local government area. Weatherboard buildings provide evidence of the early village of Camp Cove and contribute to the area's heritage values.

All forms of weatherboard buildings contribute to the diverse character of Watsons Bay streetscapes and the aesthetic value of the conservation area. Timber buildings are also significant because of their increasing rarity and historical association with the early fishing village of Camp Cove that is protected through the listing of the Watsons Bay Heritage Conservation Area.

Weatherboard buildings are vulnerable to change and many have been modified over time, are in a deteriorated condition or suffer from structural instability. Despite these changes, weatherboard buildings in Watsons Bay continue to make an important contribution to the character of the conservation area and are to be conserved.

Objectives

O1 To retain and conserve timber buildings and their setting.

O2 To retain, restore and conserve the special characteristics and details of timber buildings.

O3 To restore and reconstruct missing elements of the principal building form within the street front zone.

O4 To retain and conserve significant side and rear forms of timber buildings.

O5 To retain, restore and promote the significance, contribution and relationship of a timber weatherboard building within the context of the conservation area.

O6 To ensure that additions and alterations for fire upgrading and safety are discreet, and retain and respect the original and significant building fabric.

Controls

C1 Additional storeys are not permitted to the principal building form of timber buildings.

C2 When works are proposed to the principal building form or original significant elevations visible from the street or lane, Council strongly encourages, and may require, restoration or reconstruction of missing elements appropriate to the architectural style of the building or reversal of uncharacteristic elements where:

- a) balconies or verandahs have been enclosed and details such as balustrade panels, rails, columns, friezes and fringes have been removed;
- b) original door or window types and patterns have been removed;
- c) roof cladding is in a unsympathetic material;
- d) details are missing from chimneys; and
- e) inappropriate reconstruction of period detail and elements has occurred.

Note: Reconstruction and restoration may be guided by traditional models and physical or documentary evidence of an earlier state of the building or architectural style.

C3 Existing setbacks from the front and side boundaries of the principal building form are to be retained.

C4 Alterations and additions to the rear of buildings must not dominate or compete with the form, height, proportions or scale of the timber building.

C5 Where structural stabilisation of a timber building is necessary, a sympathetic structural solution that ensures the conservation of as much original external and internal fabric as possible is required.

C6 Where alterations to timber buildings are required to meet the provisions of the Building Code of Australia, materials must be consistent with traditional materials and finishes.

C7 No parking is permitted under or within the principal building form of a dwelling.

C8 Fire upgrade and access works must be done sympathetically and avoid removal of significant fabric.



# Relevant Extracts from the Woollahra DCP 2015

To accompany Woollahra Draft DCP  
amendment No.14 (Inter-War flat  
buildings and timber buildings)

March 2021

*Annotations:*

Insertions - identified in blue and underline

~~Deletions - identified in red and scored through.~~

Notes in the right hand margin of each section identify the source of the proposed amendments.



## Part B ► General Residential

WOOLLAHRA DEVELOPMENT CONTROL PLAN 2015

## Chapter B1 Residential Precincts

### Part B ► General Residential

CHAPTER B1 APPROVED ON 27 APRIL 2015  
AND COMMENCED ON 23 MAY 2015

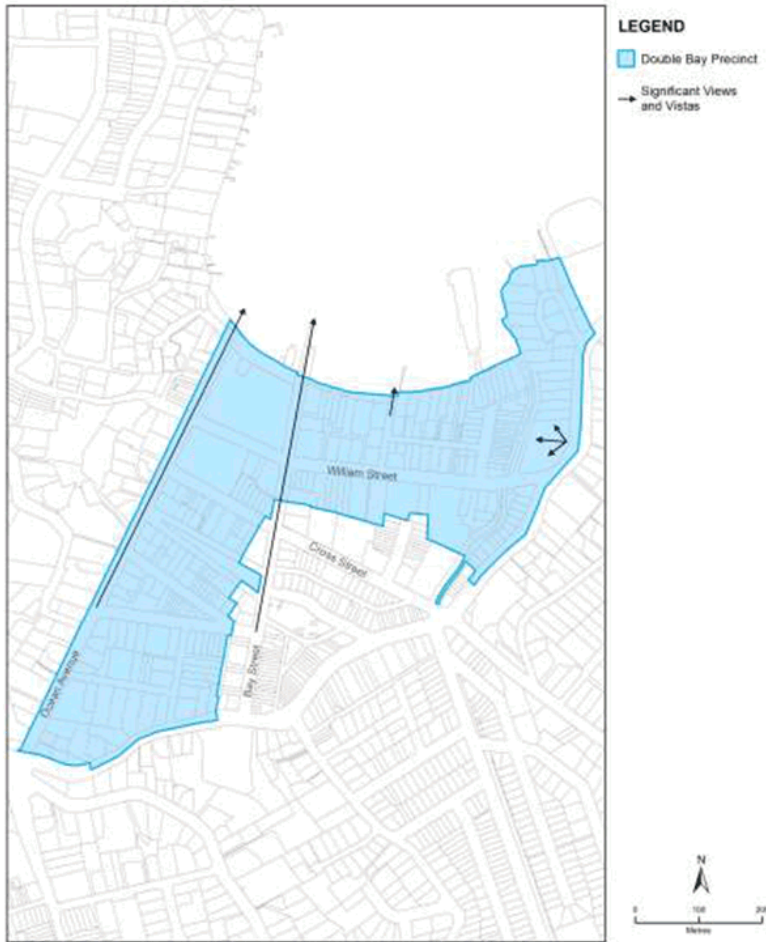
Last amended on 7 December 2020

B1 | Residential Precincts

▸ Part B | General Residential

**B1.3 Double Bay Precinct**

**MAP 3** Double Bay Precinct



▸ B1 pg.8

7 December 2020  
Woollahra Development Control Plan 2015

### B1.3.1 Precinct character statement

The Double Bay residential precinct is located to the north and west of the Double Bay centre and includes the Double Bay Public School and 'Steyne Park' between the school and the waterfront. It also includes Council's local history library within Foster Park and a child care centre.

The Double Bay precinct has a strong feeling of community and convenience due to the facilities located within the precinct and the proximity of the adjacent town centre.

The precinct sits within a low lying basin, framing the Double Bay foreshore. The precinct is notable for both the density of its built form and its green landscape character. The tree canopy, formed by both street trees and private plantings, is a prominent element in the municipality's presentation from Sydney Harbour and should be maintained.

The street pattern allows for long views to the harbour, and distant views to surrounding hillsides. Three major streets dominate the precinct: the curvilinear New South Head Road which forms an edge to the precinct to the south; Ocean Avenue, the north-south oriented boulevard that divides Double Bay from the hillside of Darling Point; and the east-west oriented William Street. Due to the topography and location, each of these major streets presents unique settings within the broader common elements of the precinct.

The precinct contains dwelling houses, terraces (attached dwellings) and residential flat buildings, including a number of Inter-War flat buildings that make a significant contribution to the precinct character. The quality of buildings within the precinct represents an evolution and mix of building styles that often maintain a consistent scale across both sides of the street.

### B1.3.2 Desired future character

The precinct is an established area comprising many residential flat buildings. Development will generally be in the form of improvements to the existing residential flat buildings.

There are a significant number of Inter-War flat buildings that contribute to the precinct character and are worthy of retention, especially around William Street, New South Head Road and Gladswood Gardens. Alterations and additions to the Inter-War flat buildings are to retain the character of the original building through appropriate use of materials, and should not significantly alter significant and traditional building elements visible from the street.

New development on sites in the R2 Low Density Residential zones along Guilfoyle Street, Cooper Street and the southern side of William Street are to be well-designed and address the street so that development make a positive contribution to the public domain.

On sloping land, new development should step down the site to reinforce the topography and minimise cut and fill. Attention must also be given to protecting views, particularly views from public spaces down Ocean Avenue, Bay and Beach Streets to the harbour, and views from New South Head Road to the harbour.

B1 | Residential Precincts

► Part B | General Residential

#### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the rich mixture of architectural styles and building forms;
- b) the topography and the siting of development on New South Head Road, which descends into (and ascends out of) the Double Bay centre;
- c) well established gardens and trees including the avenue plantings in Ocean, Guilfoyle and South Avenues, Bay Street and William Street;
- d) the established tree canopy;
- e) the harbour views and view corridors from public places;
- f) the character of Inter-War flat buildings; and
- g) the heritage significance of the adjoining Transvaal Avenue Heritage Conservation Area.

#### Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To reinforce a consistent building scale within streets.
- O3 To design and site buildings to respond to the topography and minimise cut and fill.
- O4 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings, incorporating modulation and a varied palette of materials.
- O5 To ensure that rooflines sit within the predominant street tree canopy.
- O6 To maintain the significance of heritage items within the precinct, and the character of the adjoining Transvaal Avenue Heritage Conservation Area.
- D7** To ~~retain~~ **encourage the retention of** Inter-War flat buildings, particularly significant and traditional building elements visible from the street.
- O8 To provide a transition between the higher density buildings of the Double Bay centre and the lower density buildings of the residential area.
- O9 To retain and reinforce the green setting of mature street trees, private trees and garden plantings.
- O10 To protect important iconic and harbour views from the public spaces.
- O11 To maintain on-street parking and minimise kerb crossings, particularly on Bay Street and Ocean Avenue.

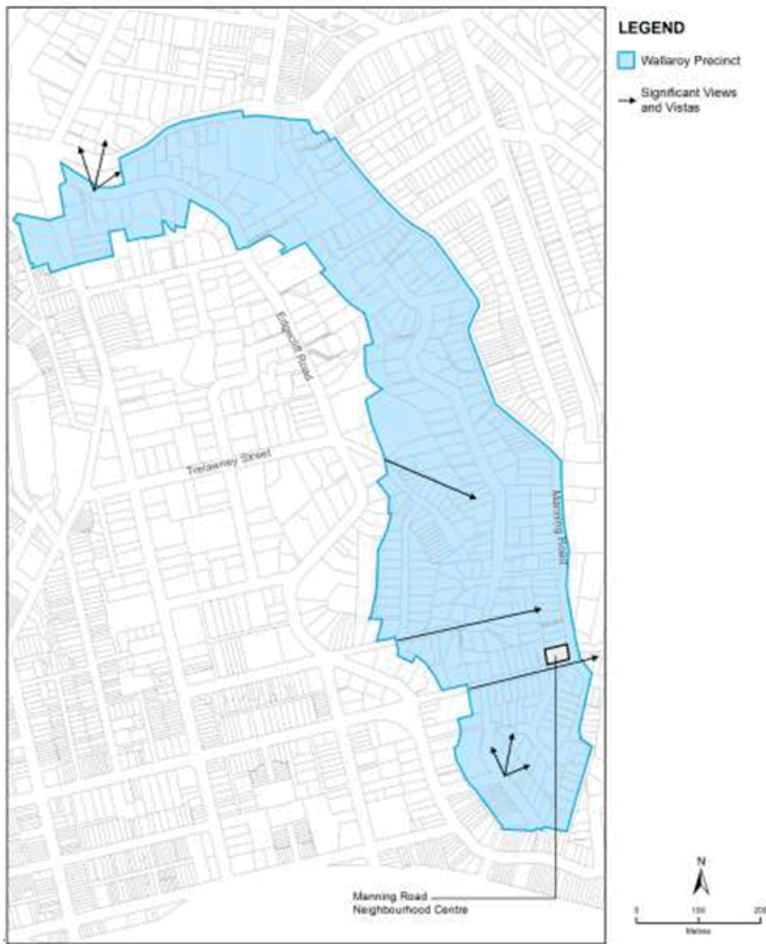
Commented [DCP1]: Enhance O7 to address the retention of Inter-War flat buildings.

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B1.4 Wallaroy Precinct

MAP 4 Wallaroy Precinct





#### B1.4.1 Precinct character statement

The Wallaroy precinct is sited along a ridgeline and hillside overlooking Double Bay and Sydney Harbour. The precinct extends from the valley floor at Manning Road to the main arterial road at New South Head Road and the Woollahra Heritage Conservation Area adjacent to Edgecliff Road.

The steeply sloping topography allows for expansive views from the streets as they wind down the hill from Edgecliff Road.

This is a predominantly low density residential precinct. It contains a mix of mainly one and two storey dwelling houses along Wallaroy Road, the eastern part of Attunga Street, Milton Avenue and the western side of Manning Road. There are some two storey houses with garaging underneath in Manning Road and Linden Avenue, establishing a three storey presentation to the street.

Residential flat buildings are located in the northern part of the precinct towards New South Head Road, and in the western and southern parts of the precinct towards Edgecliff Road and Bondi Junction.

#### B1.4.2 Desired future character

Development is to establish a transition from the large subdivisions and residential flat buildings at New South Head Road and Edgecliff Road to the dwelling houses situated on the slopes.

There is a mix of old and new buildings within this precinct. Alterations and additions to the period houses should retain key elements of the original buildings, including sense of the spacious grounds, setbacks and traditional roof forms, as viewed from the street.

New dwellings may have contemporary designs, but should not detract from adjoining period housing or the predominant character of the streetscape immediately surrounding the site. Particular consideration should be given to establishing consistent front and side setbacks, and providing compatible materials, roof forms and street walls.

On sloping sites, development should step down the site to maintain views, protect the privacy and solar access of adjoining and adjacent properties, and minimise cut and fill.

Residential flat buildings are permitted in the northern part of the precinct up to a height of six storeys. Where these sites adjoin properties with a lower height limit, development is to establish a sympathetic transition to the boundaries; this may be through a graduation of building bulk and height, increased setbacks, or both.

Development adjacent to the Woollahra Heritage Conservation Area must suitably respond to the significance of the HCA.

#### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the period housing, including large Federation and Inter-War houses set within spacious grounds;
- b) pitched roof or articulated roof forms;
- c) the stepping of development on the hillside;
- d) well established private gardens and trees;
- e) grassed verges and mature street trees;
- f) sandstone garden walls at the street;
- g) the highly visible tree canopy providing a dense green backdrop to views from Sydney Harbour and surrounding lands; **and**
- h) the preservation of view corridors from public places, including view corridors between buildings; **and**
- i) Inter-War flat buildings.

**Commented [DCP2]:** Include Inter-War flat buildings as key elements of the precinct.

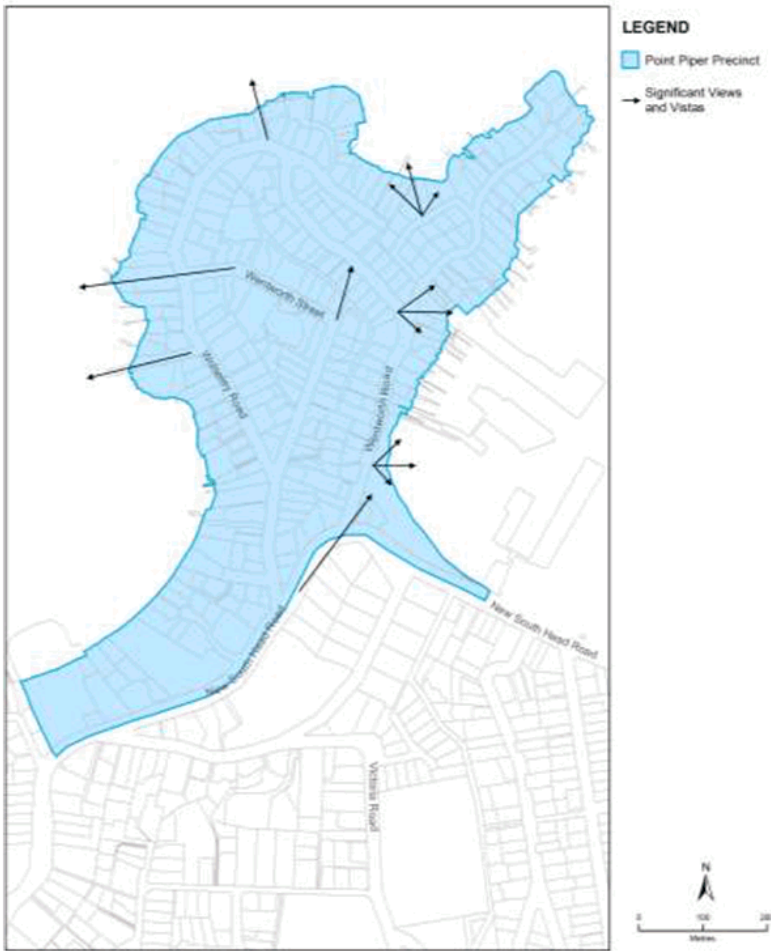
#### Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To establish a development transition from the large residential flat buildings and lots at New South Head Road and Edgecliff Road to the smaller dwelling houses situated on the slopes.
- O3 To design and site buildings to respond to the topography and minimise cut and fill.
- O4 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings, incorporating modulation and a varied palette of materials.
- O5 To protect iconic, harbour and other significant views from the public spaces of the precinct.
- O6 To promote view corridors between buildings to significant views, particularly harbour views.
- O7 To ensure that development on the western boundary of the precinct does not have an adverse impact on the heritage significance of the adjoining Woollahra Heritage Conservation Area.
- O8 To retain and reinforce the green setting of mature street trees, private trees and garden plantings.
- O9** To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.

**Commented [DCP3]:** Add a new objective to address the retention of Inter-War flat buildings.

B1.6 Point Piper Precinct

MAP 6 Point Piper Precinct



B1 | Residential Precincts

► Part B | General Residential

### B1.6.1 Precinct character statement

The Point Piper precinct is a prominent peninsula on Sydney Harbour between Double Bay and Rose Bay. The location provides extensive views across the harbour and surrounding harbourside suburbs.

The precinct contains a range of housing types and styles including an excellent group of Inter-War flat buildings at Longworth Avenue (substantially retained in their garden settings), large post World War II ~~apartment-flat~~ buildings at Wolseley Road, and more recent substantial harbourside houses on large lots (including battle-axe lots).

**Commented [DCP4]:** Amend terminology for consistency with other sections of the DCP.

However, the streetscapes within the precinct vary in quality, and often front fences, walls and garages fronting the street block harbour views from the footpath.

### B1.6.2 Desired future character

The Point Piper precinct is an established residential area with a mixture of architectural styles and forms. It contains both R2 Low Density and R3 Medium Density Residential zoned land.

In the areas zoned R2, development will generally take the form of dwelling houses set within landscaped garden settings. Development must provide opportunities for view sharing from both public spaces and private properties. In particular, buildings should step down the site, also minimising cut and fill. The design of roofs, garages and fences should also facilitate view sharing opportunities and must not dominate the streetscape.

Development on the low side of the street should also contribute to maintaining a consistent front setback, generally set as a 4 metre setback.

Properties at 10, 12 and 14 Longworth Avenue must establish a single storey presentation to the street and provide for view sharing to surrounding properties.

The western side of the peninsula is predominantly zoned R3 zoning, and development for residential flat buildings and multi dwelling housing is encouraged.

The area between Longworth Avenue and Wunulla Road comprises a number of well maintained Inter-War flat buildings. These buildings make a significant contribution to the streetscape. Alterations and additions to these Inter-War flat buildings are to retain the character of the original building through appropriate use of materials, and should not significantly alter significant and traditional building elements visible from the street.

#### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the rich mixture of architectural styles and forms;
- b) views and glimpses of the harbour between buildings from public spaces;
- c) the stepping of development down the hillside;

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- d) well established private gardens and trees;
- e) mature street trees;
- f) stone and brick retaining walls on public and private land; and
- g) Inter-War flat buildings.

Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings, incorporating modulation and a varied palette of materials.
- O3 To ensure that development on the low side of the street maintains a consistent front setback.
- O4 To design and site buildings to respond to the topography and minimise cut and fill.
- O5 To protect iconic and harbour views from the street and other public spaces in the precinct, including views between buildings and over or through front fences.
- O6 To ensure that development facilitates view sharing to adjoining and adjacent private properties.
- O7 To maintain the sense of the historic grand estates by retaining the garden settings and streetscape elements.
- O8 To ~~retain~~ **encourage the retention of the** Inter-War flat buildings, particularly significant and traditional building elements visible from the street.
- O9 To retain and reinforce the stone and brick retaining walls that characterise the sloping streets of the precinct.

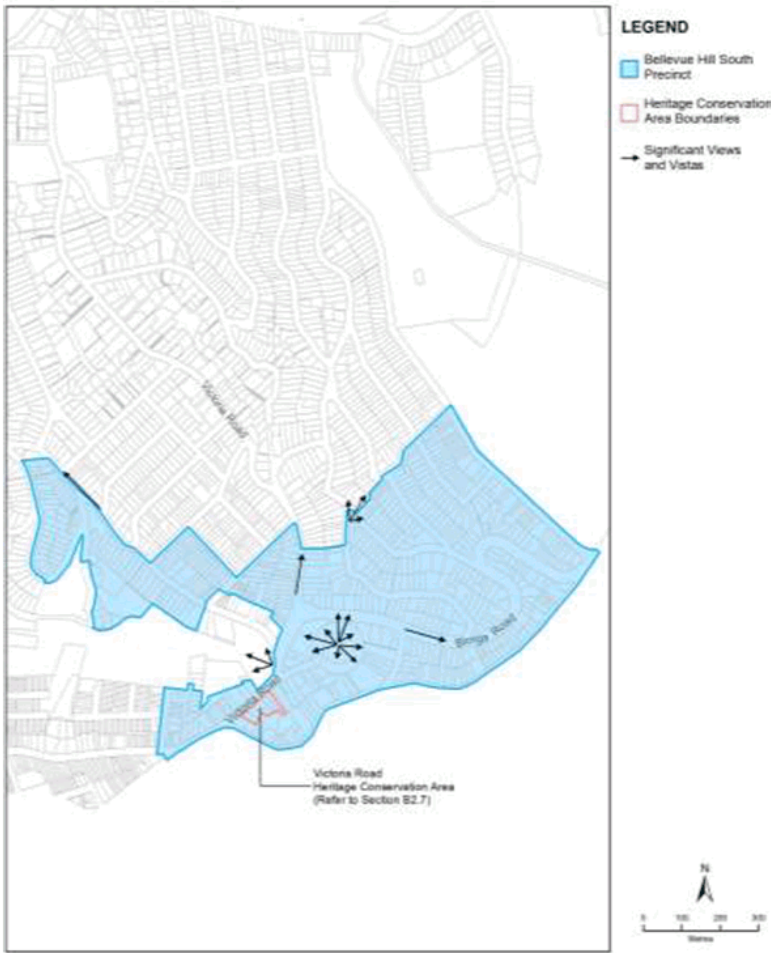
Commented [DCP5]: Enhance Objective O8 to address the retention of Inter-War flat buildings.

B1 | Residential Precincts

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**B1.7 Bellevue Hill South Precinct**

**MAP 7** Bellevue Hill South Precinct



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#### B1.7.1 Precinct character statement

The Bellevue Hill South precinct is sited along the ridgeline and plateau of Bellevue Hill. The precinct contains a wide range of housing types and styles. As with many of the residential areas across the municipality, the built fabric is set within a landscaped setting.

Land within this precinct is zoned R3 Medium Density Residential, but the form and scale of buildings vary from the Inter-War flat buildings and more recent ~~apartment~~ flat buildings to low density dwelling houses and semi-detached dwellings.

The street pattern in this part of Bellevue Hill responds to the nature of the landform, curvilinear in hillside areas, and rectilinear in flat areas. Distant views to the city skyline and the harbour are available from some parts of the precinct.

The precinct contains a number of street types in an identifiable hierarchy, and the precinct is generally divided into two sections based on the road hierarchy.

The main roads include Birriga Road, Old South Head Road, Victoria Road and Bellevue Road. Development along these roads is characterised by Inter-War and contemporary residential flat buildings, interspersed with semi-detached and detached dwelling houses. The housing stock includes original dwellings from the early 20th century and Inter-War period with more substantial contemporary dwelling houses.

Development along the local roads contains a mix of dwelling houses, semi-detached houses, multi-dwelling housing and residential flat buildings. Development on the sloping sites steps down the hillside. The precinct contains a diverse mix of building styles from early 20th century buildings to well-designed contemporary buildings.

The precinct also incorporates, or is adjacent to, significant public parklands and open spaces. The upper part of Cooper Park, the Woollahra Golf Course and Bellevue Park all contribute to the identity of the precinct.

#### B1.7.2 Desired future character

New development on the major streets of Birriga Road, Victoria Road and Old South Head Road will generally take the form of residential flat buildings and multi dwelling housing, and maintenance of existing Inter-War flat buildings. New development should be designed to step down sloping sites and provide side boundary setbacks that allow for views between buildings. Development should not detract from the amenity of adjoining and adjacent lower density forms of residential development.

Development along the local roads will provide a mix of housing densities and styles in well designed contemporary buildings, which reinforce the natural topography and provide opportunities for view sharing. This may include multi-dwelling housing, attached dwellings and dwelling houses in the transition area at Boronia Street, Blaxland Road and the northern side of Bundarra Road, and semi-detached dwellings, as well as dwelling houses, in Pringle Place and Buller Street.

Commented [DCP6]: Amend terminology for consistency with other sections of the DCP.



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Development must provide opportunities for view sharing from both public spaces and private properties. In particular, buildings should step down the site, also minimising cut and fill.

#### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the rich mixture of architectural styles and forms;
- b) the stepping of development down the hillside;
- c) interconnected streets following the contours of the land;
- d) deep soil landscaping within the front and rear setbacks;
- e) mature street trees and grassed verges;
- f) the highly visible tree canopy providing a dense green backdrop to views from Sydney Harbour and surrounding lands; **and**
- g) the preservation of views from public places, including view corridors between buildings; **and**
- h) **Inter-War flat buildings.**

**Commented [DCP7]:** Insert Inter-War flat buildings as key elements of the precinct.

#### Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings, incorporating modulation and a varied palette of materials.
- O3 To establish a transition of development scale from the detached dwelling houses at the northern end of Bellevue Hill to the residential flat buildings that address the major streets - Birriga Road, Old South Head Road and Victoria Road - situated along the precinct ridgeline.
- O4** To **retain ensure that alterations and additions to the** Inter-War flat buildings **and ensure that alterations and additions** do not detract from the character of these buildings and their presentation to the street.
- O5 To design and site buildings to respond to the topography and minimise cut and fill.
- O6 To preserve significant views and vistas to surrounding areas from the streets and parks.
- O7 To reinforce the landscape setting and maintain the existing tree canopy.

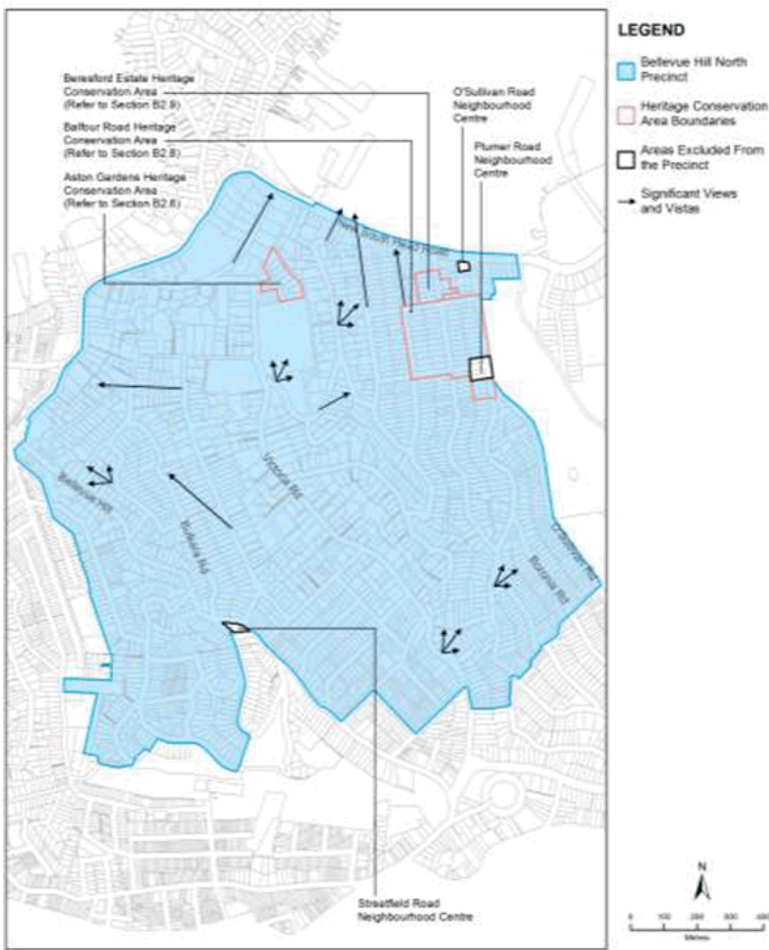
**Commented [DCP8]:** Enhance objective O4 to address the retention of Inter-War flat buildings.

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B1.8 Bellevue Hill North Precinct

MAP 8 Bellevue Hill North Precinct



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### B1.8.1 Precinct character statement

The Bellevue Hill North precinct is sited on the slopes and plateau of Bellevue Hill. New South Head Road, the main arterial road, forms the northern edge of the precinct.

The precinct contains three distinct settings:

- the edge development fronting New South Head Road (between Bellevue Road and Victoria Road) which contains predominantly substantial residential flat buildings set behind sandstone walls, garages and steps;
- development opposite the Rose Bay promenade on New South Head Road, typically large detached buildings within a landscape setting; and
- the one to three storey dwelling houses and residential flat buildings set in the winding streets that follow the contours of Bellevue Hill.

As with many of the higher parts of the municipality, significant views and vistas are available from many of the public spaces. This precinct also contains two large private school campuses: Cranbrook School and Scots College.

### B1.8.2 Desired future character

The Bellevue Hill North precinct is an established residential area with a rich mixture of architectural styles and forms. Development is to be compatible with the existing built fabric, subdivision pattern and other prevailing characteristics in the street, such as setbacks and roof forms.

On sloping sites, development should step down the site to maintain views, protect the privacy and solar access of adjoining and adjacent properties, and minimise cut and fill. The design of roofs and fences should also facilitate view sharing opportunities, and carports and other parking structures must not to dominate the streetscape.

There are pockets of Inter-War flat buildings along Drumalbyn Road that contribute to the precinct character, and the retention of these buildings is encouraged. Alterations and additions to the Inter-War flat buildings are to retain the character of the original building through appropriate use of materials, and should not significantly alter significant and traditional building elements visible from the street.

Development is to retain views of the harbour from public spaces and provide for view sharing from private properties. Development adjacent to the heritage conservation areas must also suitably respond to the significance of the HCA.

#### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the rich mixture of residential architectural styles and forms, including dwelling houses and residential flat buildings;
- b) the relationship of development along New South Head Road to the promenade and the harbour;
- c) buildings set within highly visible gardens;
- d) the tree canopy formed by both street and private yard plantings;
- e) mature street trees, grassed verges and sandstone walls;
- f) harbour views available from the streets within the precinct; **and**
- g) the heritage significance of the adjoining Aston Gardens, Beresford Estate and Balfour Road Heritage Conservation Areas; **and**
- h) Inter-War flat buildings.

**Commented [DCP9]:** Insert Inter-War flat buildings as key elements of the precinct.

#### Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings incorporating modulation and a varied palette of materials.
- O3 To maintain a transition of development scale from the residential flat buildings that address New South Head Road, to the dwelling houses that dominate the majority of the precinct.
- O4 To reinforce a consistent building scale with streets.
- O5 To ensure that development responds in form and siting to the street and subdivision pattern.
- O6 To design and site buildings to respond to the topography and minimise cut and fill.
- O7 To reinforce the landscape setting and maintain the existing tree canopy which forms a green backdrop when viewed from the harbour and the surrounding districts.
- O8 To retain and reinforce the green setting of mature street trees, private trees and garden plantings and minimise hard stand areas.
- O9 To protect important views from the public spaces of the precinct to the harbour and city skyline, including view corridors between buildings.
- O10 To ensure that development facilitates view sharing to adjoining and adjacent private properties.
- O11 To ensure on-site parking does not dominate the streetscape.

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D12 To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.

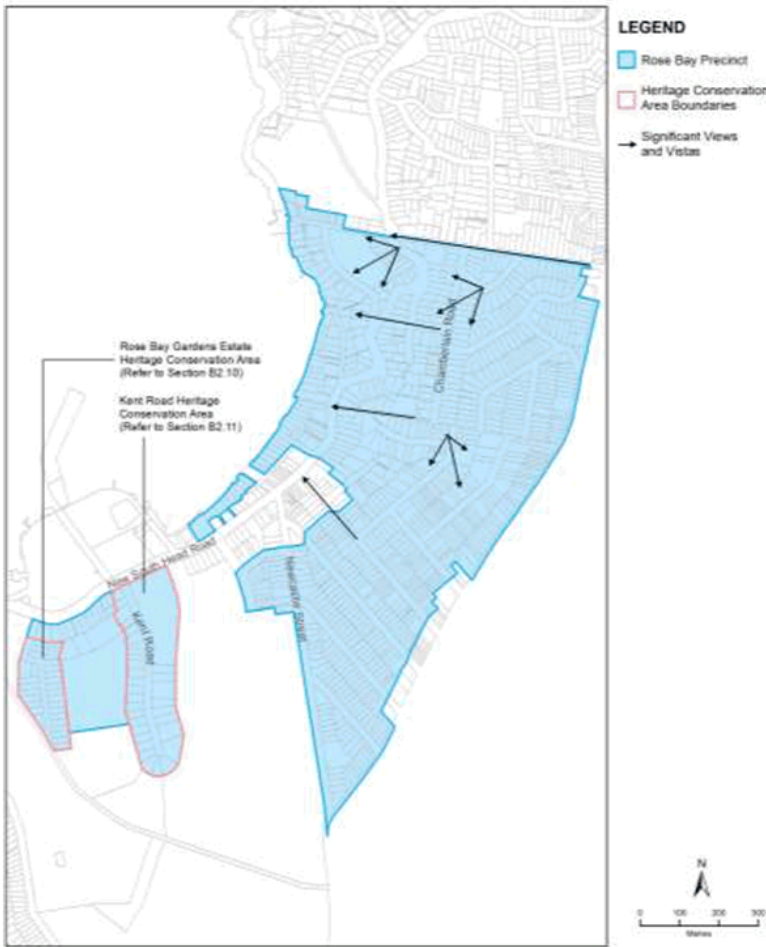
Commented [DCP10]: New objective to address the retention of Inter-War flat buildings.

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**B1.9 Rose Bay Precinct**

**MAP 9** Rose Bay Precinct



### B1.9.1 Precinct character statement

The Rose Bay residential precinct incorporates the hillside at the neck of the eastern suburbs peninsula and the lowest part of the Rose Bay basin (adjacent to the large park and recreational area). The street block system in the low lying areas is generally rectilinear, allowing for regular building lots. On the hillsides, irregular street and block patterns occur reflecting the topography.

Prominent building types within the precinct include Inter-War detached housing and Art Deco apartment flat buildings. More recent development, particularly in Spencer and Carlisle Streets, has seen the subdivision pattern altered to create larger lots for residential flat buildings.

Commented [DCP11]: Amend terminology for consistency with other sections of the DCP

The Rose Bay residential precinct is sited between the two main urban connectors of Old South Head Road and New South Head Road. The Rose Bay Centre is located on New South Head Road in the western part of the precinct. The mixed use centres of Rose Bay North and Rose Bay South are located on Old South Head Road. These centres frame the precinct and serve the daily and weekly shopping needs of the local community.

This precinct also includes the Kambala School, Lyne Park and the Royal Sydney Golf Club.

### B1.9.2 Desired future character

This precinct includes land zoned R2 Low Density Residential and R3 Medium Density Residential. Most of the R3 Medium Density Residential land is located near the business centres and the main connector roads. Although much of this R3 zoned land currently contains many dwelling houses, this area is identified for change and will be redeveloped for medium density residential uses such as residential flat buildings, manor houses, multi dwelling housing, multi dwelling housing (terraces) and attached dwellings.

In particular, there is opportunity for redevelopment along Old South Head Road, with a view to providing a greater intensity of development adjacent to this classified road.

The residential areas zoned R2 Low Density Residential will continue to experience an evolution of residential building styles through the introduction of well-designed contemporary dwelling houses, which reinforce the natural topography and provide opportunities for view sharing.

On the hillsides and steeply sloping sites, the built form should step with the land to ensure development reflects the existing topography and minimises the need for excavation.

#### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- the rich mixture of residential architectural styles and forms, including dwelling houses and residential flat buildings;
- the pattern of rectilinear residential streets within the valley basin, and curvilinear streets in the steeper areas;



- c) dwelling houses set within highly visible gardens;
- d) the visual relief within streetscapes provided by the separation of buildings, the articulation of facades and building forms;
- e) the tree canopy formed by both street and private yard plantings;
- f) sandstone garden walls at the street;
- g) the relationship of residential development to the open spaces (including Lyne Park and the Royal Sydney Golf Club) and the harbour; **and**
- h) the iconic and harbour views available from the streets and other public spaces, including view corridors between buildings; **and**
- i) Inter-War flat buildings.

Desired future character objectives

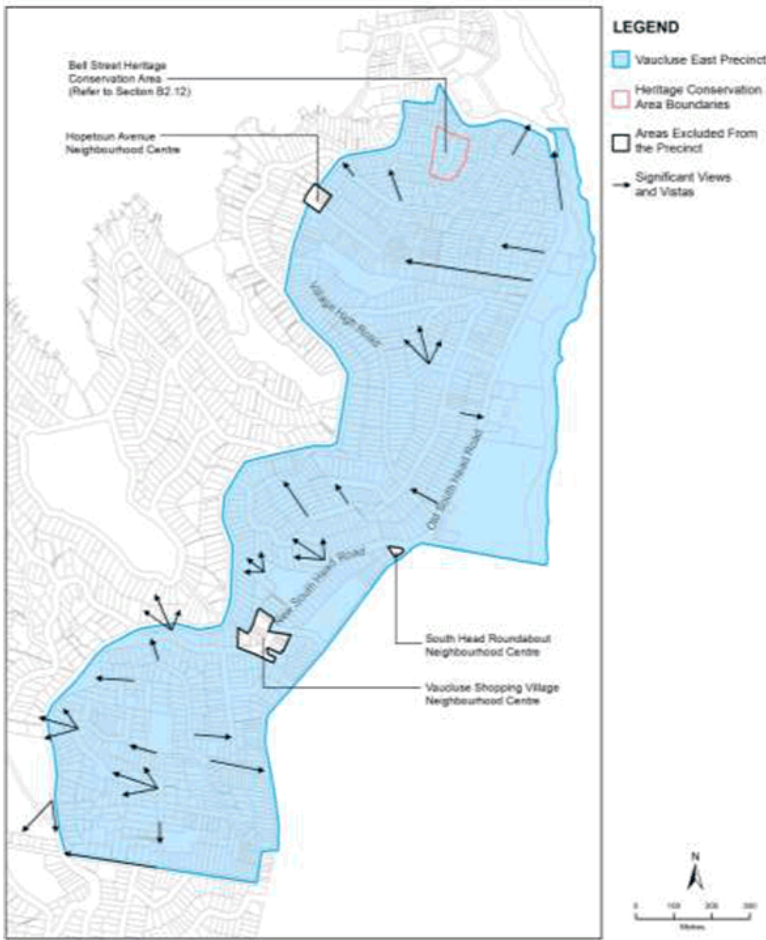
- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To encourage development at a scale which relates to the function and role of the streets they address, i.e. larger scale development on the major streets (Old South Head Road and New South Head Road adjacent to the commercial centre) and a range of housing types on the minor streets.
- O3 To provide for an evolution of building stock from dwelling houses to medium density development in the R3 zoned areas.
- O4 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings incorporating modulation and a varied palette of materials.
- O5 To reinforce a consistent building scale within streets.
- O6 To design and site buildings to respond to the topography and minimise cut and fill.
- O7 To protect important iconic and harbour views from the public spaces of the precinct.
- O8 To reinforce the landscape setting and maintain the existing tree canopy.
- O9** To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.

**Commented [DCP12]:** Insert Inter-War flat buildings as key elements of the precinct.

**Commented [DCP13]:** New objective to address the retention of Inter-War flat buildings.

B1.11 Vaucluse East Precinct

MAP 11 Vaucluse East Precinct



#### B1.11.1 Precinct character statement

The Vaucluse East Precinct comprises an elevated plateau which provides an extensive backdrop and significant scenic presentation to Sydney Harbour along its eastern foreshore.

A spectacular feature of the precinct is the public foreshore land on the eastern side of Old South Head Road which contains the Macquarie Lighthouse, a prominent harbour landmark and parkland. The highest parts of the precinct afford 360° views of both the harbour and ocean. Vantage points include Johnsons Lookout, Samuel Park, Gap Park, Christison Park and Lighthouse Reserve.

The precinct contains a wide range of housing types and styles reflecting important stages in its development. Large areas are characterised by Federation and Inter-War bungalows. Inter-War residential flat buildings are also important contributors to the local character. However, the dominant development type is the dwelling house, located within a garden setting and highlighted by consistent street setbacks and side setbacks that allow for views between buildings.

The precinct's exposed location at the plateau of the peninsula has resulted in a sparser foliage and tree canopy compared with the more protected streets of the Vaucluse West precinct.

#### B1.11.2 Desired future character

The Vaucluse East precinct is to maintain the evolution of low density residential development, generally through the introduction of well-designed contemporary dwelling houses.

Development may be three storeys, but should establish a two storey presentation to the street with a reduced scale on the third floor, which will help reduce building bulk and scale.

On sloping sites, development should step down the site to maintain views, protect the privacy and solar access of adjoining and adjacent properties, and minimise cut and fill.

The built form should not detract from the unique features of the natural landscape, or be of such a scale that it dominates adjoining development, or is visually intrusive when viewed from the streetscape or the harbour.

In particular development is to retain views of the harbour from public spaces and provide for view sharing from private properties; these can be achieved by providing suitable side boundary setbacks and fencing, roof forms and thoughtful distribution of building form across the site.

Within this precinct, some land fronting Old South Head Road is zoned R3 Medium Density Residential, and may provide opportunities for renewal of existing building stock.

#### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the relationship of the precinct to the coastal parklands;
- b) the rich mixture of architectural styles, and their emphasis on their connection to the landform;
- c) buildings set within highly visible gardens;
- d) buildings addressing the street; **and**
- e) the iconic and harbour views available from the streets of the precinct, including view corridors between buildings; **and**
- f) Inter-War flat buildings.

**Commented [DCP14]:** Insert Inter-War flat buildings as key elements of the precinct.

#### Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To retain the scenic qualities provided by the dramatic topography and natural vegetation within the precinct.
- O3 To maintain the evolution of low rise residential building styles through the introduction of good contemporary buildings incorporating modulation and a varied palette of materials.
- O4 To minimise building bulk and scale of three storey development by designing development to generally present as a two storey form to the street.
- O5 To design and site buildings to respond to the topography and minimise cut and fill.
- O6 To protect important views from the public spaces of the precinct to the harbour and the city skyline, including view corridors between buildings.
- O7 To reinforce the landscape setting and maintain the existing tree canopy.
- O8 To retain and reinforce the green setting of mature street trees, private trees and garden plantings.
- O9** To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.

**Commented [DCP15]:** New objective to address the retention of Inter-War flat buildings.

## Chapter B3 General Development Controls

### Part B ► General Residential

CHAPTER B3 APPROVED ON 10 APRIL 2017  
AND COMMENCED ON 19 APRIL 2017

Last amended on 2 January 2019

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### B3.8.7 Inter-War flat buildings

Inter-War flat buildings were constructed in many parts of the Woollahra LGA. Many of these buildings make an important historic, aesthetic, social and technical contribution to the character of areas and to the historical development of the area.

Inter-War flat buildings are defined as two storeys or more and containing two or more dwellings, constructed in the period circa 1918 to circa 1950.

This definition includes years outside the recognised 'Inter-War period' of 1918 to 1939. This is to recognise a building type and not exclusively buildings constructed between certain years. This building type is distinguishable by common characteristics and styles. There are many examples of residential flat buildings with these characteristics that were constructed after 1939.

There are numerous cohesive groups and one-off examples that demonstrate the key characteristics of architectural styles of the Inter-War period including Art Deco, Mediterranean, Georgian Revival, Spanish Mission, Skyscraper Gothic and Functionalist. Many of the Inter-War flat buildings across the LGA were designed by prominent architects such as Leslie Wilkinson, Emil Sodersten, Aaron Bolot, Eric Clarke Pitt, John R. Brogan and Samuel Lipson.

Externally, many buildings and their settings are substantially intact. Modern day renovation trends that include rendering or bagging face brick, altering window patterns and enclosing balconies have detrimental impacts on the character of these buildings, particularly their aesthetic values, and also on the general streetscape.

#### Streetscape

The streetscape is the connection between the private and public domain. The character of the Inter-War flat building streetscapes is their consistency in architectural style, scale, form, front and side setbacks, finishes and materials. In streets characterised by Inter-War residential building development, the subdivision pattern and regular separation of buildings often provides public views to surrounding areas and landmarks.

#### Landscaped area

The landscaped garden setting is an important element of Inter-War flat buildings and contributes to the character of the building and its setting. The garden setting usually comprises perimeter planting in narrow strips along the front of the buildings and along the side boundary fences framing a small lawn area in front of the buildings.

#### Building form

The predominant plan form of principal buildings is of a stepped nature with bays, indents, verandahs, balconies and other elements to break up the mass of the building and in particular the street front elevation.

Highly characteristic detailing defines each style within the Inter-War period and contributes to the building's character. Each style can be characterised by the following elements:

- Art Deco: Face brickwork, vertical and horizontal brick fins, decorative stepped parapets, symmetry, three dimensional massing, geometric curves.

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- Mediterranean: Rendered and lime washed walls, round or Marseille tiles, accents of classical detail such as round arches, timber shutter, ornate fine ironwork railings.
- Georgian Revival: Symmetry, fine face brickwork, 12 pane windows, repetitive fenestration, semi-circular headed windows, classical columns and pediments.
- Spanish Mission: Plain rendered or textured stucco with concentrations of ornament, gabled roofs with curved parapets, half-round terra cotta tiles, triple arch windows, 'barley-sugar' columns.
- Skyscraper Gothic: Medieval motifs, tall tower elements, vertical fins, stepped parapets.
- Functionalism: Asymmetrical massing of simple geometric shapes, steel-framed windows, contrasting horizontal and vertical motifs, large areas of glass.

#### Building height

The height of Inter-War flat buildings is generally consistent within the streetscape. The buildings are usually 2 or 3 storeys, but may be up to 10 or 12 storeys.

#### Materials

Materials characteristic of Inter-War flat buildings are:

- walls—brick, render/stucco;
- windows—timber double hung or casement; and
- roofs—glazed terracotta tile.

#### Alterations, additions and repairs

Alterations and additions to Inter-War flat buildings should have regard to the existing character of the building and its setting.

Where external elevations and internal common areas are intact, applicants are encouraged to confine alterations to internal areas of individual apartments.

Services and fire upgrades must be carefully planned and detailed. To avoid damage to characteristic internal and external details, repairs to building elements are to retain existing detailing and be equal to the original quality and design of material finishes, fixtures and fittings.

#### Roofscapes and chimneys

The roof is an important characteristic of Inter-War flat buildings and is generally a hipped or gabled form with a tiled roof structure and decorative parapet features. It contributes strongly to the overall form, proportions and character of the building.

Chimneys are an important characteristic of pre-1950 residential flat buildings and add to the character of the overall building form and area. For example, chimneys may relate to a centralised incinerator system, reflecting a previous technology that is of historic interest.

Dormer windows to the existing roof forms are inappropriate and out of character with Inter-War flat buildings and are intrusive in the roof form. Skylights are intrusive in roof forms and are restricted to areas that are not visibly prominent.



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#### Fences, gates and mailboxes

The front fences of Inter-War flat buildings are usually low scale and constructed of masonry, often incorporating or repeating details used in the building. Gates are generally wrought iron with fine craftsmanship in a design appropriate to the character of the building, and also match external balcony balustrades.

Mailboxes are often timber in a masonry enclosure and located at or near the front fence, or within or near the main entrance to the building.

#### Ancillary structures

Ancillary structures for Inter-War flat buildings are those buildings that are not the principal building and include, but are not limited to: carports, garages, garbage areas and laundries.

#### External materials, details and finishes

External materials, details and finishes and the way they in which these are used are important elements that contribute to the overall character of a building. Face brickwork is a key characteristic of Inter-War flat buildings. The use of masonry patterns including two-tone brickwork, squints (corner bricks), textured bricks and herringbone brickwork can contribute to aesthetic value to an Inter-War flat building.

#### Verandahs and balconies

Existing verandahs and balconies are an important characteristic of Inter-War flat buildings, in addition to being functional and adding visual interest to the exterior by creating shadows. The addition of new balconies can have a highly negative visual impact on the character of the building. Where external elevations are intact and the building displays distinctive characteristic detailing, verandah additions should be limited to building elevations that are not highly visible from the street.

#### Security devices

In some cases the original door and window hardware does not provide the necessary level of security for contemporary requirements. Additional security devices can be provided sympathetically whilst retaining original hardware and the character of the building.

#### Fire protection upgrading

To comply with BCA and other requirements, it is sometimes necessary to upgrade the building with additional fire protection equipment or measures. Where characteristic internal and external detailing exists, fire protection upgrading should be sympathetically incorporated to minimise adverse impacts to original fabric and characteristic features of the building, such as doors and fireplaces.

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#### Objectives and controls for alterations and additions to Inter-War flat buildings

Note: The controls below apply in addition to the general residential controls in this chapter. Where there is an inconsistency, the controls below take precedence.

#### B3.8 Additional controls for development other than dwelling houses

##### ► 3.8.7 Inter-War flat buildings

Objectives	Controls
<b>Streetscape</b>	
O1 To ensure that the significant characteristics of Inter-War flat buildings <b>that contribute to the character of the area, in regard to their presentation to the street</b> , are retained and protected.	C1 For Inter-War flat buildings that are heritage items or located in a HCA—No alterations or additions to the significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations, except for restoration or reconstruction.
O2 To conserve the principal street elevations of the Inter-War flat buildings that contribute to the character of the area.	C2 For Inter-War flat buildings that contribute to the character of the area, are not heritage items or located in a HCA—Alterations or additions to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building, and do not dominate the building.
O3 To ensure that the architectural character of Inter-War flat buildings that contribute to the character of the area is not compromised.	C3 The articulated, stepped and faceted plan form of the building is not altered or obscured, particularly at the street elevation.
O4 To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.	C4 Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.
O5 To ensure that alterations and additions to the roofs are <b>discreet</b> <del>discrete</del> and do not detract from the original character, proportions or key elements.	C5 The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.

**Commented [DCP1]:** Amend terminology consistent with Control C2.

**Commented [DCP2]:** Administrative change: replace "discrete" with "discreet".

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**B3.8 Additional controls for development other than dwelling houses**

**► 3.8.7 Inter-War flat buildings**

Objectives	Controls
	<p>C6 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building.</p> <p>C7 Skylights are flush with the roof surface.</p> <p>C8 Original chimneys and their details are retained.</p>
<p>O6 To conserve the established garden settings, including significant elements and features.</p>	<p>C9 Characteristic front gardens, and their elements, are retained with minimal alteration.</p> <p>C10 Structures are not erected in the front garden that detract from the feeling of openness, or restrict or impact on the principal elevations of the building (including secondary fences and hedges).</p> <p>C11 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.</p>
<p>O7 To ensure that parking does not detract from the character of the streetscape.</p>	<p>C12 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.</p>
<p>O8 To ensure that external alterations, additions and repairs do not detract from the original character and form of the building.</p>	<p>C13 External alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.</p> <p>C14 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.</p> <p>C15 Privacy screens are discreet and do not impact on the overall character of the building, and are visible from the street.</p> <p>C16 <del>Protruding</del> Shade structures, including awnings and canopies, are not located on the principal building elevations.</p>

**Commented [DCP3]:** Amend to allow non-protruding shade structures on the main elevations.

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**B3.8 Additional controls for development other than dwelling houses**

**► 3.8.7 Inter-War flat buildings**

Objectives	Controls
	C17 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.
O9 To ensure that external materials, details and finishes respect and complement the original building.	<p>C18 Materials are similar in type and finish to those on the original building and sympathetically integrate with the fabric of the building.</p> <p>C19 Individual materials do not dominate the original materials of the building.</p> <p>C20 Original face brickwork, <u>terracotta or decorative concrete panels</u> <del>is must not be</del> painted, rendered or coated.</p> <p>C21 Windows are timber double hung or casement with the glazing pane size to be conserved and match the original windows.</p> <p>C22 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.</p>
O10 To ensure that works to balconies and verandahs do not detract from the character and form of Inter-War flat buildings.	<p>C23 Original verandas and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.</p> <p>C24 New verandahs and balconies <u>are only allowed to the rear or side elevations if they:</u></p> <p>a) respect the character of the existing building; and</p> <p>b) are sympathetically integrated with the character and form of the building.</p>
	C25 Original fencing, gates and mailboxes are retained and conserved.

**Commented [DCP4]:** Enhance control C20 to identify other materials not to be painted, rendered or coated, consistently with Chapter C2.

**Commented [DCP5]:** Enhance control C24 to allow new verandahs and balconies to the rear and side elevations only.

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**B3.8 Additional controls for development other than dwelling houses**

**► 3.8.7 Inter-War flat buildings**

Objectives	Controls
O11 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.	C26 Fences to the front building alignment are a height of between 400mm and 900mm. The height, style, form, materials and finishes match the principal building and the streetscape.
	C27 Gates are constructed in a height, style, form, materials and finishes to match the principal building and streetscape. Aluminium gates are avoided.
	C28 Fencing to side and rear boundaries is in the form of a timber paling fence.
	C29 Mailboxes are constructed in style, form, materials and finishes to match the principal building and streetscape.
	C30 Mailboxes are discreetly located and do not impact on the character of the building.
O12 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.	C31 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, carpets, wall details, light fittings, internal doors and the like.
O13 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.	C32 Original door and window hardware is retained, where practical. New additional security elements are in character with the building.
	C33 Security bars are: a) fitted internally; b) respect the existing glazing patterns; and c) painted in a dark recessive colour.

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**B3.8 Additional controls for development other than dwelling houses**

**► 3.8.7 Inter-War flat buildings**

Objectives	Controls
	<p>C34 Security intercom systems are discreetly located and in a style and materials complimentary to the character of the building.</p> <p>C35 Alarm bell boxes and the like, are not attached to the principal building elevations.</p>
<p>O14 To ensure that additions and alterations for fire upgrading and safety are <del>discrete</del> <b>discreet</b>, and retain and respect the original and significant building fabric.</p>	<p>C36 New or upgraded services are discreetly and sensitively located to minimise visual impact.</p> <p>C37 New or upgraded services, such as rising mains and wiring, are located within existing ducts, behind cornices or bulkheads or within external lightwells that are not visually prominent.</p> <p>C38 Wiring or other services are housed in concealed conduits.</p> <p>C39 Original timber staircases are retained and smoke isolated, if necessary.</p> <p>C40 Where the height of the original stair balustrades is <del>to be modified for fire safety</del> the modification is discreet and sympathetically integrated with the existing stair balustrade.</p> <p>C41 Stair treads applied to existing stairs are <del>discrete</del> <b>discreet</b>.</p> <p>C42 New lifts are designed and located so that the addition:</p> <ol style="list-style-type: none"> <li>is located outside the principal building form, if practical; and</li> <li>does not require significant alterations to existing common areas.</li> </ol> <p>C43 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.</p>

Commented [DCP6]: Administrative change: replaced "discrete" with "discreet".

Commented [DCP7]: Enhance control C40 to capture height of balustrade modified under the National Construction Code, not fire safety.

Commented [DCP8]: Administrative change: replace "discrete" with "discreet".

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**B3.8 Additional controls for development other than dwelling houses**

**► 3.8.7 Inter-War flat buildings**

Objectives	Controls
	<p>C44 Existing original fanlights and other openings are retained and sealed from behind, if necessary.</p> <p>C45 Emergency and exit lighting is incorporated into existing original light fittings, where practical.</p> <p>C46 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.</p>
<p>O15 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.</p>	<p>C47 Ancillary development, such as garages and laundries, constructed at the same time as the building are retained. Any modifications are sympathetic to the original building.</p> <p>C48 New ancillary development:</p> <ul style="list-style-type: none"> <li>a) is smaller in scale than the principal building;</li> <li>b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;</li> <li>c) is constructed in a style, form, materials and finishes that <b>match complement</b> the principal building;</li> <li>d) is single storey with a maximum clear internal height of 2.4m; and</li> <li>e) is sympathetic in scale and style to traditional forms of ancillary structures.</li> </ul>

**Commented [DCP9]:** Enhance control C48 to ensure new work complements but not necessarily matches the principal building.

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**B3.8 Additional controls for development other than dwelling houses**

**► 3.8.7 Inter-War flat buildings**

Objectives	Controls
O16 To promote restoration and reconstruction works to restore significance.	C49 <u>Previous unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced by reinstating original forms and matching fabric or with new works sympathetic to the age and style of the building.</u> <del>Unsympathetic additions and modifications to the building, and its grounds, are removed and replaced with sympathetic works, or reinstatement of original forms and matching fabric.</del>

**Commented [DCP10]:** Enhance control C49 to encourage the removal of unsympathetic additions.



## Part C ► Heritage Conservation Areas

WOOLLAHRA DEVELOPMENT CONTROL PLAN 2015

## Chapter C1 Paddington Heritage Conservation Area

Part C ► Heritage Conservation Areas

CHAPTER C1 APPROVED ON 27 APRIL 2015  
AND COMMENCED ON 23 MAY 2015

Last amended on 7 December 2020

## C1.2 Understanding the context

### C1.2.1 The significance of the Paddington Heritage Conservation Area

Paddington is a unique urban area which possesses historical, aesthetic, technical and social significance at a National and State level. An important factor in the significance of Paddington is its exceptional unity, encompassing scale, character, history, architecture and urban form.

The built environment of Paddington is an excellent example of the process of 19th century inner city urbanisation of Sydney which was largely completed by 1890. The predominant Victorian built form is an excellent representative example of the phenomena of land speculation and a 'boom' building period between 1870 and 1895.

The terraces of Paddington clearly trace the evolution of the imported English Georgian and Regency terrace models into the distinct Australian style evident in the Victorian era terraces.

Paddington retains many significant types of buildings that represent all phases of the suburb's historical development. These building types range from modest, small-scale, single storey timber and masonry cottages, to remnant examples of former gentry mansions, boom style middle-class terrace houses, apartment blocks and contemporary infill development, all of which are set in a varied network of streets, lanes and pedestrian accessways which reflect the phases of subdivision and development.

Paddington has a multitude of important historical and social associations. It is linked with the early transport routes along South Head Road (Oxford Street) and Point Piper Road (Jersey Road), the construction of Victoria Barracks in the 1840s, the gentry estates, prominent figures of the early colony, the speculative building boom between 1870 and 1890, and the development of Australian tennis at the White City site. Its historical and social associations extend to the periods of occupancy by immigrant groups and minority groups including the Chinese market gardeners, the Jewish community around the turn of the century, the European immigrants in the 1950s and an alternative artistic and intellectual population in the 1960s and 1970s. Today Paddington has a high level of social esteem and is regarded as one of Sydney's most desirable inner-city urban areas. The changing sociology of Paddington demonstrates phenomenal variations in status and changes in community attitudes to the 19th century suburb.

Paddington has important associations with the evolution of the conservation movement in Australia, in particular with the actions by the National Trust and the Paddington Society, which ensured its conservation at a time of redevelopment threat in the 1960s. It is significant as the first suburb classified by the National Trust, a community based, non-government organisation committed to promoting and conserving Australia's heritage.

Paddington has a unique aesthetic significance due to the superimposition of the built form on a sloping topography which overlooks Sydney Harbour and its foreshores. The coherent and extensive Victorian built form comprising groups of terrace buildings on narrow allotments which step down hills, turn corners or sit in ranks along tree lined streets produces a singularly recognisable image.

C1 | Paddington HCA

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Inter-War flat buildings are also present in Paddington. Many of these buildings make an important historic, aesthetic, social and representative contribution to the character and illustrate the historical evolution of development of the area.

Paddington provides vast opportunity for research, education and interpretation through the physical layout of its road network, its subdivision pattern and the varied form of buildings.

These buildings provide an excellent record of past technologies and domestic lifestyles through features such as original external and internal building fabric, detailing and room layouts. Terrace houses, semi-detached dwellings, flat buildings and freestanding houses all show the evolving attitudes towards families and the home from the early 19th to the late 20th century.

**Commented [DCP1]:** Enhance the Statement of Significance to identify that Inter-War flat buildings form part of the evolution of the historical development of Paddington.

### C1.2.2 Building types in Paddington

The built environment of Paddington reveals the historic development of the area. Building types and styles exemplify stages of development and support the overall cultural significance of the area.

Examples of the 1840 to 1870 phase of development include small workers' cottages and boldfaced terraces from the original Paddington village, and grand mansions from the large gentry estates built along the ridgelines, such as Juniper Hall. Rows of Victorian boom style terraces were built between 1870 and 1910 on the subdivisions of the early land grants and large estates.

Later development which occurred on further subdivisions, vacant blocks, or on redeveloped sites includes Federation era terraces, Inter-War ~~apartment~~ flat buildings, 1960s and 1970s high rise style units, and more recently some excellent examples of contemporary infill.

**Commented [DCP2]:** Administrative change: amend terminology for consistency with other sections of the DCP.

The building types most commonly found in Paddington include multi-storey and single-storey terrace house rows, single-storey timber and masonry houses, freestanding houses, mixed commercial and residential buildings, commercial and industrial buildings, pubs and contemporary infill buildings. To ensure that development proposals recognise and respect the particular characteristics of particular building types, Section C1.3 of this chapter sets out specific objectives and controls for these and other building types.

### C1.2.3 Character elements

The character elements represent the distinguishing features of the area that are to be retained. Applications to change the character elements will be assessed against the desired future character controls.

#### Introduction

Paddington has a valuable historic and predominantly 19th century residential character, which is represented by late-Victorian terrace houses, modest workers' cottages, including single-storey timber and masonry houses, and former mansions. It ~~also~~ contains a mix of shops and pubs,

**Commented [DCP3]:** Administrative grammatical change.

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residential flat buildings, commercial buildings and a few surviving light industrial and warehouse buildings, with many being adapted to residential uses.

**Commented [DCP4]:** Amend character elements to reflect the importance of Inter-War flat buildings in Paddington that are distinctive features of the area to be retained.

To protect the heritage significance of Paddington it is important to retain and conserve the many building types that represent the significant phases of the suburb's historical development. These are important buildings and many have original outbuildings, fences and garden settings that are important elements to preserve.

Other townscape features such as significant trees and historical sandstone kerbs and gutters also contribute to the significance of the Paddington HCA.

It is particularly important to conserve the significant fabric and layout of the original front building section which contains the main rooms. This section, including its roof, is referred to as the "principal building form", and commonly faces the street front, with a secondary section behind. The main rooms often contain the most significant details such as plaster work, timber joinery and fireplace surrounds.

Many terrace houses have a small setback from the street. This area, referred to as the "street front zone", provides an important setting for buildings. The setting for freestanding buildings, including timber cottages, is established with their front, side and rear setbacks.

Additions and alterations to existing buildings and the construction of new buildings should be designed with respect to the architectural character of the building and the context of the significant streetscapes of the Paddington HCA. Retention of original fabric and detail is key.

Reconstruction and reinstatement of missing details and building elements is important and encouraged. This includes the removal of inappropriate building elements.

Even small changes to buildings in Paddington require careful consideration. This is critical when changes are visible from the street or from other public spaces.

Alterations to the rear of properties require detailed consideration so as not to alter the proportion, scale and the cohesion in groups of buildings. Due to the topography and the subdivision patterns, rear elevations are often highly visible from the public domain.

In Paddington, the aim should always be to establish a cohesive relationship between new work and the existing building fabric. Contemporary design must respond appropriately to relevant aspects of the historical context.

#### Natural and built character elements

The existing distinguishing natural and built character elements of the Paddington HCA include:

- A topographical form which is shaped into a natural amphitheatre facing north over flatlands and former swamps allowing views to Rushcutters Bay, Sydney Harbour and westwards to the city. This land form also enables internal views of secondary ridges and gullies.
- A variable and intricate street, lane and pedestrian network. The western side of Paddington, originally the Paddington Village, is characterised by short, angled narrow roads with closed vistas and dogleg junctions influenced by the boundaries of early land grants. Dense rows of cottages and terrace housing often have zero setback.

C1 | Paddington HCA

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Later street patterns in the eastern half of Paddington were laid out in the Victorian building boom period. The subdivisions are more strictly ordered with alternating wide streets and rear lanes and are set out on a rectangular grid. Development on corner sites is usually sensitive to the pivotal position they occupy in both streetscapes. Streets provide long vistas. Road surfaces are asphalt and kerbing and guttering is a mix of sandstone and concrete.

- A strong pedestrian character which is reflected in the multitude of passageways, rear and side interconnecting lanes, narrow streets and intermix of residential and non-residential uses. Footpath pavement material is a mixture of asphalt, fly ash concrete and modern concrete.
- A land use character which is predominantly residential but which also contains a mix of shops and pubs (often located on corners), some commercial buildings, and a few remaining light industrial and warehouse style buildings.
- Evidence of the evolution of building styles which reflect historical patterns of growth and land use.
- Terrace housing which forms continuous facades along the streets and steps down the hillside.
- Modest housing forms such as single-storey timber and masonry cottages.
- Variable building heights between terrace groups, one-off buildings and different building types, including timber and masonry cottages.
- Terrace housing, predominantly in distinguishable groups, which displays similar character in terms of form but variation in architectural styles, surface decorative details, verandahs and balcony design, window, door, roof forms and chimney treatments.
- A strong contrast between the formal and frequently more decorative front of the terrace to the street and the simple and utilitarian back of the terrace.
- A street front which in many terraces is characterised by a cast iron palisade fence returning to form side party fencing, a small front garden and path, recessed verandah on the ground floor and balcony on the upper level enclosed by a cast iron balustrade. Other terraces have only a small setback from the street, no front garden, and a cast iron fence to the verandah. Some terraces are built to the front boundary and have an upper floor balcony which cantilevers the footpath. Many Victorian boom style terraces terminate with a street front parapet.
- Some laneways which retain culturally significant fabric including paling fencing, pedestrian gates, brick lavatories and backyard planting.
- A restricted palette of materials including stone, painted stucco, cast iron and tessellated tiles, corrugated roof materials and slate, nearly universal to all street frontages.
- A perceived homogeneity of a Victorian era terrace built form which on close examination is made up of a diversity of building types reflecting the historical development of Paddington.
- A variety of open space and landscape features which are represented in:
  - flatland parks and playing fields - Trumper Oval, Weigall Sportsground, White City;
  - escarpment areas - Trumper Park;
  - public open space created by street closures;
  - early municipal street tree plantings;
  - pocket parks often created on gap sites within the terrace streetscape;

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- remnant established gardens from earlier gentry estates such as the former Scottish Hospital grounds;
- private open space within institutions - Sydney Grammar's Weigall Grounds, White City; and
- private gardens which contribute significantly to the townscape quality of streets and laneways.

#### C1.2.4 Desired future character

The desired future character is a vision statement about the future image and function of the Paddington HCA. Applications will be assessed, among other matters, against their ability to satisfy those outcomes relevant to the development proposal.

This chapter seeks to achieve a desired future character for the Paddington HCA which:

- a) retains the unique national heritage significance of Paddington and recognises it as a rare and distinctive urban area;
- b) reinforces the area as a special residential precinct;
- c) retains and promotes evidence of the historical development of the area and enables interpretation of that historical development;
- d) retains the cohesive character evident in the low scale, high density built form;
- e) retains distinctive features such as parapets, chimneys, mixture of roofs, complex of roads, laneways and alleyways, consistency of colours, subdivision patterns and buildings which follow the landform and the distinctive patterns of terrace house groups;
- f) continues to cater for varied uses and building types within the residential area;
- g) retains the diversity of building types including multi-storey and single-storey terrace house rows, modest scale timber and masonry cottages, semi-detached dwellings, dwelling houses, commercial buildings, pubs, former industrial buildings, places of public worship, [Inter-War flat buildings](#) and public buildings;
- h) enables people to walk or cycle to shops, public transport, schools, parks and entertainment facilities in a safe, pleasant and healthy environment;
- i) provides attractive and vibrant shopping areas for locals and tourists;
- j) provides for sharing of views and vistas; and
- k) exhibits contemporary design excellence.

As Paddington is a living place and will be subject to change over time, Council seeks to encourage new development of a high design standard which respects the significance of the area.

The statement below on contemporary design emphasises the role that modern day design plays in the evolution of Paddington. Issues of contemporary design are relevant to development in the public and private domains.

Commented [DCP5]: Amend to reflect the importance of Inter-War flat buildings in Paddington.

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### C1.3.2 Timber buildings

Timber buildings within the Paddington Heritage Conservation Area include single storey Victorian workers' cottages, two storey Victorian workers' houses, Early Victorian single storey cottages, Late Victorian terraces and semi-attached timber houses.

All forms of timber buildings contribute to the diverse character of Paddington streetscapes and the aesthetic value of the conservation area. Timber buildings are also significant because of their rarity and historical association with the evolution of the Paddington Heritage Conservation Area.

The vast majority of timber buildings in Paddington are single storey workers' cottages constructed between 1840 and 1870. These buildings were built to accommodate local artisans and working class families who played an important role in the development of the Paddington village.

Timber buildings are vulnerable to change and many have been modified over time, are in a deteriorated condition or suffer from structural instability. Despite these changes timber buildings in Paddington continue to make an important contribution to the character of the conservation area and should be conserved.

#### Objectives

- O1 To retain and conserve timber buildings and their setting.
- O2 To retain, restore and conserve the special characteristics and details of timber buildings.
- O3 To restore and reconstruct missing elements of the principal building form within the street front zone.
- O4 To retain and conserve significant side and rear forms of timber buildings.
- O5 To retain, restore and promote the significance, contribution and relationship of a timber building within the context of the conservation area.

**D6 To ensure that additions and alterations for fire and access upgrading are discreet, and retain and respect the original and significant building fabric.**

**Commented [DCP6]:** Add a new objective to address the protection of timber buildings from fire upgrading and access.

#### Controls

- C1 Additional storeys are not permitted to the principal building form of timber buildings.
- C2 When works are proposed to the principal building form or original significant elevations visible from the street or lane, Council strongly encourages, and may require, restoration or reconstruction of missing elements appropriate to the architectural style of the building or reversal of uncharacteristic elements where:
  - a) ~~original render has been stripped from an external wall surface;~~
  - b) balconies or verandahs have been enclosed and details such as balustrade panels, rails, columns, friezes and fringes have been removed;

**Commented [DCP7]:** Delete this control as rendered surfaces can not be found on timber buildings.

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- c) original door or window types and patterns have been removed;
- d) roof cladding is in a unsympathetic material;
- e) details are missing from chimneys; and
- f) inappropriate reconstruction of period detail and elements has occurred.

Note: Reconstruction and restoration may be guided by traditional models and physical or documentary evidence of an earlier state of the building or architectural style.

- C3 Existing setbacks from the front and side boundaries of the principal building form are to be retained.
- C4 Alterations and additions to the rear of buildings must not dominate or compete with the form, height, proportions or scale of the timber building.
- C5 Where structural stabilisation of a timber building is necessary, a sympathetic structural solution that ensures the conservation of as much original external and internal fabric as possible is required.
- C6 Where alterations to timber buildings are required to meet the provisions of the Building Code of Australia, materials must be consistent with traditional materials and finishes.
- ~~C7~~ No parking is permitted under or within the principal building form of a dwelling.
- ~~C8~~ Fire upgrade and access works must be done sympathetically and avoid removal of significant fabric.
- ~~C79~~ Refer to relevant objectives and controls in section 1.3 - Building types, section 1.4 - General policy for existing buildings and infill development and section 1.5 - Specific policy for building and site elements.

**Commented [DCP8]:** Insert a new control to protect timber buildings from demolition in order to facilitate onsite parking.

**Commented [DCP9]:** Insert a new control to address the protection of fabric from fire upgrade and access works.

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### C1.3.6 Residential flat buildings, manor houses, multi dwelling housing and multi dwelling housing (terraces)

Residential flat buildings and multi dwelling housing in Paddington generally consist of small two, three and four storey buildings dating from the 1930s to 1950s, taller buildings dating from the 1960s to 1970s, and the infill buildings of the 1990s. This includes some public housing built during the 1950s.

Early building materials include brick and terracotta with the later buildings constructed from masonry, concrete and glass.

Some of these buildings, because of their scale, bulk and materials, are intrusive elements in the general context of Paddington, and therefore are not contributory buildings.

Inter-War flat buildings illustrate the Inter-War development of Paddington. They make an important historic, aesthetic, social and representative contribution to the character of Paddington.

#### General

#### Objectives

~~O1 To retain contributory examples of residential flat buildings and multi dwelling housing.~~

~~O2~~ To mitigate the effects of intrusive residential flat building, manor house, multi dwelling housing (terraces) and multi dwelling housing development.

~~O3~~ To encourage redevelopment or modification of intrusive development.

~~B3 To ensure that parking does not detract from the character of the streetscape.~~

#### Controls

C1 Redevelopment or modification of intrusive development must be to a design that is appropriate to the relevant aspects of the historic context.

~~C2 Alterations and additions that reverse unsympathetic works is encouraged.~~

~~C3 Alterations and additions to intrusive development must be an appropriate response to the historic streetscape and mitigate intrusiveness.~~

#### Inter-War flat buildings

#### Objectives

O1 To conserve and maintain Inter-War flat buildings and multi dwelling housing in Paddington by ensuring these buildings and their significant characteristics are retained and protected.

O2 To conserve the principal street elevations and the character of Inter-War flat buildings.

**Commented [DCP10]:** Insert new paragraph to reflect the importance of Inter-War flat buildings in Paddington.

**Commented [DCP11]:** Amend Clause 1.3.6 so that there are general controls for all flat buildings and more detailed controls for Inter-War flat buildings consistent with B3.8.7.

**Commented [DCP12]:** Delete objective O1 as this is replaced by proposed O1 of Inter-War flat buildings objectives.

**Commented [DCP13]:** Insert new objective (consistent with B3.8.7) to ensure that parking does not detract from the streetscape.

**Commented [DCP14]:** Insert new control C2 to encourage the reversal of unsympathetic works.

**Commented [DCP15]:** Insert new control C3 to encourage an appropriate response of intrusive development to the HCA.

**Commented [DCP16]:** Insert new set of objectives and controls for Inter-War flat buildings consistent with B3.8.7.

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- O3 To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.
- O4 To ensure that alterations and additions to the roofs are discreet and do not detract from the original character, proportions or key elements.
- O5 To conserve the established garden settings, including significant elements and features.
- O6 To ensure that external materials, details and finishes respect and complement the original building.
- O7 To ensure that works to balconies and verandahs do not detract from the character and form of Inter-War flat buildings.
- O8 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.
- O9 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.
- O10 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.
- O11 To ensure that fire safety and access upgrading are discreet, and retain and respect the original and significant building fabric.
- O12 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.
- O13 To promote restoration and reconstruction works to restore significance.

#### Controls

- C1 Significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations are to be retained, except for restoration or reconstruction.
- C2 Changes to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building.
- C3 Alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.
- C4 Additions are limited to undercroft areas, roof spaces and the provision of balconies.
- C5 Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.
- C6 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.
- C7 Existing original fanlights and other openings are retained and sealed from behind, if necessary.
- C8 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.

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- C9 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.
- C10 New additional security elements are in character with the building. Security bars are:
- a) fitted internally;
  - b) respect the existing glazing patterns; and
  - c) painted in a dark recessive colour.
- C11 Original verandas and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.
- C12 New verandahs and balconies are allowed to the rear or side elevations only if they:
- a) respect the character of the existing building; and
  - b) are sympathetically integrated with the character and form of the building.
- C13 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.
- C14 Materials are similar in type and finish to those on the original building or sympathetically integrate with the fabric of the building.
- C15 Original face brickwork, terracotta or decorative concrete panels must not be painted, rendered or coated.
- C16 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building. Skylights are flush with the roof surface.
- C17 Original chimneys and their details are retained.
- C18 Privacy screens are discreet and do not impact on the overall character of the building.
- C19 Protruding shade structures, including awnings and canopies, are not located on the principal building elevations.
- C20 The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.
- C21 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, wall details, light fittings, internal doors and the like.
- C22 New lifts are designed and located so that the addition:
- a) is located outside the principal building form, if practical; and
  - b) does not require significant alterations to existing common areas.

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C23 Previous unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced by reinstating original forms and matching fabric or with new works sympathetic to the age and style of the building.

~~C17~~C24 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.

Commented [DCP17]: Existing control C17 integrated into the new set of controls as C24.

C25 Alarm bell boxes and the like, are not attached to the principal building elevations.

C26 New or upgraded services are discreetly and sensitively located to minimise visual impact. They are located within existing ducts, behind cornices or bulkheads or within external lightwells that are not visually prominent. Wiring or other services are housed in concealed conduits.

C27 Original timber staircases are retained and smoke isolated, if necessary.

C28 Where the height of the original stair balustrades is modified –the modification is discreet and sympathetically integrated with the existing stair balustrade.

C29 Stair treads applied to existing stairs are discreet.

C30 Emergency and exit lighting is incorporated into existing original light fittings, where practical.

C31 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.

C32 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.

C33 Original fencing, gates and mailboxes are retained and conserved.

C34 New ancillary development:

- a) is smaller in scale than the principal building;
- b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;
- c) is constructed in a style, form, materials and finishes that complement the principal building;
- d) is single storey with a maximum clear internal height of 2.4m; and
- e) is sympathetic in scale and style to traditional forms of ancillary structures.

C35 Characteristic front gardens, and their elements, are retained with minimal alteration.

C36 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.

C37 New fences and gates to the front building alignment must complement the streetscape and the existing building.

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C38 Mailboxes are discreetly located and do not impact on the character of the building.

~~C2 Alterations may be made to the external finishes of residential flat buildings and manor houses, if appropriate to the building type.~~

~~C3 Alterations are permitted that reverse any unsympathetic works to residential flat buildings, manor houses, multi dwelling housing (terraces) and multi dwelling housing.~~

~~C4 Alterations and additions must not adversely affect the form or character of contributory buildings.~~

~~C6 Alterations or additions to the original forms, details or materials of the principal elevations of contributory buildings are not permitted.~~

~~C7 Alterations and additions to an individual unit must not adversely affect the cohesiveness of the principal building form of the building.~~

~~C8 Alterations to windows and external doors of contributory buildings are not permitted except where they would not be visually prominent, such as to rear ground floor flats or below street level.~~

~~C9 Enclosure of balconies and verandahs of contributory buildings is not permitted.~~

~~C10 Alterations to improve accessibility (including lifts, ramps and stairs) must retain the original character and design of the building and setting.~~

~~C11 Skylights are not permitted where visible from the public domain.~~

~~C12 Dormer windows are not permitted.~~

~~C13 Ancillary development must be no higher than one storey and should be constructed of materials in the style and character of the principal building.~~

~~C14 Ancillary development should be located behind the principal building form.~~

~~C15 Shade structures including awnings and canopies are not permitted to the street front elevation of the building.~~

~~C16 Privacy screens must be discreet, must not be visible from the street and must not adversely affect the overall character of the building.~~

~~C18 Existing ground level landscaped spaces must not be reduced in area, or screen the principal elevation of the building.~~

Note: Refer also to Section 1.2.5 Contemporary design in Paddington and Section 1.3.14 Intrusive buildings.

**Commented [DCP18]:** Control deleted as it is replaced by proposed C2 of Inter-War flat buildings controls.

**Commented [DCP19]:** Control deleted as it is replaced by proposed C1 of the General controls.

**Commented [DCP20]:** Control deleted as it is replaced by proposed C3 and C5 of the Inter-War flat building controls.

**Commented [DCP21]:** Control deleted as it is replaced by proposed C5 and C6 of the Inter-War flat buildings controls.

**Commented [DCP22]:** Control deleted as it is replaced by proposed C3 and C4.

**Commented [DCP23]:** Control deleted as it is replaced by proposed C6 and C9.

**Commented [DCP24]:** Control deleted as it is replaced by proposed C11.

**Commented [DCP25]:** Control deleted as it is replaced by proposed C13.

**Commented [DCP26]:** Control deleted as it is replaced by proposed C16.

**Commented [DCP27]:** Control deleted as it is replaced by proposed C16.

**Commented [DCP28]:** Control deleted as it is replaced by proposed C34.

**Commented [DCP29]:** Renumber existing control C14 as proposed C34.

**Commented [DCP30]:** This control is deleted as it is replaced by proposed C19.

**Commented [DCP31]:** This control is deleted as it is replaced by proposed C18.

**Commented [DCP32]:** This control is deleted as it is replaced by proposed C36.

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## Chapter C2 Woollahra Heritage Conservation Area

Part C ► Heritage Conservation Areas

CHAPTER C2 APPROVED ON 27 APRIL 2015  
AND COMMENCED ON 23 MAY 2015

#### C2.4.5 Inter-War flat buildings

The Inter-War flat buildings in the Woollahra HCA are usually three storeys high and demonstrate the influence of the Inter-War housing styles found within the Woollahra HCA. These residential flat buildings were usually built in face brickwork with contrasting decorative panels or in textured render in the Georgian Revival, Mediterranean, Spanish Mission or Old English style. Some excellent multi-storey examples of the skyscraper Gothic style within landscaped settings also exist.

There is generally little potential for additions and alterations to Inter-War flat buildings as changes usually have a negative impact on the overall character of the buildings and their settings.

Inter-War flat buildings make a contribution to the conservation area as they illustrate the evolution of Sydney's living accommodation from the single house to the acceptance of multi-unit living during the Inter-War period.

##### Objectives

O1 To conserve and maintain Inter-War flat buildings in Woollahra.

~~O4~~2 To ensure that the original significant characteristics of Inter-War flat buildings contributing to the character of the area are retained and protected.

O3 To conserve the principal street elevations and the character of the Inter-War flat buildings.

O4 To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.

O5 To ensure that alterations and additions to the roofs are discreet and do not detract from the original character, proportions or key elements.

O6 To conserve the established garden settings, including significant elements and features.

O7 To ensure that parking does not detract from the character of the streetscape.

O8 To ensure that external materials, details and finishes respect and complement the original building.

O9 To ensure that works to balconies and verandahs to rear or side elevations do not detract from the character and form of Inter-War flat buildings.

O10 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.

O11 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.

O12 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.

**Commented [DCP1]:** Insert new paragraph to reflect the importance of Inter-War flat buildings in Woollahra.

**Commented [DCP2]:** Amend objectives so that there are controls for Inter-War flat buildings consistent with B3.8.7.

**Commented [DCP3]:** Renumber existing objective O1 with proposed O2.

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~~D213 To ensure fire safety and access upgrading works are discreet, and retain and respect the original and significant building fabric. To ensure those services upgrading and fire safety works are carried out in a way that retains and conserves the distinctive characteristics of the building.~~

Commented [DCP4]: Renumber existing objective O2 with proposed O13.

~~D3 To allow sympathetic additions to the external façade of Inter-War flat buildings that conserve the distinctive or original characteristics of the building.~~

Commented [DCP5]: Control deleted as it is replaced by proposed O3, O4 and O5.

~~D4 To encourage redevelopment or modification of intrusive development.~~

Commented [DCP6]: Control deleted as it is replaced by proposed O15.

O14 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.

O15 To promote restoration and reconstruction works to restore significance.

#### Controls

Commented [DCP7]: Enhance controls for Inter-War flat buildings consistent with B3.8.7.

#### Streetscape

C1 Significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations are to be restored or reconstructed.

C2 Changes to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building.

C3 Alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.

C4 Additions are limited to undercroft areas, roof spaces and the provision of balconies.

C5 Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.

C6 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.

C7 Existing original fanlights and other openings are retained and sealed from behind, if necessary.

C8 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.

C9 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.

C10 New additional security elements are in character with the building. Security bars are:

- a) fitted internally;
- b) respect the existing glazing patterns; and
- c) painted in a dark recessive colour.

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- C11 Original verandahs and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.
- C12 New verandahs and balconies are allowed to the rear or side elevations only if they:
- a) respect the character of the existing building; and
  - b) are sympathetically integrated with the character and form of the building.
- C13 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.
- C14 Materials are similar in type and finish to those on the original building or sympathetically integrate with the fabric of the building.
- C15 Original face brickwork, terracotta or decorative concrete panels must not be painted, rendered or coated.
- C16 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building. Skylights are flush with the roof surface.
- C17 Original chimneys and their details are retained.
- C18 Privacy screens are discreet and do not impact on the overall character of the building.
- C19 Protruding shade structures, including awnings and canopies, are not located on the principal building elevations.
- C20 The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.
- C21 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, wall details, light fittings, internal doors and the like.
- C22 New lifts are designed and located so that the addition:
- a) is located outside the principal building form, if practical; and
  - b) does not require significant alterations to existing common areas.
- C23 Previous unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced by reinstating original forms and matching fabric or with new works sympathetic to the age and style of the building.
- C24 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.
- C25 Alarm bell boxes and the like, are not attached to the principal building elevations.
- C26 New or upgraded services are discreetly and sensitively located to minimise visual impact. They are located within existing ducts, behind cornices or bulkheads or within

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external lightwells that are not visually prominent. Wiring or other services are housed in concealed conduits.

C27 Original timber staircases are retained and smoke isolated, if necessary.

C28 Where the height of the original stair balustrades is to be modified –the modification is discreet and sympathetically integrated with the existing stair balustrade.

C29 Stair treads applied to existing stairs are discreet.

C30 Emergency and exit lighting is incorporated into existing original light fittings, where practical.

C31 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.

C32 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.

C33 Original fencing, gates and mailboxes are retained and conserved.

C34 New ancillary development:

a) is smaller in scale than the principal building;

b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;

c) is constructed in a style, form, materials and finishes that complement the principal building;

d) is single storey with a maximum clear internal height of 2.4m; and

e) is sympathetic in scale and style to traditional forms of ancillary structures.

C35 Characteristic front gardens, and their elements, are retained with minimal alteration.

C36 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.

C37 New fences and gates to the front building alignment must complement the streetscape and the existing building.

C38 Mailboxes are discreetly located and do not impact on the character of the building.

~~C1 Contributory and/or characteristic street front gardens are to be maintained.~~

~~C2 There shall be no structures, including secondary fencing, erected in the front gardens which detract from the feeling of openness or impact upon the principal elevations of the buildings.~~

~~C3 There shall be no alterations or additions to the original forms, details or materials of the principal elevations of the buildings.~~

Commented [DCP8]: Control deleted as it is replaced by proposed C35.

Commented [DCP9]: Control deleted as it is replaced by proposed C35 and C36.

Commented [DCP10]: Control deleted as it is replaced by proposed C2 and C3.

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~~C4 All car parking and garage structures are to be located at the rear with access from the rear lane or side driveway.~~

**Commented [DCP11]:** Control deleted as it is replaced by proposed C32.

#### *Landscaped area*

~~C5 The landscaped areas shall not be reduced in area or screen the principal elevation of the building.~~

**Commented [DCP12]:** Control deleted as it is replaced by proposed C35 and C36.

#### *Alterations and additions*

~~C6 Alterations and additions to an individual flat must not adversely affect the cohesiveness of the principal building form of the building.~~

**Commented [DCP13]:** Control deleted as it is replaced by proposed C3 and C4.

~~C7 Additions should not significantly change the overall form of the building. Additions should not be visually disruptive to the form or character of the building.~~

**Commented [DCP14]:** Control deleted as it is replaced by proposed C3.

~~C8 Alterations to windows and external doors are not permitted except where they are not visually prominent, such as to rear ground floor flats or below street level.~~

**Commented [DCP15]:** Control deleted as it is replaced by proposed C6 and C7.

~~C9 Enclosure of balconies and verandahs is not permitted.~~

**Commented [DCP16]:** Control deleted as it is replaced by proposed C11.

~~C10 Proposed alterations to improve accessibility, including lifts, ramps and stairs, must retain the original character and design of the building and setting.~~

**Commented [DCP17]:** Control deleted as it is replaced by proposed C13.

~~C11 Original timber staircases must be retained and smoke isolated if necessary.~~

**Commented [DCP18]:** Control deleted as it is replaced by proposed C27.

#### *Roofs*

~~C12 The original roof form of the building is not to be altered.~~

**Commented [DCP19]:** Control deleted as it contradicts proposed C16.

~~C13 Roofs must not be re-pitched to allow for the introduction of an attic storey.~~

**Commented [DCP20]:** Control deleted as it is replaced by proposed C13.

~~C14 Skylights are not permitted where visible from the public domain.~~

**Commented [DCP21]:** Control deleted as it is replaced by proposed C16.

~~C15 Dormers are not permitted.~~

**Commented [DCP22]:** Control deleted as it contradicts proposed C16.

#### *Fences and gates*

~~C16 Fences and gates at the street frontage must be between 400mm and 900mm in height and consistent in design with the style, form, materials, finishes and character of the building. Appropriate materials are generally masonry for fences and wrought iron for gates.~~

**Commented [DCP23]:** Control deleted as it is replaced by proposed C37.

~~C17 Fencing behind the front outer wall of the building must be timber paling.~~

**Commented [DCP24]:** Control deleted as it is replaced by proposed C14 and C37.

#### *Ancillary development*

~~C18 Ancillary development must be no higher than one storey and located between the principal building and the rear boundary. They should be constructed of material in the style and character of the principal building and with traditional forms of ancillary development.~~

**Commented [DCP25]:** Control deleted as it is replaced by proposed C34.

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~~C19 Shade structures, including awnings and canopies, are not permitted to the principal elevation of the building.~~

**Commented [DCP26]:** Control deleted as it is replaced by proposed C19.

~~C20 Privacy screens must be discreet, must not be visible from the street and must not adversely affect the overall character of the building.~~

**Commented [DCP27]:** Control deleted as it is replaced by proposed C18.

*Extended materials*

~~C21 Materials for repair or replacement must match the original material in type, profile and colour.~~

**Commented [DCP28]:** Control deleted as it is replaced by proposed C1, C2 and C14.

~~C22 Original face brick, terracotta or decorative concrete panels on external elevations are not to be rendered, painted or coated.~~

**Commented [DCP29]:** Control deleted as it is replaced by proposed C15.

~~C23 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.~~

**Commented [DCP30]:** Control deleted as it is replaced by proposed C13, C24 and C26.

~~C24 Concrete tiles and metal roofing are not permitted.~~

**Commented [DCP31]:** Control deleted as it is replaced by proposed C14 and C20.

~~C25 Aluminium windows are not permitted as replacements for timber windows, but may replace steel windows if they match the original windows in all other respects.~~

**Commented [DCP32]:** Control deleted as it is replaced by proposed C6 and C14.

**FIGURE 13** Typical Inter-War flat building



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## Chapter C3 Watsons Bay Heritage Conservation Area

Part C ► Heritage Conservation Areas

CHAPTER C3 APPROVED ON 27 APRIL 2015  
AND COMMENCED ON 23 MAY 2015

C3 | Watsons Bay HCA

► Part C | Heritage Conservation Areas

### C3.4.1 Precinct A: Entrance

#### Character statement

This precinct stretches from the south end of Upper Gap Park along Old South Head Road to Robertson Place. This area serves as a spectacular gateway to Watsons Bay with a sense of arrival enhanced by elevated views and vistas over Watsons Bay and Upper Gap Park Reserve to the Heads (Figures 1, 2 and 3).

The two storey housing on the north side of Robertson Place terminates the descent into Watsons Bay along Old South Head Road. The historic road alignments of Old South Head Road and Robertson Place have been retained, although the early form of Robertson Place has been altered by the change in levels around a visually intrusive roundabout.

Contrasting built elements within the precinct create a visually diverse streetscape. There is a significant grouping of historic buildings on the north side of Robertson Place, comprising three two storey Federation period semi-detached dwellings, a pair of originally single story Victorian period weatherboard semi-detached dwellings and "Keronga", a 1920s two storey (plus basement) residential building (Figure 4). The group is relatively consistent in its scale and alignment. Setbacks to each building, although varied, incorporate a set pattern that reflects the road alignment. A contemporary residence, within which remnants of a 1830s stone cottage remain, visually detracts from the group of earlier buildings.

A single detached house at the intersection of Hopetoun Avenue (within the Salisbury Street/Hopetoun Avenue Precinct) and the low-scaled (two storey) retirement housing (within the Vaughan Village Precinct) on the east side of the precinct are both set within gardens behind a low sandstone block wall. This fencing is characteristic of the fencing within this precinct, which consists mainly of sandstone block or rendered brick (Figure 5).

A small sandstone obelisk commemorates the completion of the construction of (Old) South Head Road to Watsons Bay in 1811.

Although partly obscured by the single storey yacht club, significant public views west from Robertson Place to the public baths and Sydney Harbour have been maintained.

**FIGURE 1** Aerial view of the precinct



**FIGURE 2** View over Upper Gap Park and Watsons Bay to the Harbour



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**FIGURE 3**

View over Upper Gap Park to the Heads



**FIGURE 4**

Two storey housing on north side of Robertson Place



**FIGURE 5** Old South Head Road featuring low sandstone wall stepping up both sides



#### PRECINCT CONTROLS

The precinct specific controls supplement the general controls for development in Section C3.5. If there is an inconsistency between the precinct controls and the general controls, the precinct controls take precedence.

#### Topography and vegetation

- C1 Existing scale relationships are to be maintained between more elevated properties along Old South Head Road and the properties lower down along Robertson Place.
- C2 No change in existing building heights is permitted for properties fronting Robertson Place.

#### Townscape

- C3 Existing subdivision patterns along Robertson Place are to be retained. Any proposal to create a new lot or amalgamate lots must be of a size (in area and dimensions) which reflects the characteristics of historically relevant lots adjoining and in the vicinity of the site.
- C4 Historic road alignments of Old South Head Road and Robertson Place are to be retained.

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#### Views and vistas

- C5 Existing views from the public domain are to be retained over roofs to the harbour from the elevated areas of the precinct, including those along Old South Head Road.
- C6 Existing roofscapes (pitched roofs) are to remain uncluttered by intrusive structures so as to not detract from views to and from elevated areas of the public domain.

#### Contributory items

Note: Heritage items as identified in Schedule 5 of Woollahra LEP 2014 are also contributory items. Refer to clause 5.10 of the LEP for heritage conservation controls.

Contributory items	
1 Robertson Place	2 storey <del>Inter-War flat building</del> interwar duplex 'Keronga'
3 Robertson Place	2 storey Federation semi-detached dwelling
5 Robertson Place	2 storey Federation semi-detached dwelling
7 Robertson Place	2 storey Federation semi-detached dwelling
9 Robertson Place	2 storey Federation semi-detached dwelling
11 Robertson Place	2 storey Federation semi-detached dwelling
13 Robertson Place	2 storey Federation semi-detached dwelling
15 Robertson Place	Single storey Victorian semi-detached dwelling
17 Robertson Place	Single storey Victorian semi-detached dwelling
19 Robertson Place	2 storey Edwardian semi-detached dwelling
21 Robertson Place	2 storey Edwardian semi-detached dwelling
23 Robertson Place	Portions of an early Victorian cottage [1839] within a 3 storey contemporary house
Old South Head Road	Bus shelters

Commented [DCP1]: Administrative change: amend terminology consistent with other chapters of the DCP.

- C7 Contributory items (i.e. includes heritage items) are to be retained.
- C8 Changes to contributory items is limited to sympathetic alterations and additions consistent with the built form controls for contributory items in Section C3.6 of this chapter.

#### Built form

The following controls apply to new dwellings, or the main new building on the site. Separate controls apply to secondary structures such as new garages, carports, ancillary buildings and the like.

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**Building siting and alignment**

**Streetfront setbacks**

- C9 Existing streetfront setback patterns are to be maintained, particularly those associated with the group of historic buildings on the north side of Robertson Place (Figure 4).
- C10 New buildings are to be orientated parallel with adjacent properties (not parallel to the street frontage) to maintain existing streetscape patterns.

**Side boundary setbacks**

- C11 New buildings adjacent to, and within, Robertson Place are to achieve a similar setback pattern to the contributory items located on the north side of Robertson Place.

**Building height**

- C12 The height of new buildings is to be no greater than the predominant height of contributory items within the streetscape and in any case is limited to two storeys.
- C13 Existing views from the elevated areas of the precinct (from the upper areas of Old South Head Road overlooking Watsons Bay to the harbour) are not to be obstructed by higher development below. New buildings on land fronting Robertson Place are to be no higher than the predominant height of existing buildings.

**Building form**

- C14 Rectilinear plan and traditional pitched roof forms are to be used to relate to the established streetscape character.

**Building materials and details**

- C15 The following materials are appropriate for new buildings:
- a) Walls: rendered brick or sandstone.
  - b) Pitched roofs (dwellings): slate or tiled with unglazed terracotta or dark earth tones.

**Landscaping and site coverage**

- C16 New buildings are to retain and reinforce the typical garden layouts of the front building setbacks with paths, small trees, shrubs and, where space permits, lawns.
- C17 The building footprint plus paved surfaces (patios, pathways, tennis courts and swimming pools together) must not exceed 75% of the site area, in order to provide 25% of the site area for landscaped area, including plantings.

**Fences and walls**

- C18 Where existing, original square top picket fencing is to be retained.

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- C19 Fencing should be limited to traditional timber paling, or rendered or bagged masonry walls (or, where evidence of previous use exists, composite masonry/timber. Fences should step down in height to 1.2m at front boundary line.

**Car parking and access**

- C20 Garages and carports are to be set back behind the front of the main building, preferably at the rear of the property.
- C21 Hardstand car parking spaces are not to be forward of the main building.
- C22 No new garages or carports are to be constructed for existing contributory items, where these would adversely affect the form and presentation of the item.

**Inter-War flat buildings or multi dwelling housing**

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

Commented [DCP2]: Insert a new reference to the new Inter-War flat buildings controls.

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#### C3.4.4 Precinct D: Commercial and residential flat buildings

##### Character statement

Centred on historic Military Road which linked South Head Road to the defence and navigational establishments and the village of Camp Cove, the precinct extends from Gap Road in the north to Robertson Place in the south, and is bounded by properties with frontage to Military Road (Figure 18).

The precinct contains the Military Road commercial centre of Watsons Bay. The visually distinctive former town hall, built on sites associated with the 1887 subdivision around the later demolished Gap Hotel, is surrounded by a group of residential flat buildings. Buildings are aligned close to or at street frontage, thereby forming a relatively enclosed streetscape (or 'hard' built edge) comprising mainly two to three storey buildings set below the high ridge of Upper Gap Park.

The former town hall, a single storey sandstone shop with timber cottage behind, a group of Inter-War shops and residential flat buildings contribute positively to the streetscape. The silhouette of the parapets of the former town hall and Inter-war shops opposite define the streetscape, giving visual prominence to the former town hall and definition to the height of buildings within the streetscape (Figures 19 and 20). The taller height and assertive forms of some of the newer development challenges the prominence of these historic elements within the streetscape.

The Gap Bluff Precinct of the Sydney Harbour National Park and the spire of 'Our Lady Star of the Sea' church visually terminate the streetscape at the north and south ends respectively (Figure 21). While the mix of building styles and forms create an architecturally diverse streetscape, it is very uneven in terms of form, character and detail, which detracts from the contributory items within the streetscape.

**FIGURE 18**  
Aerial view of the precinct



**FIGURE 19** West side of Military Road,  
residential flats and Inter-War shops



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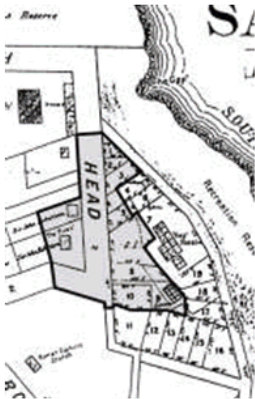
**FIGURE 20** East side of Military Road, with former town hall prominent.



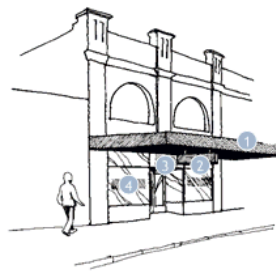
**FIGURE 21** Streetscape with spire above



**FIGURE 22** Extract from the 1887 'Watsons Bay' subdivision plan



**FIGURE 23**  
An example of appropriate shopfront signage



- 1 Awning fascia sign
- 2 Under awning sign
- 3 Top hamper sign
- 4 Painted or etched window

**FIGURE 24** 25 Military Road with weatherboard cottage (11 Gap Road) behind



**FIGURE 25** East side of Military Road, north of the Town Hall



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**FIGURE 26** Looking south towards the Town Hall



#### PRECINCT CONTROLS

The precinct specific controls supplement the general controls for development in Section C3.5. If there is an inconsistency between the precinct controls and the general controls, the precinct controls take precedence.

##### Topography and vegetation

- C1 New development is not to alter the existing scale relationships between the high natural ridge of Gap Park on the eastern side and the lower scaled buildings below.
- C2 Mixed shrub and groundcover beds in footpaths, as well as private planter boxes attached to building facades or on low walls, detract from the streetscape and should be removed.

##### Townscape

- C3 The surviving subdivision pattern is to be retained, including width and depth of allotments that provides evidence of 1887 subdivision around the Gap Hotel (Figure 22).
- C4 The overall consistency of building alignment is to be retained (i.e. built close to or at the street frontage).
- C5 The cohesiveness of the centre is to be reinforced. New development is to respect the scale, massing and architectural character of adjacent heritage and contributory items.
- C6 Infill development within the neighbourhood business zone is to be of traditional 'main street' form, with shops at ground level and housing or commercial space above.
- C7 The location of outdoor footpath dining must maintain continuity of public access.
- C8 The number of signs is to be limited to avoid visual clutter on individual premises and within the streetscape.

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**Signage and advertising (commercial buildings)**

*Signs are to be:*

- C9 Located at ground level on shopfronts (hampers), awnings and under awnings (Figure 23).
- C10 Designed to fit within the existing architectural elements of buildings and not obscure architectural features.
- C11 Designed to an appropriate size and scale for the building on which they are to be erected.
- C12 Painted and, where illumination is desired, externally spot lit.
- C13 Fixed to buildings in a manner that does not damage significant building fabric.

*Signs are to:*

- C14 Identify the building and its use only. General trade advertising signs are not permitted.
- C15 Incorporate style, lettering and colours that complement the style and character of the building to which they are attached.

*Signs are not to be:*

- C16 Located on windows other than to indicate the name and nature of the business. Window signs are to be discrete and of a professional design quality. Views to the interior of the building are not to be obscured unduly.
- C17 Fixed above awning level.
- C18 Painted on previously unpainted surfaces of heritage and contributory items.
- C19 Standardised corporate signage.
- C20 Internally lit, neon or with flashing lights. Small and discrete internally illuminated signs may be installed within shopfronts.

**Views and vistas**

- C21 Existing public views over roofs to the harbour from Gap Park are to be retained, including views from the former tram corridor.
- C22 The vista from Military Road to Gap Park and cottage behind the sandstone commercial building at 25 Military Road is to be retained (Figure 24).
- C23 Roofs are to remain uncluttered by intrusive structures and services in order not to detract from the significant views from Gap Park towards the harbour.

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#### Contributory items

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items. Refer to clause 5.10 of the LEP for heritage conservation controls.

Contributory items	
3 Military Road	2 storey 1920s <del>Inter-War flat building</del> flats over retail
10 Military Road	2 storey Federation styled housing over retail
12A Military Road	2 storey Federation styled housing over retail with original shopfront

Commented [DCP3]: Administrative change: amend terminology consistent with other chapters of the DCP.

C24 Contributory items (i.e. includes heritage items) are to be retained.

C25 Change to contributory items is limited to sympathetic alterations and additions consistent with the controls in Section C3.6.

C26 Reconstruction of the original window configuration in the Inter-War period shops group is encouraged and should occur concurrently when development is proposed for those buildings.

C27 Original significant shopfronts at 10 Military Road are to be retained.

C28 Existing setbacks from the street are to be maintained.

#### Built form

The following controls apply to new dwellings, or the main new building on the site. Separate controls apply to secondary structures such as new garages, carports, ancillary buildings and the like.

#### Building siting and alignment

##### Street front and side boundaries – east side

C29 New buildings are to be built to the street alignment to the north of the former Town Hall, with exception of the allotment immediately adjacent (Figure 25). South of the former town hall building, new buildings are to be set back to match the existing residential flat building alignment, up to the corner site, which should be built to the street alignment (Figure 26).

##### Street front and side boundaries – west side

C30 New buildings are to be built to the street alignment and to side boundaries on all levels. Existing gaps in the street wall are to be infilled when further development occurs to those properties.

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*Rear setbacks*

- C31 Building setbacks from rear should relate to existing setback pattern on adjoining blocks and maintain amenity of neighbouring residential property.

*Building height*

Note: Maximum building height is specified in Woollahra LEP 2014.

*Building form*

- C32 New buildings are to be built with parapeted rectilinear forms in order to relate to similar contributory items and to achieve greater unity within the streetscape.
- C33 New building forms are not to be so visually assertive in the streetscape that the historic character is eroded.
- C34 New buildings on the west side of Military Road are to be constructed with awnings.
- C35 New buildings on the east side of Military Road are to be subservient in form and height to those of the former town hall in order to retain its visual prominence in the streetscape.
- C36 The location and mix of uses in the precinct should ensure adequate residential amenity in terms of sunlight access and visual and acoustic privacy.

*Building character*

- C37 Facades are to be modulated into vertically proportioned bays and openings.

*Building materials and details*

- C38 Walls above awnings are to be rendered and painted masonry. Sandstone or ceramic tiles are permitted at ground level.

*Landscaping and site coverage*

*Commercial buildings*

- C39 Landscaping is not appropriate at street frontage.

*Residential flat buildings or multi dwelling housing*

- C40 Landscaped area is permitted in front of residential flat buildings and multi dwelling housing, except at the street corners.
- C41 The building footprint plus paved surfaces (patios, pathways, tennis courts) and swimming pools together must not exceed 75% of the site area in order to provide 25% of the site area for landscaped area, including planting.

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- C42 Planting should be carefully selected to ensure that the mature height and canopy spread is not excessive for the limited space available. Refer to Section 3.5.6 Landscaping and private open space.

#### Fences and walls

- C43 Low masonry walls of a maximum height of 1.2m are to be provided along the street alignment to new residential development on the east side, south of the town hall. Materials are to be sandstone or match the building finish to which they relate.
- C44 Side and rear fences, when not street fronting, are to be traditional timber paling fences or masonry walls of 1.8m maximum height, rendered and painted.

#### Car parking and access

- C45 No new driveways from Military Road are permitted.
- C46 No new garages are permitted on the street frontage.
- C47 The existing multiple garages fronting the east side of Military Road are to be replaced/relocated when development occurs to those sites.

#### Site facilities and aerial devices

- C48 Servicing of the commercial buildings is to be provided from the rear, where possible.

#### Inter-War flat buildings or multi dwelling housing

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

Commented [DCP4]: Insert a reference to the new Inter-War flat buildings controls.

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#### C3.4.10 Precinct K: Camp Cove Village

##### Character statement

Part of the 1855 The Town of Watsons Bay subdivision, the precinct is bounded by Victoria Street, Cliff Street, Short Street and Pacific Street. This part of the early subdivision has mostly retained its historic townscape character, with low-scaled one and two storey detached houses sited on relatively small allotments. Camp Cove Reserve, originally a lagoon behind the sand dunes, is at its core.

Houses are generally built close to the street, with only small setbacks from front and side boundaries. There are limited small areas of garden space at the front behind low fences and within yards at the rear. Trees in the rear yards form a backdrop to the houses when viewed from the streets.

Buildings and groups of buildings that contribute to the character of the precinct date from two key periods: 1850s-1870s and 1910s-1930s. The precinct includes most of the timber weatherboard cottages in Watsons Bay, which is the largest concentration in Woollahra Municipality. The key contributory groups are:

##### Victoria Street

- Surviving single storey weatherboard and masonry cottages, and a two storey c1930s house on a larger allotment, with ~~duplex (flat)~~ Inter-War flat building at corner of Pacific Street.

Commented [DCP5]: Administrative change: amend terminology consistent with other chapters of the DCP.

##### Pacific Street

- Small-scaled one and two storey brick and weatherboard cottages behind low fences and small front gardens. These soften built edge and create more uniform streetscape character than on the opposite side.

##### Cliff Street

- Variety of housing dating from 19th century to early-mid 20th century, including single storey brick and early weatherboard cottages with pitched roofs. Many have very small to negligible setbacks from street with low fences that contribute to the historic townscape.

##### Cove Street

- One and two storey cottages on the north-east side, with pitched roofs, set back from the street frontage behind a variety of fences, some with small front gardens.
- Significant group of early single storey cottages with verandahs aligned with street frontage.
- Larger, two storey buildings at south end, including a group of four two storey terraces (Portuguese terraces) and a two storey weatherboard house, built close to the street frontage.

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#### *Short Street*

- The single storey cottage at the intersection of Short Street and Military Road.

#### *Camp Street*

- The laneway character with rear yards of houses set behind fences and carports.

The contrast between the modest cottages of the precinct and the large waterfront mansions of the adjoining precincts creates two visually distinct streetscape components along Victoria Street and Pacific Street. The streetscape of Cliff Street provides further contrast between low-scaled housing on one side and the rising ridge of the national park opposite. These visual distinctions reinforce the historic townscape character of the precinct.

Public views to the harbour from within the precinct from the end of Victoria Street, near the Victoria Wharf Reserve. Camp Cove Reserve provides an internal focus, with views into it from Cove Street, Pacific Street and Camp Street. There are broader vistas to HMAS Watson, and the distant spire of Our Lady Star of the Sea.

**FIGURE 75** Aerial view of the precinct



**FIGURE 76** Victoria Street



**FIGURE 77** Pacific Street



**FIGURE 78** Cliff Street



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**FIGURE 79** Stone and weatherboard cottages on Cove Street



**FIGURE 80** Camp Street from Reserve



**FIGURE 81** Extract from 1855 'Town of Watsons Bay' subdivision plan



**FIGURE 82** Intersection of Short Street and Cliff Street



**FIGURE 83** View along Camp Street into Camp Cove Reserve



**FIGURE 84** Portuguese Terraces in Cove Street



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**FIGURE 85** Weatherboard and stone cottages on Cove Street



**FIGURE 86** Weatherboard cottage on Cliff Street



**FIGURE 87** Appropriate fencing along Victoria Street



#### PRECINCT CONTROLS

The precinct specific controls supplement the general controls for development in Section C3.5. If there is an inconsistency between the precinct controls and the general controls, the precinct controls take precedence.

##### Topography and vegetation

- C1 The streetscape qualities of Cove Street are to be retained, enhanced by landscaped open space of Camp Cove Reserve and variable street trees including bottlebrushes, robinias, silky oaks and eucalyptus.
- C2 Remnant sandstone kerbing and guttering are to be retained, including the section in Victoria Street (opposite the end of Cove Street, and outside No 2 Pacific Street, adjoining Short Street).
- C3 The use of mainly subtropical shrubs (hibiscus, frangipani, bougainvillea, etc.) is encouraged in front gardens.

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#### Townscape

- C4 The pattern of low-scaled detached dwellings and groups of dwellings on separate allotments is to be retained in order to respect the 1855 subdivision layout (Figure 81).
- C5 New development is to be sited to achieve three visually distinct zones similar to most properties, that is:
- a) small landscaped setback;
  - b) building zone of one and two storey detached houses with setbacks from side boundaries; and
  - c) landscaped rear yards.
- C6 New development is to retain the contrasts between the character established by low-scaled one and two storey 19th century to early-mid 20th century housing behind low fences and small front gardens and the high-walled mansions on the opposite sides of Victoria Street and Pacific Street.
- C7 The 'gateway' characteristics at the intersection of Short Street and Cliff Street are to be retained, including the distinctive single storey cottage at the corner, enhanced by a group of palms and the natural edge of Cliff Street (Figure 82).
- C8 The laneway character of Camp Street is to be retained, with rear yards of houses set behind high paling fences on both sides of street. Consistency of fencing types is to be achieved in order to foster visual coherence.
- C9 The sense of enclosure and natural edge on Cliff Street is to be retained, formed by coral trees, brush boxes and melaleucas from the edge of the Sydney Harbour National Park.
- C10 High walls and garages on the street frontage are not to be permitted as they would detract from the streetscape appearance of houses and the historic townscape character.

#### Views and vistas

- C11 Views to the harbour and Inner South Head from Short Street and from Victoria Wharf Reserve are to be retained.
- C12 Vistas are to be retained to Green (Laings) Point Reserve, HMAS Watson, Camp Cove Reserve and the distant church spire.
- C13 Views into Camp Cove Reserve from Cove Street and Camp Street are to be retained.

#### Contributory items

Note: Heritage items as identified in Schedule 5 of Woollahra LEP 2014 are also contributory items. For the protection of heritage items refer to clause 5.10 of the LEP.

Contributory items	
18 Cliff Street	Single storey Edwardian cottage

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Contributory Items	
22 Cliff Street	Single storey Edwardian weatherboard cottage
23 Cliff Street	Single storey 1920s weatherboard cottage
28 Cliff Street	Single storey Edwardian brick cottage with second storey addition
30 Cliff Street	Single storey 1920s weatherboard cottage
3 Cove Street	2 storey Victorian filigree styled terrace
5 Cove Street	2 storey Victorian filigree styled terrace
7 Cove Street	2 storey Victorian filigree styled terrace
9 Cove Street	2 storey Victorian filigree styled terrace
21 Cove Street	Single storey Edwardian weatherboard cottage
23 Cove Street	Single storey 1920s cottage
25 Cove Street	Single storey Edwardian weatherboard cottage
27 Cove Street	Single storey Edwardian timber cottage
29 Cove Street	Single storey Edwardian weatherboard cottage
41 Cove Street	Single storey 1920s weatherboard cottage
43 Cove Street	Single storey Edwardian weatherboard cottage
45 Cove Street	Single storey Edwardian weatherboard cottage
1 Pacific Street	Single storey Victorian weatherboard cottage with 3 storey extension
3 Pacific Street	Single storey 1920s cottage
5 Pacific Street	Single storey Victorian weatherboard cottage
9 Pacific Street	2 storey Edwardian weatherboard cottage
11 Pacific Street	Single storey 1920s weatherboard cottage
13 Pacific Street	Single storey Edwardian weatherboard cottage
15 Pacific Street	Single storey Victorian weatherboard cottage
17 Pacific Street	Single storey Edwardian weatherboard cottage with attic
21 Pacific Street	Single storey Victorian timber cottage
4 Victoria Street	Single storey Edwardian weatherboard cottage
6 Victoria Street	Single storey Victorian weatherboard cottage
14 Victoria Street	Single storey Victorian weatherboard cottage
16 Victoria Street	Single storey Edwardian weatherboard cottage
18 Victoria Street	Single storey 1920s weatherboard cottage
20 Victoria Street	Single storey Inter-War fibro house

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Contributory items	
22-24 Victoria Street	2 storey Inter-War <del>flat building duplex</del>
Camp Cove Reserve	2 Moreton Bay Figs, Camphor laurel, Kaffir Plum, Eucalypts, Podocarpus, Stenocarpus

Commented [DCP6]: Administrative change: amend terminology consistent with other chapters of the DCP.

C14 Heritage items and contributory items are to be retained.

C15 Change to the contributory items is limited to sympathetic alterations and additions consistent with the controls in Section C3.6.

#### Built form

The following controls apply to new dwellings, or the main new building on the site. Separate controls apply to secondary structures such as new garages, carports, ancillary buildings and the like.

#### Building siting and alignment

##### Streetfront setbacks

C16 Setbacks of new houses are to correspond to the alignment of adjacent contributory items and to provide garden space between the street and the house.

C17 Garages or carports are to be setback behind the building line.

C18 A maximum of one garage door is to be visible from the street frontage.

##### Side boundary setbacks

C19 All new buildings and structures, including any carport or garage, are to be set back from the side boundaries a minimum of 1.2m to retain the detached dwelling character of the precinct and respect the historic development pattern.

##### Rear setbacks

C20 Building setbacks are to relate to the alignment of adjacent houses provided that a rear yard space is retained.

#### Building height

C21 The height of new buildings is to be consistent with the height of neighbouring contributory items (generally a single storey plus attic).

#### Building form

C22 Established building forms are to be followed, i.e. simple rectilinear plan with traditional pitched roofs and verandahs facing the street.

C23 To relate to traditional roof forms, flat-roofed buildings are not permitted.



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#### *Building character*

- C24 The style of new buildings is to respect the character of the significant 19th to mid-20th century housing.

#### *Building materials and details*

- C25 The following materials are appropriate for new buildings:
- a) Walls: weatherboards, or exposed, rendered or painted brickwork or masonry.
  - b) Roof cladding: corrugated steel, slate, or tiled in unglazed terracotta or dark earth tones.

#### *Landscaping and site coverage*

- C26 The building footprint plus paved surfaces (patios, pathways, tennis courts) and swimming pools together are not to exceed 75% of the site area in order to provide 25% of the site area for landscaped area, including plantings.
- C27 For landscape planting details refer to Section 3.5.6 Landscaping and private open space.

#### *Fences and walls*

##### *Front fences*

- C28 With the exception of Camp Street, fences are to be a maximum of 1.2m.
- C29 Materials: sandstone, rendered and painted masonry, timber post and rail with chain wire inserts and timber pickets in keeping with the period of the house to which they relate.
- C30 Low front fences to early cottages should be reconstructed where replaced by unsympathetic higher walls (e.g. in Victoria Street and Cliff Street).

##### *Side and rear fences (including Camp Street)*

- C31 Side and rear fences, including fences on Camp Street, backing onto Camp Cove Reserve are to be 1.8m maximum in height and of traditional timber paling.
- Note: Appropriate front fencing types are illustrated in Section 3.5.7 Fences and walls.

#### *Car parking and access*

- C32 With the exception of those on Camp Street, garages or carports are not to be built to street frontage and are to be set back behind the main building. Only one vehicular access driveway is permitted at the street frontage.

#### Inter-War flat buildings or multi dwelling housing

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

Commented [DCP7]: Insert a reference to the new Inter-War flat buildings controls.

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#### C3.4.11 Precinct L: Salisbury Street / Hopetoun Avenue

##### Character statement

This precinct is bounded by Robertson Place, Old South Head Road and the heritage conservation area boundary. Parts of Hopetoun Avenue and Salisbury Street cross through the precinct (Figure 88).

The buildings fronting the south side of Robertson Place include a group of three contributory c1920s bungalows and a single detached house at the Hopetoun Avenue intersection. The group is consistent in the scale, form and alignment of the buildings, which are set back from the street behind low original fences with small gardens. A garage to the street frontage disturbs the consistency of the group.

The Salisbury Street streetscape includes the historic road alignment that marks the boundary of an original land grant and the Beaconsfield Estate owned by John Robertson. The western end of the street, backed by a group of mainly cultural plantings including banana palms, mature phoenix palms, melaleucas and immature Norfolk Island pines, appears to terminate on a cliff above the waterfront, however, it makes a U-turn at this point, leading down to housing at a lower level. Cultural plantings within the south western properties include Port Jackson Figs. The street trees in the upper section of the street include palms, a water gum, a Norfolk Island pine and a melaleuca.

Significant views west to Sydney Harbour are largely retained, being partly obscured by the cultural plantings (Figure 89). There are also views from the harbour to the Church Group beyond.

The built form on the southern side of Salisbury Street includes three contributory single storey Victorian period houses and early 20th century housing. The north side, west of Hopetoun Avenue, includes a contemporary house with a curved roof overlooking the water and 1930s flats below the retaining wall. Variable fencing types exist in this precinct, including face and rendered brick and iron palisade. A large sandstone retaining wall is a significant feature of the west end of the street, forming the U-shaped cul-de-sac.

Hopetoun Avenue was formed during the 1920s, falling towards Robertson Place. It maintains significant vistas to Sydney Harbour. Few buildings on Hopetoun Avenue contribute to the significance of the Watsons Bay Heritage Conservation Area, with the exception of a heritage item, 'Bay Cottage', at 308 Old South Head Road. The remaining buildings consist of two storey detached houses with pitched roofs, fenced front gardens and later development that extends to the land grant boundary that terminates the conservation area at Salisbury Street. These residential properties provide a variety of private garden treatments, plantings and fencing types including brick, timber palings, picket, wire mesh and sandstone. A dominant significant sandstone boundary retaining wall extends along the eastern side of the street.

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**FIGURE 88** Aerial of the precinct



**FIGURE 89** The west end of Salisbury Street with views to the harbour



**FIGURE 90**

Contributory item on east side of Hopetoun Avenue



**FIGURE 91**

Significant sandstone retaining wall



**FIGURE 92**

View along Salisbury Street to the Church Group



**FIGURE 93**

Sandstone block retaining wall with traditional timber paling fence above on the east side of Hopetoun Avenue



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**FIGURE 94** Composite wall containing sandstone and face brick on Salisbury Street



#### PRECINCT CONTROLS

The precinct specific controls supplement the general controls for development in Section C3.5. If there is an inconsistency between the precinct controls and the general controls, the precinct controls take precedence.

##### Topography and vegetation

- C1 Existing height relationships are to be maintained between the higher properties (located between Old South Head Road and Hopetoun Avenue) and the lower properties (located below Hopetoun Avenue).

##### Townscape

- C2 The existing subdivision patterns of deep allotments that front the public roads are to be retained. Battle-axe shaped lots are not permitted so as to retain the visual balance of the green spaces in both front and rear yards.

##### Views and vistas

- C3 Existing views to the harbour are to be retained over roofs from the upper levels of the precinct, including those from Old South Head Road.
- C4 Roofs are not to be cluttered by intrusive structures/services in order not to detract from views to and from the upper levels of the precinct.
- C5 The plantings that currently block views west along Salisbury Street to the harbour should be removed. New or replacement plantings (on the slope down to the waterfront) are to reinstate the view corridor.

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### Contributory items

Note: Heritage items as identified in Schedule 5 of Woollahra LEP 2014 are also contributory items. Refer to clause 5.10 of the LEP for heritage conservation controls.

Contributory items	
Rear 308 Old South Head Road	2 storey Edwardian house
Within Salisbury Street road reserve	Sandstone retaining wall to split roadway with rockery and concrete stairs
Within Hopetoun Avenue East road reserve	Sandstone walls
2 Robertson Place	Single storey 1920s cottage
4 Robertson Place	Single storey 1920s cottage
6 Robertson Place	Single storey 1920s cottage
2 Salisbury Street	Single storey Victorian Gothic styled cottage
4 Salisbury Street	Single storey Victorian weatherboard cottage
8 Salisbury Street	Single storey Victorian sandstone cottage
10 Salisbury Street	Port Jackson fig
1 Salisbury Street	Single storey Edwardian semi-detached dwelling
3 Salisbury Street	Single storey Edwardian semi-detached dwelling
7 Salisbury Street	2 storey Inter-War <del>flat building duplex</del>
11 Salisbury Street	2 storey Inter-War <del>flat building duplex</del>

**Commented [DCP8]:** Administrative change: amend terminology consistent with other chapters of the DCP.

**Commented [DCP9]:** Administrative change: amend terminology consistent with other chapters of the DCP.

C6 Heritage items and contributory items are to be retained.

C7 Change to contributory items is limited to sympathetic alterations and additions consistent with the controls in Section C3.6.

### Built form

The following controls apply to new dwellings, or the main new building on the site. Separate controls apply to secondary structures such as new garages, carports, ancillary buildings and the like.

### Building siting and alignment

C8 The existing setback patterns, particularly regular or transitional, are to be maintained.

C9 Where an irregular pattern exists, new development is to be set back to correspond to the alignment of contributory items and provide for landscaped area in front yards behind fences or walls.

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C10 The alignment of new buildings is to be parallel with the street frontage, not skewed, to maintain existing streetscape patterns.

C11 Building setbacks from the rear are to correspond to the setback pattern of adjacent buildings and maintain the amenity of neighbouring residential property.

**Building height**

C12 Building heights are to respect the natural landform and topography of the precinct. Existing views from the upper levels of the precinct are not to be obstructed by development below.

**Building form**

C13 The mass and form of new buildings is to respect adjacent contributory items.

C14 Rectilinear plans with traditional pitched roof forms are to be used to relate to the established character of the area.

**Building materials and details**

C15 The following materials are appropriate for new buildings:

- a) Walls: exposed brick or rendered/ painted brickwork or masonry.
- b) Pitched roofs for dwellings: slate, tiled in unglazed terracotta or dark earth tones, or slate-grey corrugated iron.

**Landscaping and site coverage**

C16 The building footprint plus paved surfaces (patios, pathways, tennis courts) and swimming pools together are not to exceed 70% of the site area in order to provide 30% of the site area for landscaped area, including plantings.

C17 For landscape planting details refer to Section 3.5.6 Landscaping and private open space.

**Fences and walls**

C18 Front fences are to be 1.2m maximum in height. Materials are to be in keeping with the building to which they relate, including rendered and painted masonry, brick, palisade or wooden pickets.

C19 Side and rear fences are to be 1.8m maximum traditional timber paling fences or, preferably rendered, masonry walls, stepping down in height to 1.2m at the front boundary line.

C20 Garages are not to be built to the street alignment, but are to be set back behind the building alignment or integrated with the building.

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[Inter-War flat buildings or multi dwelling housing](#)

[For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.](#)

Commented [DCP10]: Added a reference to new Inter-War flat buildings controls.

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#### C3.4.14 Precinct O: Gibsons Beach Waterfront and Marine Parade South

##### Character statement

This precinct consists of properties with a frontage to Marine Parade, south of Robertson Place.

The waterfront promenade is contained visually by a single storey yacht club and the Watsons Bay public baths at the north end and the two storey Pilot Station at the south end (Figure 106 and 107). A flight of steps leads up to Salisbury Road (Figure 109).

Marine Parade continues south as a walkway to Gibsons Beach, a small beach semi-detached dwelling enclosed by the Pilot Station to the north and the natural landform to the south (Figure 108). A narrow park along the promenade widens at the southern end to form Gibsons Beach Reserve with an open landscape character. The beach and the park curtilage are protected by a sandstone headland, as well as rock benches and sandstone walls to the properties above. A small creek enters the beach from the southwest. Boat sheds and jetties extend out to the point. The mixed public pathway/private driveway allows access around the small reserve behind the beach to Hopetoun Avenue.

The northern part of the precinct contains a variety of built and landscape elements that contribute to its character. These include the distinctive yacht club and Pilot Station buildings with jetties on the western side and the Inter-War period Tea Gardens, formerly the facilities for the Watsons Bay Pool at the north end (Figure 111).

Housing includes single storey detached and semi-detached dwellings (c1920s–1930s) ~~and larger two to three storey duplexes of the same period~~, with pitched roofs, many of which have been altered (Figure 112). Front gardens are generally set behind low walls and are open in character, elevated above the promenade toward the south end. The two to three storey dwellings above in the southern section (some with remnant cultural plantings) are barely visible from the beach.

Street tree plantings of Casuarinas and a topped Norfolk Island pine opposite Tea Gardens enhance the waterfront setting. The tree and shrub plantings at the west end of Salisbury Street are not of heritage significance and obstruct views to the Harbour.

Properties have harbour views from the water; there are views to the spire of Our Lady Star of the Sea church and cultural plantings on the ridgeline.

Prominent garages on or close to the street frontage detract from the promenade and views from the waterfront. The visual impact of a contemporary dwelling with an uncharacteristic curved roof is partially mitigated by its relatively low scale and sympathetic landscaping when compared with larger buildings behind.

**Commented [DCP11]:** Remove due to the fact that the Inter-War flat building at 4 Marine Parade (the only Inter-War flat building) has been demolished.

► C3 pg.106

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**FIGURE 103**  
Aerial view of the precinct



**FIGURE 104**  
Marine Parade streetscape



**FIGURE 105**  
Marine Parade South from the pilot station



**FIGURE 106**  
Yacht club at north end



**FIGURE 107**  
Pilot Station at the south end of Marine Parade



**FIGURE 108**  
North end of Gibsons Beach Reserve



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**FIGURE 109**  
Open space and steps leading up to Salisbury Street



**FIGURE 110**  
Gibsons Beach from the promenade



**FIGURE 111**  
'Tea Gardens'



**FIGURE 112**  
Marine Parade South from the harbour



**FIGURE 113**  
Views to the harbour from Gibsons Beach



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#### PRECINCT CONTROLS

The precinct specific controls supplement the general controls for development in Section C3.5. If there is an inconsistency between the precinct controls and the general controls, the precinct controls take precedence.

##### Topography and vegetation

- C1 New street and promenade planting is to be selected to provide amenity (shade, softening of hard built areas, glare reduction) for pedestrians using the marine promenade, permit views out to the harbour and create opportunities for public views both to Watsons Bay from the harbour and to the harbour from the top of Salisbury Street.
- C2 Additional street or promenade trees may be introduced provided that they are appropriate for waterfront microclimatic conditions, are open-branched with relatively thin and permeable foliage, but with sufficient canopy to provide some shade – such as casuarinas. Araucarias, figs and most palms are unsuitable, although Canary Island palms may be considered.
- C3 Tree and shrub plantings at west end of Salisbury Street should be replaced with species that do not exceed 5m in height, have single trunks and open branching habits. These are to be placed to frame, not obstruct views.
- C4 Plantings down the steep slope between the west end, or 'elbow', of Salisbury Street and the waterfront should be selected to consolidate the slope while not obstructing the view. Species should be similar to the park-like plantings around.

##### Townscape

- C5 The regular pattern of detached buildings on separate allotments south of Tea Gardens is to be retained in order to respect the established form and provide for public views between buildings.

##### The waterfront

- C6 Views of houses, roofs and gardens from the promenade and Harbour are to be retained, unobstructed by high fences.

##### Views and vistas

- C7 View sharing from private properties is to be retained within the precinct and with overlooking properties in adjacent precincts.
- C8 Vistas are to be retained to Our Lady Star of the Sea church spire and cultural plantings as viewed from the harbour.
- C9 Existing maritime structures, such as the yacht club and pilot station, are not to be increased in height or bulk so that views to the harbour can be enjoyed.

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### Contributory items

Note: Heritage items as identified in Schedule 5 of Woollahra LEP 2014 are also contributory items. Refer to clause 5.10 of the LEP for heritage conservation controls.

Contributory items	
Marine Parade	<b>Watsons Bay Pool (Baths) [SREP Sydney Harbour]</b> A concrete arched pool structure with timber balustrades
Marine Parade	<b>Watsons Bay Ferry Pier [SREP Sydney Harbour]</b> A timber and concrete wharf structure
2 Marine Parade	Single storey Edwardian cottage with second storey addition
3 Marine Parade	Single storey Edwardian cottage
<del>4 Marine Parade</del>	<del>2-storey 1920s flats over garage 'Belvedere'</del>
5 Marine Parade	2 storey house over garages
6 Marine Parade	Single storey semi-detached dwelling
7 Marine Parade	Single storey semi-detached dwelling
8 Marine Parade	Single storey Spanish Mission styled restaurant 'Tea gardens'
Salisbury Street	Pilot station [SREP Sydney Harbour]
12 Salisbury Road	Kaffir Plum, Date palm, sandstone retaining wall to reserve
Within Gibsons Beach Reserve	Coral trees and phoenix palms Exposed rockfaces adjoining the promenade

Commented [DCP12]: Delete as 4 Marine Parade has been demolished and it is no longer a contributory item.

C10 Heritage items and contributory items are to be retained.

C11 Change to contributory items is limited to sympathetic alterations and additions consistent with the controls in Section C3.6.

### Built form

The following controls apply to new dwellings, or the main new building on the site. Separate controls apply to secondary structures such as new garages, carports, ancillary buildings and the like.

### Building siting and alignment

#### Front (waterfront) setbacks

C12 All buildings are to be sited to provide a landscaped setback from Marine Parade to provide for a garden space in front. The setback and alignment are to be related to adjacent buildings and the skewed alignment pattern.

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*Side setbacks*

- C13 All buildings are to be a minimum of be set back from side boundaries by 1.5m to retain the detached building character of the precinct and provide for public views between buildings.

*Rear setbacks*

- C14 Rear setbacks are to be similar to adjacent setbacks in order to maintain the amenity of neighbouring residential property.

*Building height*

- C15 Buildings are to comply with the maximum statutory height control in Woollahra LEP 2014 and are to be a maximum of two storeys in height, with roofs pitched to match traditional forms.
- C16 No increase is permitted in the height of marine structures, such as the yacht club (Figure 106) and pilot station (Figure 107), at each end of the precinct.

*Building form*

- C17 Established building forms are to be used, i.e. simple rectilinear plan with pitched roofs.
- C18 Buildings should not be flat-roofed or reverse skillion, in order to relate to traditional roof forms when viewed from the water.
- C19 Ridgelines of roofs are to be parallel to the side boundaries in order to minimise the visual impact of roofs on views when viewed from Marine Parade and the waterfront.

*Building character*

- C20 The architectural treatment of new buildings is not to stand out in marked contrast to existing contributory items in the area.

*Building materials and details*

- C21 The following materials are appropriate for new buildings:
- a) Walls: preferably face brickwork or rendered/painted brickwork or masonry.
  - b) Roofs: slate, corrugated steel or tiles in unglazed terracotta or dark earth tones.

*Landscaping and site coverage*

- C22 The building footprint and paved surfaces (patios, pathways, tennis courts) and swimming pools together are not to exceed 75% of the site area in order to provide 25% of the site area for landscaped area, including plantings.
- C23 Structures and infrastructure, including swimming pools and water pipes, are to be designed (including the underside) to minimise the visual impacts upon the reserve and its significant elements (including sandstone rock shelves) when viewed from public areas.

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#### Fences and walls

##### *Marine Parade*

- C24 Fence heights are to be a maximum 1.2m above promenade level or, where privacy from the promenade is an issue, up to 1.8m maximum with 50% transparency above 1.2m. Acceptable materials are sandstone or face brick or rendered or painted masonry in keeping with the building to which it relates.

##### *Robertson Place*

- C25 Existing low brick fences facing Robertson Place are to be retained.

##### *Salisbury Street*

- C26 Fences are to be a maximum of 1.2m above footpath level and are to be in keeping with the building to which they relate. Brush fences, concrete block, or copies of iron palisade fences are not traditionally associated with houses in this precinct and are not permitted.

##### *Gibsons Beach Reserve*

- C27 Fence heights are to be a maximum 1.2m above the walkway level or rockshelf or, where privacy from the reserve or security is an issue, up to an 1.8m maximum with a 50% transparency above 1.2m. Acceptable Materials are sandstone or rendered and painted masonry in keeping with the building to which it relates.

##### *Rear and side fences (when not street or reserve fronting)*

- C28 Fences are to be traditional timber paling fences of 1.8m maximum height.

#### Car parking and access

- C29 Garages or carports are not to be built to the street frontage, and are to be set back behind the main building whether attached or freestanding.
- C30 A maximum of two garages may be visible from the street provided that a minimum of 50% of the width of the street frontage is retained for landscaped area.
- C31 Parking may be accommodated in a basement or semi-basement level.

##### *Gibsons Beach Reserve and Marine Parade promenade and maritime structures*

Given its public ownership, it is strongly recommended that the structures and the reserve are conserved and managed through specific management plans that include or are informed by the following management policies:

- C32 The existing topography and vegetation is to be maintained. New plantings are to be of the same scale and species to that existing, except where these are inconsistent with the

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principal character of the precinct. New plantings are not to obscure existing public views and vistas.

- C33 Existing extensive views to and from the waterfront are to be retained. No additional marine structures are to be erected in this area to retain the open landscape character of this part of the beach.
- C34 The existing public access, including disabled access, is to be retained along the promenade to the beach and the reserve.
- C35 New development and alterations and additions to existing buildings are not permitted except where consistent with the policies in the adopted management plan, including those for siting, orientation, height limits and design.
- C36 Structures and infrastructure, including swimming pools and water pipes, are to be designed to minimise the visual impacts upon the precinct and its significant elements when viewed from public areas.
- C37 No additions are to be made to the building envelopes of the existing marine structures (jetties and pilot station).
- C38 New structures are to be limited to commemorative structures, public artworks, interpretive signage and the like, the number of which are to be carefully controlled so as not to result in a visual cluttering of the landscape.
- C39 Beach dinghies are permitted against the promenade edge provided these do not impede public access.
- C40 No additional fencing is to be constructed. If essential, any new fencing is to be low in height (1.2m maximum) and constructed of sandstone, concrete or rendered masonry in neutral tone colours.
- C41 Stormwater run-off into the Harbour is to be carefully managed to protect the seahorse colony in the seagrass beds off the beach.
- C42 No additional car parking or vehicular access is permitted.
- C43 Any new paths throughout the precinct are to be constructed using recessive colours and finishes.
- C44 The management plans should incorporate a cohesive approach for the public areas along Marine Parade, in terms of paving, street furniture, lighting, signage and the like.
- C45 The public domain provisions in Section C3.7 of this chapter apply to the publicly accessible areas of the precinct.

### C3.6 Contributory items: additional built form controls

This section contains additional built form controls for contributory items to ensure that alterations and additions to contributory items do not have an adverse impact on the heritage significance of the building, the streetscape and the surrounding area.

#### Contributory items

**Commented [DCP13]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

#### C3.6.1 Contributory items

Contributory items are those individual elements within the area that have heritage significance, either as heritage items or contributory items. Contributory items are the buildings and structures, landscape elements, landmarks or other townscape features such as historic kerbs and gutters that contribute to the overall heritage significance of the Watsons Bay HCA.

The contributory items within the Watsons Bay HCA are identified on Map 3 and also listed in the various precincts in Section C3.4 Precincts of this chapter. Heritage items are listed in Woollahra LEP 2014.

The key contributors in the built form include the late 19th and early 20th century single storey cottages, in particular the early weatherboard cottages. The area retains the largest concentration of weatherboard cottages within the Woollahra Local Government Area.

Other contributory items include the historic commercial development fronting Military Road, 1930s residential flat buildings, historic churches and Inter-War period housing. Landmarks are evident throughout the area in various forms including certain buildings, monuments, trees and other natural features. These items also contribute to the significance of the area and, in some cases, its village character.

#### Objectives

- O1 To ensure that heritage items and contributory items are retained and appropriately managed.
- O2 To ensure that new development respects the significance of heritage items and contributory items.
- O3 To ensure that the contributory single storey dwellings/cottages throughout the area, particularly the weatherboard cottages, are retained as contributory items that also enhance the character and village scale of Watsons Bay.
- O4 To ensure that new development respects the scale and character of significant single storey dwellings/cottages.
- O5 To ensure that significant external and internal fabric and spaces within contributory items are retained and appropriately conserved.
- O6 To ensure that significant landmarks are retained and appropriately managed.

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#### Controls

- C1 Contributory items are to be retained unless overwhelming physical constraints (such as structural integrity, extensive damaged fabric and fire safety requirements) preclude this option.
- C2 The significant fabric of contributory items is to be retained.

Note: Heritage items are identified in Schedule 5 of Woollahra LEP 2014. For the protection of heritage items refer to clause 5.10 of the LEP.

#### B.7.1.1 Alterations and additions to contributory items

Commented [DCP14]: Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

#### Alterations and additions to contributory items

Alterations and additions to buildings within Watsons Bay have the potential to adversely affect the streetscape and the heritage significance of the area as a whole.

To retain the heritage significance of the conservation area it is important that changes to contributory items does not adversely affect their heritage value.

Alterations and additions to existing buildings are to be designed and sited to ensure the retention of any contributory features or characteristics of the building and the streetscape in which they are located. It should also remain possible to tell the new work from the old on close inspection.

#### Objectives

- O1 To ensure that alterations and additions to a contributory item do not adversely affect the character of the building and the streetscape.
- O2 To ensure that alterations and additions to a contributory item that contributes to the significance of the conservation area (i.e. heritage items and contributory items) respect the contributory and/or streetscape values of these items.
- O3 To ensure retention of the existing heights and form of contributory single storey dwellings/cottages.
- O4 To retain existing significant fabric that contributes to the significance of individual buildings and the overall character of the area.
- O5 To restore or reconstruct missing elements, where possible.

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**3.7.1.2 Siting and alignment**

**Commented [DCP15]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

**Siting and alignment**

- C1 Additions to buildings that are contributory items are to respect their height, form, character and materials.
- C2 Additions to the front of contributory items are not permitted.
- C3 Additions to a single storey dwelling/cottage are to occur at the rear and are to be unobtrusive when viewed from the street (Figures 172 and 174).
- C4 Additions to the side of contributory items, including cottages, may be permitted in rare situations where there is insufficient space at the rear of the building and the addition would respect and enable interpretation of the original form of the existing building.
- C5 Side additions to significant single storey dwellings/cottages are to be located towards the rear of the dwelling and are to be screened with vegetation (Figure 173).

**3.7.1.3 Height of additions**

**Commented [DCP16]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

**Height of additions**

- C1 The height of contributory items, as they present to the street, is not to be increased. This applies irrespective of whether the building is single storey or whether it adjoins or is located between higher buildings.
- C2 The height of additions is to be no greater than that of the existing building unless the addition is a pavilion form and the upper storey of the rear form is not visible when viewed from the public domain, and the additions do not adversely affect the appearance and setting of the existing building, nor its streetscape contribution.

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**3.7.1.4 Form and character**

**Commented [DCP17]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

**Form and character**

- C1 Attic conversions within contributory items, including cottages, are only permitted where the upper floor can be contained wholly within the existing roof space without change to the roof pitch (Figure 174). Dormer windows may be permitted in these circumstances, but only if located in the rear roof plane.
- C2 Two storey rear extensions to single storey dwellings/cottages may be permitted where:
  - a) the land slopes to the rear and can provide for the additional storey as a basement level;
  - b) the ridgeline of the addition is not to extend above the height of the ridgeline of the existing building; and
  - c) the roof form is to relate to the original existing roof form (Figure 172).
- C3 The form (massing and building arrangement) of additions is to complement and not compete with the existing building. Additions are to generally match the roof pitch, form and proportions of the existing building. (Skillion or 'lean-to' additions may be appropriate at the rear of contributory items, as this is a traditional form of building extension.) (Figure 172 & 174).
- C4 Additions to contributory items are to complement but not mimic their character (i.e. architectural design treatment or 'style').
- C5 Components/elements that contribute to the significance of the building or the conservation area are not to be altered; in particular, those visible from the streetscape.
- C6 The removal of unsympathetic alterations to existing buildings is encouraged, particularly when further work is undertaken.
- C7 Internally, room layouts of original portions of contributory cottages are to be retained.
- C8 Changes to the roof pitch (i.e. slope) of contributory items are not permitted.
- C9 The eaves height of contributory items is not to be raised; for example, by constructing the roof at a higher level in order to accommodate an additional storey.
- C10 Contributory items are not to be 'restyled'; i.e. their architectural style is not to be changed.
- C11 Additions are not to alter original roof forms of contributory items.

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**3.7.1.5 Verandahs and balconies**

**Commented [DCP18]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

**Verandahs and balconies**

- C1 The enclosure or infilling of existing verandahs or balconies is not permitted.
- C2 Original verandahs and balconies are not to be altered except for the reinstatement of original details and the reversal of unsympathetic alterations.
- C3 Verandahs, balconies and shop awnings may be reinstated on street front elevations where evidence shows that they have previously existed. They should be reconstructed to their former appearance in terms of materials and details.

**3.7.1.6 Materials and details**

**Commented [DCP19]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

**Materials and details**

- C1 The removal of original materials, details and decorative elements is not permitted unless they are in poor condition. If removed, they are to be replaced using the same or similar materials, details and decorative elements.
- C2 Previously unpainted brick or stone walls/surfaces are not to be painted, rendered or bagged.
- C3 Mortars for repointing and repair are to match the colour, profile of joint, texture and mix of the original mortar (usually a mixture of lime, putty and sand).

**3.7.1.7 Dormers**

**Commented [DCP20]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

**Dormers**

- C1 Dormer windows are not to be added to street front and side elevations unless documentary evidence shows that an original dormer or dormers existed in these locations as part of the original design.
- C2 A dormer may be located within the rear slope of the main roof subject to consideration being given to its visual impact when viewed from the public domain, its impact on the building's significance and, where the building forms part of a group, the impact on the group's significance.

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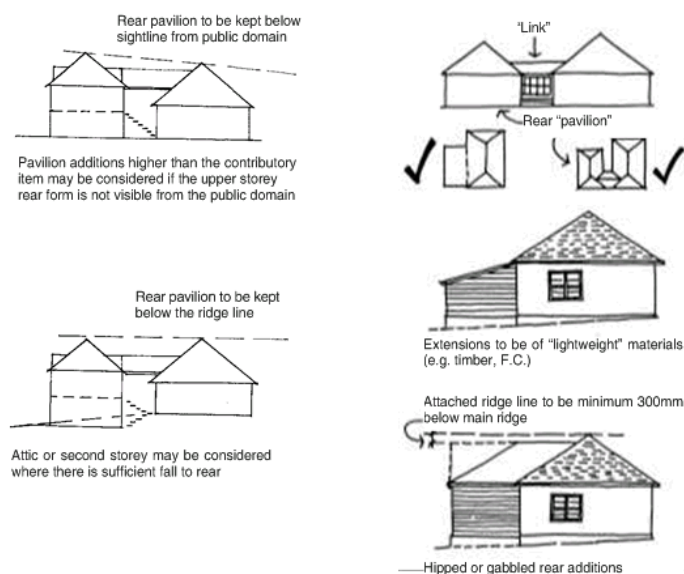
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- C3 More than one dormer window may be located within the rear slope of the main roof subject to the width of the roof being greater than 6m and subject to consideration of the impact on the building's significance and appearance.
- C4 The overall height of the dormer window, including the pediment, must be below the main roof ridge line by at least 300mm.
- C5 The design, proportions and materials of new dormers where permitted, are to be based on traditional models, appropriate to the architectural style of the building and the building's context and have the following characteristics:
- pediment infill for dormer windows must only be weatherboards;
  - the cheeks may be covered in weatherboard or in corrugated profile steel sheeting, depending on the building's architectural style and context;
  - windows shall be traditional double hung windows or pivoting wings with casement stays: and
  - dormers are not to incorporate balconies.

**FIGURE 172** Rear additions to single storey dwellings



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FIGURE 173 Side additions to cottages are to be towards the rear

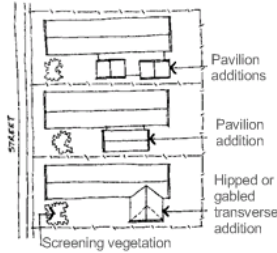
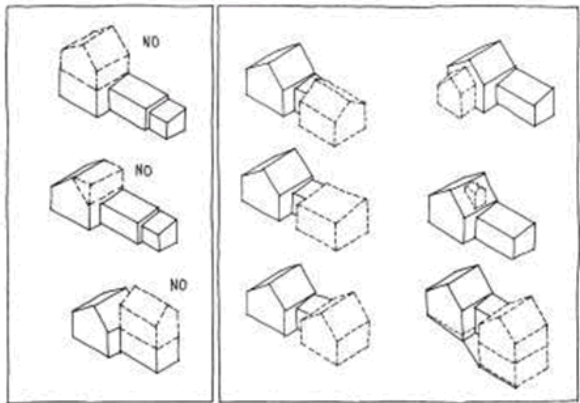


FIGURE 174 Rear additions to significant single storey dwellings/cottages



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### C3.6.2 Inter-War flat buildings

Residential flat buildings and multi dwelling housing in Watsons Bay generally consist of small two, three and four storey buildings dating from the 1930s to 1950s, taller buildings dating from the 1960s to 1970s, and the infill buildings of the 1990s.

Contributory buildings identified in Clause 3.4 Precincts include some Inter-War flat buildings.

#### General

#### Objectives

- O1 To mitigate the effects of intrusive residential flat building and multi dwelling housing development.
- O2 To encourage redevelopment or modification of intrusive development.
- O3 To ensure that parking does not detract from the character of the streetscape.

#### Controls

- C1 Redevelopment or modification of intrusive development must be to a design that is appropriate to the historic context.
- C2 Alterations and additions that reverse any unsympathetic works is encouraged.
- C3 Alterations and additions to intrusive development must be an appropriate response to 3.4.1 the historic streetscape and mitigates intrusiveness.

#### Inter-War Flat Buildings

#### Objectives

- O1 To conserve and maintain Inter-War flat buildings in Watsons Bay.
- O2 To ensure that the significant characteristics of Inter-War flat buildings contributing to the character of the area are retained and protected.
- O3 To conserve the principal street elevations and the character of the Inter-War flat buildings.
- O4 To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.
- O5 To ensure that alterations and additions to the roofs are discreet and do not detract from the original character, proportions or key elements.
- O6 To conserve the established garden settings, including significant elements and features.
- O7 To ensure that parking does not detract from the character of the streetscape.
- O8 To ensure that external materials, details and finishes respect and complement the original building.

**Commented [DCP21]:** Insert a new clause to address the protection of Inter-War flat buildings and mitigate the adverse impact of intrusive flat buildings to the historic streetscape.

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- O9 To ensure that works to balconies and verandahs to rear or side elevations do not detract from the character and form of Inter-War flat buildings.
- O10 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.
- O11 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.
- O12 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.
- O13 To ensure that fire safety and access upgrading works are discreet and retain and respect the original and significant building fabric.
- O14 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.
- O15 To promote restoration and reconstruction works to restore significance.

**Controls**

- C1 Significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations are to be restored or reconstructed.
- C2 Changes to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building.
- C3 Alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.
- C4 Additions are limited to undercroft areas, roof spaces and the provision of balconies.
- C5 Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.
- C6 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.
- C7 Existing original fanlights and other openings are retained and sealed from behind, if necessary.
- C8 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.
- C9 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.
- C10 New additional security elements are in character with the building. Security bars are:
- a) fitted internally;
  - b) respect the existing glazing patterns; and
  - c) painted in a dark recessive colour.

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- C11 Original verandahs and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.
- C12 New verandahs and balconies are allowed to the rear or side elevations only if they:
- a) respect the character of the existing building; and
  - b) are sympathetically integrated with the character and form of the building.
- C13 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.
- C14 Materials are similar in type and finish to those on the original building or sympathetically integrate with the fabric of the building.
- C15 Original face brickwork, terracotta or decorative concrete panels must not be painted, rendered or coated.
- C16 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building. Skylights are flush with the roof surface.
- C17 Original chimneys and their details are retained.
- C18 Privacy screens are discreet and do not impact on the overall character of the building.
- C19 Protruding shade structures, including awnings and canopies, are not located on the principal building elevations.
- C20 The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.
- C21 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, wall details, light fittings, internal doors and the like.
- C22 New lifts are designed and located so that the addition:
- a) is located outside the principal building form, if practical; and
  - b) does not require significant alterations to existing common areas.
- C23 Previous unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced by reinstating original forms and matching fabric or with new works sympathetic to the age and style of the building.
- C24 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.
- C25 Alarm bell boxes and the like, are not attached to the principal building elevations.
- C26 New or upgraded services are discreetly and sensitively located to minimise visual impact. They are located within existing ducts, behind cornices or bulkheads or within

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external lightwells that are not visually prominent. Wiring or other services are housed in concealed conduits.

C27 Original timber staircases are retained and smoke isolated, if necessary.

C28 Where the height of the original stair balustrades is to be modified –the modification is discreet and sympathetically integrated with the existing stair balustrade.

C29 Stair treads applied to existing stairs are discreet.

C30 Emergency and exit lighting is incorporated into existing original light fittings, where practical.

C31 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.

C32 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.

C33 Original fencing, gates and mailboxes are retained and conserved.

C34 New ancillary development:

a) is smaller in scale than the principal building;

b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;

c) is constructed in a style, form, materials and finishes that complement the principal building;

d) is single storey with a maximum clear internal height of 2.4m; and

e) is sympathetic in scale and style to traditional forms of ancillary structures.

C35 Characteristic front gardens, and their elements, are retained with minimal alteration.

C36 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.

C37 New fences and gates to the front building alignment must complement the streetscape and the existing building.

C38 Mailboxes are discreetly located and do not impact on the character of the building.

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### C3.6.3 Timber buildings

Commented [DCP22]: Insert new provisions aiming to address the protection of timber buildings in Watsons Bay.

Watsons Bay retains the largest concentration of timber weatherboard buildings within the Woollahra local government area. Weatherboard buildings provide evidence of the early village of Camp Cove and contribute to the area's heritage values.

All forms of weatherboard buildings contribute to the diverse character of Watsons Bay streetscapes and the aesthetic value of the conservation area. Timber buildings are also significant because of their increasing rarity and historical association with the early fishing village of Camp Cove that is protected through the listing of the Watsons Bay Heritage Conservation Area.

Weatherboard buildings are vulnerable to change and many have been modified over time, are in a deteriorated condition or suffer from structural instability. Despite these changes, weatherboard buildings in Watsons Bay continue to make an important contribution to the character of the conservation area and are to be conserved.

#### Objectives

- O1 To retain and conserve timber buildings and their setting.
- O2 To retain, restore and conserve the special characteristics and details of timber buildings.
- O3 To restore and reconstruct missing elements of the principal building form within the street front zone.
- O4 To retain and conserve significant side and rear forms of timber buildings.
- O5 To retain, restore and promote the significance, contribution and relationship of a timber weatherboard building within the context of the conservation area.
- O6 To ensure that additions and alterations for fire upgrading and safety are discreet, and retain and respect the original and significant building fabric.

#### Controls

- C1 Additional storeys are not permitted to the principal building form of timber buildings.
- C2 When works are proposed to the principal building form or original significant elevations visible from the street or lane, Council strongly encourages, and may require, restoration or reconstruction of missing elements appropriate to the architectural style of the building or reversal of uncharacteristic elements where:
  - a) balconies or verandahs have been enclosed and details such as balustrade panels, rails, columns, friezes and fringes have been removed;
  - b) original door or window types and patterns have been removed;
  - c) roof cladding is in a unsympathetic material;
  - d) details are missing from chimneys; and

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e) inappropriate reconstruction of period detail and elements has occurred.

Note: Reconstruction and restoration may be guided by traditional models and physical or documentary evidence of an earlier state of the building or architectural style.

C3 Existing setbacks from the front and side boundaries of the principal building form are to be retained.

C4 Alterations and additions to the rear of buildings must not dominate or compete with the form, height, proportions or scale of the timber building.

C5 Where structural stabilisation of a timber building is necessary, a sympathetic structural solution that ensures the conservation of as much original external and internal fabric as possible is required.

C6 Where alterations to timber buildings are required to meet the provisions of the Building Code of Australia, materials must be consistent with traditional materials and finishes.

C7 No parking is permitted under or within the principal building form of a dwelling.

C8 Fire upgrade and access works must be done sympathetically and avoid removal of significant fabric.

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<b>Item No:</b>	R3 Recommendation to Council
<b>Subject:</b>	<b>POST-EXHIBITION PLANNING PROPOSAL - HERITAGE LISTING OF TRELAWNEY COURT, INCLUDING INTERIORS, AT 3 TRELAWNEY STREET, WOOLLAHRA.</b>
<b>Author:</b>	Flavia Scardamaglia, Strategic Heritage Officer
<b>Approvers:</b>	Anne White, Manager - Strategic Planning Nick Economou, Acting Director Planning & Development
<b>File No:</b>	21/34524
<b>Reason for Report:</b>	To report on the public exhibition of the planning proposal to list Trelawney Court, including interiors at 3 Trelawney Street, Woollahra as a heritage item in Schedule 5 of the Woollahra Local Environmental Plan 2014.  To obtain Council's approval to proceed with the finalisation of the planning proposal and the preparation of a draft LEP.

### Recommendation:

- A. THAT Council proceed with the planning proposal at **Annexure 1** of the report to the Environmental Planning Committee meeting of 8 March 2021 and proceed with the preparation of a draft local environmental plan to amend Schedule 5 of Woollahra LEP 2014 to list Trelawney Court including interiors at 3 Trelawney Street, Woollahra, as a local heritage item under Woollahra Local Environmental Plan 2014.
- B. THAT Council use its authorisation as the local plan-making authority to exercise the functions under section 3.36(2) of the Environmental Planning and Assessment Act 1979 to make the LEP.

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## 1. Background

This report relates to the public exhibition of a planning proposal to list Trelawney Court, including interiors as a local heritage item in Schedule 5 of Woollahra Local Environmental Plan 2014 (Woollahra LEP 2014). The planning proposal, as exhibited is included at **Annexure 1**.

The subject building consists of a two storey post-war residential flat building located at 3 Trelawney Street, Woollahra (*Figure 1*). It was designed by George Robert Reves and Charles Hayes and built in 1946. The site is legally described as Lot 1, DP 86213.

The site's boundaries are shared by a late twentieth century two storey residential flat building to the west, occupying most of the lot and to the east, by the rear boundaries of five properties facing Edgecliff Road. The largest is 388 Edgecliff Road, a large Federation Style house, now converted to flats, located on the corner of Edgecliff Road and Trelawney Street. The garage of 388 Edgecliff Road is directly adjacent on the Trelawney Street boundary (*Figures 3 and 5*).

The site and its neighbours are zoned R3 Medium Density Residential under Woollahra LEP 2014 and are situated in the Woollahra Heritage Conservation Area (*Figure 4*). The building is listed as a contributory item in clause 2.7 of *Woollahra Development Control Plan (DCP) 2015, Chapter C2 Woollahra Heritage Conservation Area*. It is identified as an 'Inter-War Flat Building' contributory to the Rosemont Precinct.



***Figure 1: Trelawney Court from the footpath in front of 3 Trelawney Street, Woollahra (Source: Bradfield Cleary 2019)***



***Figure 2: Aerial photo of the subject site in 2018.  
The subject site is highlighted in red (Source: Woollahra MAPS)***





**Figure 3: Detail of Heritage Map Sheet HER\_003A of the Woollahra LEP 2014. The red hatched area designates the Heritage Conservation Area C15 - Woollahra and the brown numbered sites are listed heritage items. No. 3 Trelawney Street is outlined in red (Source: Woollahra MAPS).**



**Figure 4: The building in its setting on the northern side of Trelawney Street, Woollahra (Source: Bradfield Cleary 2019)**



## **2. Planning Proposal chronology**

The process for assessing the heritage significance of Trelawney Court and preparing the planning proposal has involved the following steps, organised chronologically.

1. Notice of Motion adopted by Council on 11 November 2019 to assess heritage significance.
2. Engagement of Rebecca Hawcroft & Kieran McInerney to carry out the heritage assessment in December 2019
3. Report the heritage significance assessment to the Environmental Planning Committee (EPC) on 6 July 2020.
4. Decision of Council on 27 July 2020 to prepare a planning proposal and obtain advice of the Woollahra Local Planning Panel (Woollahra LPP).
5. Report to the Woollahra LPP on 6 August 2020 for advice.
6. Report to the EPC on 7 September 2020 with the advice from the Woollahra LPP.
7. Council Decision on 29 September 2020 to proceed with the planning proposal and seek a gateway determination from the Department of Planning, Industry and Environment.
8. A Gateway Determination was issued on 18 November 2020.
9. The Gateway Determination gave authorisation to Council to exercise the plan-making functions under section 3.36(2) of the *Environmental Planning and Assessment Act 1979* (the Act) to make the LEP.

The land owner was notified of all relevant meetings including the meetings of the EPC and Woollahra LPP.

## **3. Development Application & Interim Heritage Order**

On 12 June 2020, a development application (DA) was lodged with Council for ‘alterations and additions to the existing residential flat building, including a new level accommodating one additional unit’ (DA 193/2020).

Under a Ministerial Order, the *Authorisation for Local Councils to make Interim Heritage Orders*, published in the Government Gazette on 12 July 2013, Council or its delegate is unable to issue an Interim Heritage Order (IHO) if a site is within an HCA. Under the Heritage Act 1977, the Minister can make an IHO if the Minister considers that, on further investigation, the item may be found to have local or State significance.

Given DA193/2020 proposes alterations and additions to the subject building, the Minister formed the opinion that the above circumstances were in place. Subsequently, the IHO was made under section 24 of the *Heritage Act 1977* and was published in the NSW Government Gazette No. 210 of 11 September 2020 (n2020-3982).

The IHO is to remain in place for a period of twelve months, which gives Council the opportunity to assess the heritage significance of the building and identify whether the building should be listed as a State and/or local heritage item.

An appeal against the refusal of DA193/2020 was filed with the Land and Environment Court on 18 December 2020. At the time of writing this report, the status of the Appeal is that the application is listed for a *Section 34 Conciliation Conference* in accordance with the *Land and Environment Court Act 1979* on 5 March 2021.

#### 4. Consultation

The planning proposal and supporting material were placed on public exhibition for 31 days, from Wednesday 27 January 2021 – Friday 26 February 2021 (inclusive), consistent with the requirements of the Act, the *Environmental Planning and Assessment Regulation 2000* and conditions set out in the gateway determination.

The exhibition involved the following:

1. Five weekly notices in the Wentworth Courier providing details of the exhibition, appearing on 27 January 2021, 3 February 2021, 10 February 2021, 17 February 2021 and 24 February 2021.
2. A public exhibition page for the planning proposal and supporting material on Council's website. The exhibition page was visited by 27 people during the exhibition period.
3. A public exhibition page for the planning proposal and supporting material on Your Say Woollahra. This page was visited by 125 people during the exhibition period.
4. Display of exhibition material at the Customer Service counter at the Woollahra Council Chambers at Double Bay, available during normal business hours.
5. Notification letter or email to stakeholders including property owner, adjoining and nearby property owners, Heritage NSW at the Department of Premier and Cabinet, the National Trust of Australia (NSW) and the Woollahra History and Heritage Society.

#### 5. Submissions

Thirteen submissions were received in response to the public exhibition. A redacted copy of all the submissions is attached at **Annexure 2**.

11 submissions of support were received from the following:

*Organisations:*

- Woollahra History and Heritage Society
- Heritage NSW (James Sellwood)
- Heritage NSW (Andreana Kennedy)

*Current Land Owner*

- Andrew Griffin (land owner)

*Previous occupier*

- Ronald S. Denning (son of the original owner)

*Local Residents*

- Thea Hunter
- Helen Klinger
- James B. Carter
- Kate McCredie
- Wendy Scotter
- John H. O. Greenland

Two local residents objected to the planning proposal:

- Thalma Dickson
- Ventry Gray

### 5.1. Submissions of support

In summary, the submissions of support thanked the consultants for a well-researched and informative history on the area, the building and the original architects and applaud Council's initiative to heritage list this property and its interiors.

The submission from Mr Ronald Denning (son of the original owner) provided a detailed insight into the history of this building, the custom made furniture and the Architects Reves and Hayes. Mr Denning provided further information (including a number of images) directly to the Heritage Consultants. In response, the Heritage Assessment report prepared by Rebecca Hawcroft and Kieran McInerney has been updated to include additional information (see **Annexure 3**). The parts of the report that have been amended are:

- Section 3: History,
- Section 4: Physical Analysis and
- Section 11: Appendix C, where images from the Danos family dating from the 1950s and 1960s have been included.

Mr Andrew Griffin (current owner of Trelawney Court) provided a submission prepared by Weir Phillips Heritage and Planning, in favour of the heritage listing.

### 5.2. Objections

A number of matters objecting to the heritage listing have been raised in two submissions. These are summarised in the following table, and a response provided by staff.

	Comment summary	Staff Response
1.	'heritage' has a nebulous (and chameleon-hued) meaning.	In the context of the NSW planning system, the term heritage does not have a nebulous meaning. "Environmental Heritage" and "local heritage significance" are defined in the <i>NSW Heritage Act, 1977</i> at Section 4 and 4A(1). The <i>Woollahra LEP 2014</i> also provides a definition for heritage item.
2.	Subject property is not a 'national asset'.	The subject site has been assessed as meeting the threshold for 'local' heritage significance and hence the recommendation is that it should be included in Schedule 5 of the <i>Woollahra LEP 2014</i> . There is no suggestion the site meets the threshold for National Heritage listing.
3.	Property has not won an award, received commendation or been favourably reviewed in a publication. No evidence Mr Reyes was proud of this design. No evidence that the commission was to design a building to a cost rather than an iconic example of excellent post-war architecture.	The independent assessment was undertaken in accordance with the assessment of heritage significance provided by Heritage NSW, specifically 'Assessing Heritage Significance'. The assessment applies a rigorous process of research and analysis of a place's historic, aesthetic, scientific and social significance. The assessment of Trelawney Court provides reasons for the subject site having significance at a local level under five of the seven heritage criteria.  There is no requirement for a proposed heritage item to win an award or be the object of a research or in a publication. It is purely a matter of meeting the Heritage NSW criteria. Notwithstanding, the building featured on the cover page and in an article of <i>Decoration and Glass, Volume 15, No.2, July-August 1949</i> .

	Comment summary	Staff Response
4.	Is the structure the best use of the site, or an antiquated relic?	This is not relevant for a heritage assessment. The building appears to be highly valued by members of the community as demonstrated by its ongoing use and the submissions of support. Appreciation of heritage significance and rarity of Trelawney Court was confirmed by the Minister by issuing an IHO on 11 September 2020.
5.	Since the building was not listed previously, it is not of heritage significance. The evolving nature of heritage is questioned.	Council's heritage schedule is not an exhaustive list of all significant elements in the LGA, but is updated as and when new heritage items are identified, assessed and finalised.  The subject property is one whose significance has come to be better understood over the last few years. Properties from the mid-century period are increasingly the focus of heritage assessments as new information emerges and examples of Modernist quality architecture from this period become increasingly rare.
6.	Property does not meet Historical criteria as it was built during a period of material constraint.	There are other considerations for meeting the Historical criterion. It is not a prerequisite for an item to date from a particular era, and meeting one of the criteria is enough to list a heritage item. The variety of materials compared to the richness of details and the layout in itself tells a story of a particular phase of development of the Municipality.
7.	Property lacks aesthetic appeal, is ugly and will be an eyesore for future generations.	The <i>Heritage Act, 1977</i> and NSW Heritage guidelines avoids heritage being judged purely on aesthetic grounds. The heritage assessment notes the building's aesthetic quality in connection with Modernist architectural details, such as the curved feature awning, use of ashlar stonework feature panels, marked horizontality and suppression of the expression of the pitched roofs and for being an intact example of a modernist Inter-War flat building.
8.	Property does not meet Research Potential criterion because no one will want to design a replica of the subject property.	There are a number of considerations for meeting the Research Potential criterion, as per the Heritage NSW guidelines. E.g. it demonstrates the architectural work of Reves and Hayes. Little is known about both architects and their projects, many of which have been altered or demolished.
9.	Property does not meet Rarity criterion because other buildings of this type / age have been demolished.	The demolition of other buildings of this type and age is in itself, a reason for making this building rarer. Appreciation of heritage significance and rarity of Trelawney Court was confirmed by the Minister by issuing an IHO on 11 September 2020.
10.	Property does not meet Representativeness criterion because there is nothing important about a 70-year RFB which cannot be demonstrated by photographs and plans.	Significant fabric identified through a rigorous heritage assessment process is to be retained and conserved. Photographs and plans of the subject building would not 'offset' the loss of heritage fabric. The heritage assessment notes Trelawney Court's representativeness due to its having numerous features of the period, it displaying the influence of European Modernism and its being a good example of the work of architect George Reves.
11.	The Greater Sydney Regional Plan, Eastern District Plan, Woollahra LSPS & Woollahra 2030 do not identify the property for retention.	These are overarching strategic policies that do not identify individual properties. Heritage listing of Trelawney Court, including interiors, is consistent with the strategic planning framework. Refer to Section 6 Justification of the planning proposal in <b>Annexure 1</b> .



In summary, the planning proposal is supported by the community as demonstrated by the submissions of support, including a submission from the property owner. It is recommended that Council proceed with the planning proposal by making the LEP to list Trelawney Court, including interiors at 3 Trelawney Street, Woollahra as a heritage item under Woollahra LEP 2014.

## **6. Making the draft LEP under delegated authority**

To streamline the plan-making process, the Minister can delegate some plan-making powers to Council for routine matters. In this case, Council has been provided with written authorisation to exercise the functions of the Minister to make a LEP under section 3.36 of the Act.

Should Council resolve to proceed with and finalise the planning proposal, staff will request that the Parliamentary Counsel (PC) prepare a draft LEP. Once the draft LEP has been prepared, PC will issue an opinion that it can be made.

Alternatively, if Council decides not to finalise the planning proposal, it should resolve to write to the Minister requesting him or his delegate not to proceed under section 3.35(4).




## **7. Conclusion**

The heritage significance of Trelawney Court, including interiors at 3 Trelawney Street, Woollahra, has been established through a detailed assessment of heritage significance. The planning proposal will facilitate the listing of Trelawney Court, including interiors as a local heritage item thereby providing statutory recognition of the site's heritage significance.

Preparation and exhibition of the planning proposal has been undertaken in the manner required by the relevant provisions of the Act, the Regulation and the Gateway Determination. The planning proposal report is not required to be updated post exhibition. However, the Heritage Assessment report has been updated to incorporate the additional historic information provided by Mr Ronald Denning (son of the original owner).

The planning proposal is generally supported by the community. The Council can proceed to the next step by making the LEP to list *Trelawney Court, including interiors* at 3 Trelawney Street, Woollahra as a heritage item under Woollahra LEP 2014.

## **Annexures**

1. Planning Proposal to list Trelawney Court [↓](#) 
2. Redated copy of submissions [↓](#) 
3. Updated Heritage Assessment report by by Rebecca Hawcroft and Kieran McInerney - March 2021 [↓](#) 

# Planning Proposal



## Local Heritage Listing Trelawney Court 3 Trelawney Street, Woollahra



Version Date:	December 2020
Division/Department:	Strategic Planning
Responsible Officer:	Flavia Scardamaglia – Strategic Heritage Officer
HPE CM Record Number:	20/119662

TRIM: 20/119662

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## 1. Introduction

### 1.1. Background

On 11 November 2019, Council considered a Notice of Motion (Item No. 16.3) and Council resolved:

*That Council proceeds urgently to assess Trelawney Court at number 3 Trelawney Street, Woollahra with a view to a local heritage listing.*

The following background information accompanied the notice of motion in the meeting agenda:

*The reason for this Notice of Motion is to protect number 3 Trelawney Street, Woollahra. Even though the facade may be protected as the building sits within a heritage conservation area, the interiors are not protected. This is a rare building designed in 1948 by George Robert Reves in the Modernist style in very good original condition.*

Council engaged heritage consultants Kieran McNerney and Rebecca Hawcroft to carry out an assessment of heritage significance for *Trelawney Court* at 3 Trelawney Street, Woollahra in accordance with the NSW Heritage guidelines.

The consultants are a team of award winning heritage and architectural specialists with extensive experience researching the work of architects George Reves and Charles Hayes, who designed *Trelawney Court*. Rebecca Hawcroft has previously published a number of scholarly articles, curated an exhibition and edited a publication that focused on Reves and other émigré architects working in Sydney after the Second World War.

On 1 July 2020, a report was presented to Council's Environmental Planning Committee (EPC) regarding heritage listing *Trelawney Court, including interiors* at 3 Trelawney Street, Woollahra.

On 27 July 2020, Council resolved:

*A. THAT a planning proposal be prepared to list Trelawney Court, including interiors, at 3 Trelawney Street, Woollahra as a local heritage item in Schedule 5 of the Woollahra Local Environmental Plan 2014.*

*B. THAT the planning proposal be referred to the Woollahra Local Planning Panel for advice.*

*C. THAT the advice of the Woollahra Local Planning Panel be reported to the Environmental Planning Committee.*

The matter was referred to the Woollahra Local Planning Panel (Woollahra LPP) on 6 August 2020 for advice. The Panel provided the following advice to Council:

- A. *Proceed with the planning proposal to list the Trelawney Court, including interiors, at 3 Trelawney Street, Woollahra as a local heritage item in Schedule 5 of the Woollahra Local Environmental Plan 2014.*
- B. *Forward the planning proposal to the Department of Planning, Industry and Environment to list Trelawney Court, including interiors, at 3 Trelawney Street, Woollahra as a local heritage item in Schedule 5 of the Woollahra local Environmental Plan 2014, requesting a gateway determination to allow public exhibition.*
- C. *Request delegation from the Department of Planning, Industry and Environment in relation to the planning proposal, to carry out the plan-making functions of the Minister for Planning and Public Spaces under section 3.36 of the Environmental Planning and Assessment Act 1979.*

The advice was reported to the EPC on 7 September 2020. On 29 September 2020, Council endorsed the following:

- A. *THAT Council note the advice provided by the Woollahra Local Planning Panel on 6 August 2020.*
- B. *THAT Council forward the planning proposal, as contained in the Annexure 3 of the report to the Environmental Planning Committee meeting on 7 September 2020 to list Trelawney Court, including interiors at 3 Trelawney Street, Woollahra, as a local heritage item in Schedule 5 of the Woollahra Local Environmental Plan 2014, to the Department of Planning, Industry and Environment, requesting a gateway determination to allow public exhibition. The planning proposal will be updated to reference the report to the Environmental Planning Committee and subsequent decision of the Council.*
- C. *THAT Council request delegation from the Department of Planning, Industry and Environment in relation to the planning proposal, to carry out the plan-making functions of the Minister for Planning and Public Spaces under Section 3.36 of the Environmental Planning and Assessment Act 1979.*

## 1.2. Description of this planning proposal

This planning proposal is made in relation to *Trelawney Court* at 3 Trelawney Street, Woollahra (Lot 1 DP 86213) and explains the intended effect of an amendment to Woollahra Local Environmental Plan 2014 (Woollahra LEP 2014).

The objective of the planning proposal is to amend the Woollahra LEP 2014 to list *Trelawney Court, including interiors* as a local heritage item in Schedule 5. Heritage listing will provide ongoing protection and recognition of the heritage significance of the site, including its main building and interiors.

This planning proposal has been prepared in accordance with section 3.33 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and the two documents prepared by the formerly named NSW Department of Planning and Environment (now known as the NSW Department of Planning, Industry and Environment) titled *A Guide to*



*Preparing Planning Proposals* (December 2018) and *A Guide to Preparing Local Environmental Plans* (December 2018).

The requirements for a planning proposal are provided in sections 2 to 9 as follows:

1. A description of Trelawney Court and its context
2. Existing planning controls applying to *Trelawney Court*
3. The objective of the amendment to Woollahra LEP 2014
4. An explanation of provisions that are to be included in the amendment to Woollahra LEP 2014
5. Justification for the objective and provisions to be included in the amendment to Woollahra LEP 2014
6. Mapping for the heritage listing
7. Community consultation to be undertaken
8. Project timeline

### 1.3. Assessment of heritage significance

In response to Council's decision, an assessment of heritage significance of Trelawney Court was undertaken by heritage consultants Kieran McInerney and Rebecca Hawcroft. The draft assessment was completed in April 2020 and is attached as Appendix 2.

The assessment of heritage significance was undertaken in accordance with the document titled *Assessing heritage significance*, published by the NSW Heritage in 2001.

There are seven criteria used in the process of assessing heritage significance. Each criterion has inclusion and exclusion guidelines which are used to assist in the assessment process. If an item meets one of the seven heritage criteria at a local level, and retains the integrity of its key attributes, it can be considered to have local heritage significance. To be assessed for State significance an item will meet more than one of the seven heritage criteria at a State level, or if an item satisfies only one of the criteria, the item is of such particular significance to NSW that it should be listed.

**Table 1** below provides a summary of the assessment of the heritage significance of Trelawney Court against the seven criteria, at both the local and State levels.

**Table 1: NSW Heritage Assessment criteria summary**

Criteria		Meets criteria for heritage listing and grading of significance	
		Local	State
(a)	An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area).	√	x
(b)	An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area).	x	x
(c)	An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area).	√	x
(d)	An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons.	x	x
(e)	An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).	√	x
(f)	An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area).	√	x
(g)	An item is important in demonstrating the principal characteristics of a class of NSW's <ul style="list-style-type: none"> <li>cultural or natural places, or</li> <li>cultural or natural environments, (or a class of the local area's</li> <li>cultural or natural places, or</li> <li>cultural or natural environments.)</li> </ul>	√	x

The heritage assessment concludes that *Trelawney Court, including interiors* at 3 Trelawney Street, Woollahra satisfies five out of seven criteria at local level. None of the criteria are met at State level.

#### 1.4. Statement of heritage significance

*Trelawney Court at 3 Trelawney Street, Woollahra is a significant example of an Inter-war flat building designed in the immediate post war period with interiors and built-in furniture remaining intact. It has local historical significance for its ability to demonstrate the shift in the Woollahra area towards higher density and increased apartment development post war. It also has historical significance as a work of émigré architects for European clients and can be seen to represent the growing influence of European migrants on the development of Sydney's suburbs post war.*

*Trelawney Court is also significant at a local level as a rare, intact example of the work of architect George Reves who contributed a number of significant modernist houses in the eastern suburbs during the 1950s and 1960s. Trelawney Court demonstrates*

*the evolution of his style as he adapted to the context of Sydney and has particular significance due to its intactness.*

*Trelawney Court has aesthetic significance at a local level as an intact example of a modernist Inter-war flat building. It retains a high level of original interior and exterior fabric and as an early work of émigré architects is able to demonstrate the transfer of European modernist architectural training to Australia. The building shares characteristics with other significant modernist 1930s and 1940s apartments, and is able to demonstrate the growing influence of International Style modernism on apartment design in Australia.*

*As an intact example of its type, Trelawney Court has research potential at a local level to demonstrate past ways of living and design and construction methods from the mid 20th century. It is also an important source of information about the work of its architects Reves and Hayes, of which little is known and many of their projects been altered or demolished. The building also has high levels of rarity values as an intact 1946 apartment design undertaken by émigré architects. Trelawney Court, including its interiors, is a fine example of its type, displaying the principle characteristics of an important architectural development and is part of a group of buildings, the work of émigré architects, which collectively demonstrate significant historical and social changes.*

(Source: Assessment of Heritage Significance for 3 Trelawney Street, Woollahra, Final Draft Issue April 2020, by Kieran McInerney and Rebecca Hawcroft, pp.65-66)

The assessment recommends listing *Trelawney Court and interiors* as a heritage item of local significance in Schedule 5 of the Woollahra LEP 2014.

### 1.5. Recommendations in the Assessment of Heritage Significance

#### 1.5.1 Heritage Listing

- *Trelawney Court* at 3 Trelawney Street, Woollahra, including its interiors, should be added to the heritage schedule of the Woollahra LEP 2014 as an item of local heritage significance. This is to be based on the heritage inventory sheet found in Appendix C of the assessment of heritage significance report.
- It is also recommended that Council undertake a study of the work of émigré architects in the post war period in the local government area to gain a fuller understanding of the rarity or representative value of the building and to identify other significant buildings.

#### 1.5.2 Ongoing Management

- It is recommended that the *Trelawney Court* be managed in line with the principles of the *Burra Charter*, particularly Article 3.1 which notes: "Conservation is based on a respect for the existing fabric, use, associations and meanings. It requires a cautious approach of changing as much as necessary but as little as possible."<sup>1</sup> Any future adaptations or upgrades should aim to retain as much original fabric as possible.

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<sup>1</sup> The Burra Charter, Australia ICOMOS 2013.

- It is considered that sympathetic upgrades of kitchens and bathrooms would not adversely impact the building's overall significance, but should aim to retain as much early or original fabric as possible.
- All other extant original and early fabric, including built-in furniture, should be retained and conserved.
- The external appearance of the site when viewed from Trelawney Street, which remains largely original, should be retained and conserved. It is noted that the garage and laundry room are not considered to be of heritage significance.
- The heritage significance assessment did not include a full inspection of the building. Consequently, a fabric assessment should be undertaken. The external and internal fabric should be rated for its significance in order to guide future works. This might be best achieved via the preparation of a conservation management document which assesses the significance of the fabric and includes policies for future changes.
- A detailed internal and external photographic record of the building should be made and lodged with Woollahra Council and the Local Historical Association.

The area recommended for local listing is shown with a solid red line in **Figure 1 and 2**. It affects Lot 1 of Deposited Plan **86213**.



**Figure 1:** The area recommended for local listing is identified with a solid red line (Source: Woollahra MAPS)



## 2. Existing site and context

### 2.1. The study area and its context

The subject building consists of a two storey post-war residential flat building located at 3 Trelawney Street, Woollahra (**Figures 1, 2 and 3**). It was designed by George Robert Reves and Charles Hayes and built in 1946.

The site is a long thin block with a street frontage to Trelawney Street of 16 metres tapering to 7.5 metres at the rear of the site. The site depth is 65 metres. The site adjoins a late twentieth century two storey residential flat building to the west (see **Figure 2**). To the east the site adjoins the rear boundaries of five properties facing Edgecliff Road. The largest is 388 Edgecliff Road, a large Federation Style house, now converted to flats, located on the corner of Edgecliff Road and Trelawney Street. The garage of 388 Edgecliff Road is directly adjacent on the Trelawney Street boundary.

The site and its neighbours are zoned R3 Medium Density Residential under the Woollahra LEP 2014 and are located in the Woollahra Heritage Conservation Area.

The building is listed as a contributory item in clause 2.7 of Woollahra Development Control Plan (DCP) 2015, Chapter C2 Woollahra Heritage Conservation Area. It is identified as an 'Inter-War Flat Building' contributory to the Rosemont Precinct.



**Figure 2:** Aerial photograph of 3 Trelawney Street, Woollahra with the area proposed for local listing outlined in red (Source: Woollahra MAPS)







Figure 3: broader context aerial map showing the site in relation to the suburb, major roads and surrounds (Source: Woollahra MAPS).



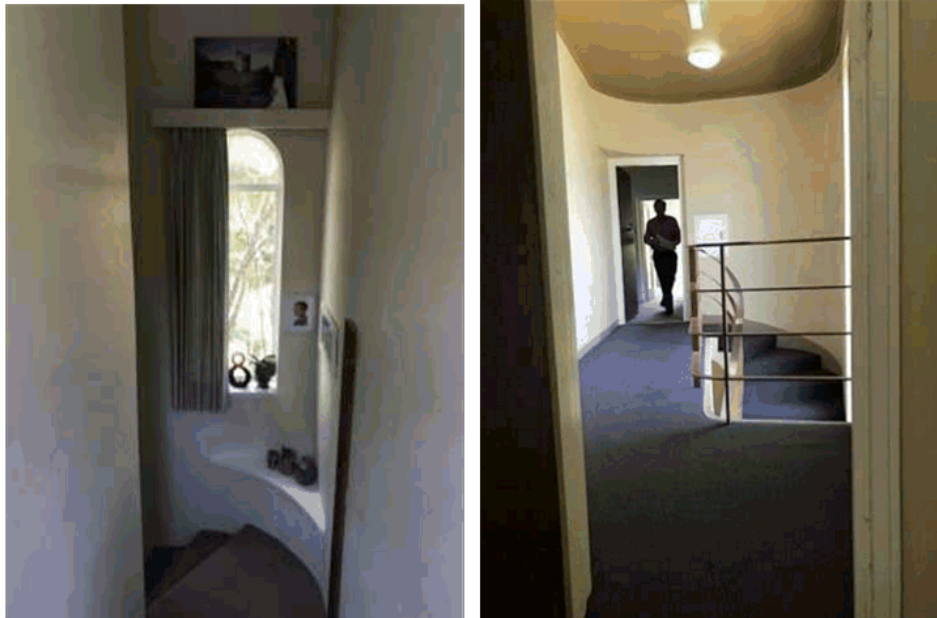
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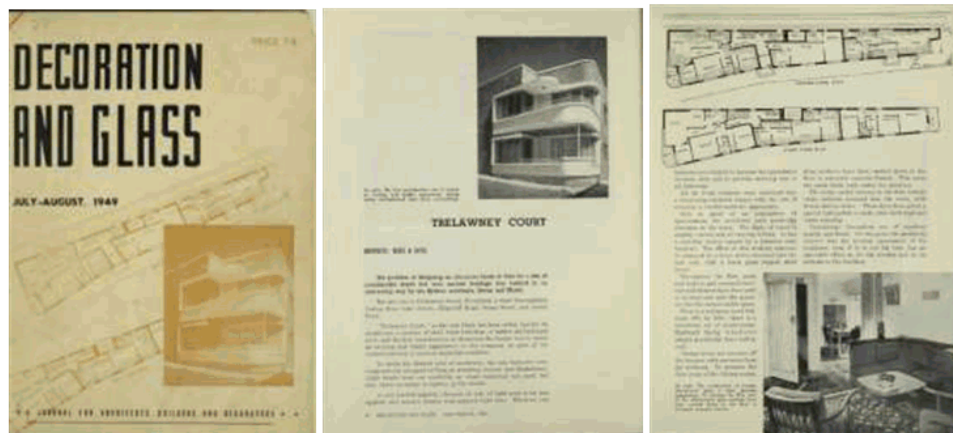
**Figure 4:** View of Trelawney Court from the street (Source: Bradfield, 2019)



**Figure 5 and 6:** Main entry door with a curve concrete slab awning over an ashlar sandstone blade wall and curved 'streamlined' plasterwork.



**Figure 7 and 8:** Curved walls, internal staircase with curve winders and curved balustrade.



**Figure 9, 10 and 11:** extract from *Decoration and Glass* magazine, July-August 1949, Vol.15 No.2 on Trelawney Court.

### 3. Existing planning controls

#### 3.1. Woollahra Local Environmental Plan 2014

The site is subject to existing planning controls of the Woollahra LEP 2014, relating to land zoning, height of buildings, minimum lot size, FSR and acid sulfate soils.

Land Use Zone	Minimum Lot Size	Height of Building	Floor Space Ratio	Heritage Conservation	Acid Sulfate Solis
R3 Medium Density Residential	700 sqm	10.5m	0.75:1	Within the Woollahra Heritage Conservation Area (C15)	Class 5

The objectives for the R3 Medium Density Residential zone in the Woollahra LEP 2014 are:

- *To provide for the housing needs of the community within a medium density residential environment.*
- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that development is of a height and scale that achieves the desired future character of the neighbourhood.*

As identified in the table above, *Trelawney Court* at 3 Trelawney Street is not currently listed as a local heritage item but it is within the Woollahra Heritage Conservation Area (C15) of the Woollahra LEP 2014. Whilst this ensures that the Clause 5.10 of the Woollahra LEP 2014 applies to the assessment of development on the site, it does not provide specific protection for the significant interiors. It is noted that development under *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* may be undertaken that has potential to impact on the significance of the interiors.

#### 3.2. Woollahra Development Control Plan 2015

*Trelawney Court* at 3 Trelawney Street is identified as a 'contributory' item in Clause 2.7 of the Woollahra DCP 2015, Chapter C2 Woollahra Heritage Conservation Area, being an 'Inter-War Flat Building' in the Rosemont Precinct.

### 4. Objective of amendment to Woollahra LEP 2014

The objective of the amendment to Woollahra LEP 2014 is to recognise the heritage significance of *Trelawney Court, including interiors* at 3 Trelawney Street, Woollahra and provide it with an additional statutory heritage protection.



## 5. Explanation of provisions

The planning proposal seeks the following amendments to Woollahra LEP 2014:

- Insert a local heritage listing for *Trelawney Court, including interiors* at 3 Trelawney Street, Woollahra in Part 1 (Heritage Items) of Schedule 5 Environmental Heritage.
- Amend the Heritage Map (Sheet HER\_003A) of the Woollahra LEP 2014 to identify *Trelawney Court, including interiors* as a heritage item.

## 6. Justification

The planning proposal has strategic merit. The heritage significance of *Trelawney Court, including interiors* at 3 Trelawney Street, Woollahra has been established by the assessment undertaken by Kieran McInerney and Rebecca Hawcroft. Heritage listing will provide ongoing protection and recognition of the heritage significance of the item.

These matters are further discussed below in part 6.1 to 6.3.

### 6.1. Need for planning proposal

#### 1. Is the planning proposal a result of an endorsed local strategic planning statement, any strategic study or report?

Yes. The planning proposal is the result of the recommendations of the Assessment of Heritage Significance report prepared by Kieran McInerney and Rebecca Hawcroft. The report concluded that *Trelawney Court, including interiors*, meets five criteria out of seven for listing as a local heritage item. The report recommended that:

*Trelawney Court at 3 Trelawney Street, Woollahra, including its interiors, should be added to the heritage schedule of the Woollahra LEP 2014 as an item of local heritage significance.*

#### 2. Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

Yes. The objective of this planning proposal is to list *Trelawney Court, including interiors* as a local heritage item in Schedule 5 of the Woollahra LEP 2014. The best, and only, means of achieving this objective is through the planning proposal process.

Heritage listing will provide ongoing protection and recognition of the heritage significance of the item. Other options, such as adding site-specific objectives and controls to the Woollahra DCP 2015, or including heritage conservation conditions to a development consent, will not provide the same level of heritage protection and recognition.

## 6.2. Relationship to strategic planning framework

### 3. Will the planning proposal give effect to the objectives and actions of the applicable regional, or district plan or strategy (including any exhibited draft plans or strategies)?

Yes. The planning proposal is consistent with the relevant objectives and actions of the *Greater Sydney Region Plan: A Metropolis of Three Cities* (2018) and the *Eastern City District Plan* (2018), as discussed below.

#### **Greater Sydney Regional Plan: A Metropolis of Three Cities**

The planning proposal is consistent with the directions and objectives of *Greater Sydney Regional Plan: A Metropolis of Three Cities*, particularly Objective 13 'Environmental heritage is identified, conserved and enhanced'.

Heritage listing of *Trelawney Court, including interiors*, will provide ongoing protection and recognition of the heritage significance of this item.

#### **Eastern City District Plan**

Yes. The planning proposal is generally consistent with the directions, priorities and objectives of the *Eastern City District Plan*, particularly Planning Priority E6 and Action 20:

*Planning Priority E6 'Creating and renewing great places and local centres, and 'respecting the District's heritage'*

*Objective 13 'environmental heritage is identified, conserved and enhanced'*

*Action 20 'Identifying, conserving and enhancing the environmental heritage of the local area' through:*

- a. engaging with the community early to understand heritage values*
- b. applying adaptive re-use and interpreting heritage to foster distinctive local places*
- c. managing and monitoring the cumulative impact of development on the heritage values and character of places'.*

Heritage listing of *Trelawney Court, including interiors*, will provide ongoing protection and recognition of the heritage significance of this item.

### 4. Will the planning proposal give effect to a council's endorsed local strategic planning statement, or another endorsed local strategy or strategic plan?

Yes. The planning proposal is consistent with the Woollahra Local Strategic Planning Statement and Council's Community Strategic Plan, *Woollahra 2030*.

The planning proposal is consistent with Planning Priority 5 of the Woollahra Local Strategic Planning Statement:

*Planning Priority 5 Conserving our rich and diverse heritage*

In particular Actions 28 and 30 of this planning priority seek to ensure that heritage is conserved and that the LEP and DCP reflect the evolving nature of heritage:

28. *Continue to proactively conserve and monitor heritage in the Municipality including:*

- *reviewing and updating provisions in Woollahra Local Environmental Plan 2014 and Woollahra Development Control Plan 2015*
- *sustainably managing visitation to our heritage conservation areas and destinations*
- *promoting a high standard of urban design in both the public and private domain that respects and communicates with heritage and our heritage conservation areas*
- *supporting implementation of legislation for Aboriginal Heritage.*

30. *Undertake further theme-based Municipality-wide studies, with consideration for the fact that heritage is constantly evolving.*

The planning proposal is also consistent with Council's community strategic plan, *Woollahra 2030 – our community, our place, our plan*. Notably, the planning proposal meets the following strategy within Goal 4 (Well-planned neighbourhood) under the theme Quality places and spaces:

*4.3 Protect our heritage, including significant architecture and the natural environment.*

Heritage listing of *Trelawney Court, including interiors*, will provide ongoing protection and recognition of the heritage significance of this item consistent with these local strategies.

**5. Is the planning proposal consistent with applicable State Environmental Planning Policies?**

Yes. The planning proposal is consistent with the *Standard Instrument - Principal Local Environmental Plan* and all other applicable State Environmental Planning Policies (refer to **Schedule 1** below).

**6. Is the planning proposal consistent with applicable Ministerial Directions (s.9.1 directions)?**

Yes. The planning proposal is consistent with applicable section 9.1 directions (refer to **Schedule 2** below).

**6.3. Environmental, social and economic impact**

**7. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?**

No. There are no critical habitat areas, threatened species, populations or ecological communities or their habitats present on the subject land. Accordingly, the proposal will not have any impact in this regard.



**8. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?**

No. There are no likely environmental effects that would arise as a result of the planning proposal. Measures to conserve the heritage item are unlikely to result in environmental harm and will be managed through the development assessment process.

**9. Has the planning proposal adequately addressed any social and economic effects?**

Yes. The heritage assessment/inventory sheet measured *Trelawney Court*, including interiors at 3 Trelawney Street, Woollahra against the criteria for 'cultural significance' as defined in the Australia ICOMOS Burra Charter, as meaning the aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

The assessment found that *Trelawney Court*, including interiors at 3 Trelawney Street, Woollahra, meets the historic, aesthetic, research potential, rarity and representativeness criteria at local level.

Identifying the subject site as a heritage item will require a development application (DA) to be considered against *Clause 5.10 Heritage conservation* of the Woollahra LEP 2014.

To facilitate the assessment process, a DA must be accompanied by a heritage management document. Accordingly, there are some additional minor costs involved in preparing an application on a site which is listed as a heritage item.

It should be noted that an effect of a property being classified as a heritage item will prevent certain works being carried out as either exempt or complying development.

**6.4. State and Commonwealth Interests**

**10. Is there adequate public infrastructure for the planning proposal?**

Yes. The planning proposal involves the local heritage listing of *Trelawney Court*, including interiors at 3 Trelawney Street, Woollahra and does not involve amendments to the planning controls that will facilitate intensified development.

Currently, the two-storey residential building has access to adequate public infrastructure such as water, sewer, electricity and telephone services. The site's closest access to transport services is on Ocean Street.

There is no significant infrastructure demand that will result from the planning proposal. The existing services that are available to the site are suitable for the proposal of a local heritage listing in a residential zone.

**11. What are the views of State and Commonwealth public authorities consulted in accordance with the gateway determination?**

Should the planning proposal proceed to public exhibition, consultation with the relevant public authorities will be carried out. These authorities will include, but are not limited to:

- Heritage NSW, Department of Premier and Cabinet
- NSW Heritage Council
- The National Trust of NSW

Further consultation will take place with any other authorities identified by the Gateway Determination.

7. Mapping

The planning proposal amends the Woollahra LEP 2014 Heritage Map (Sheet HER\_003A)

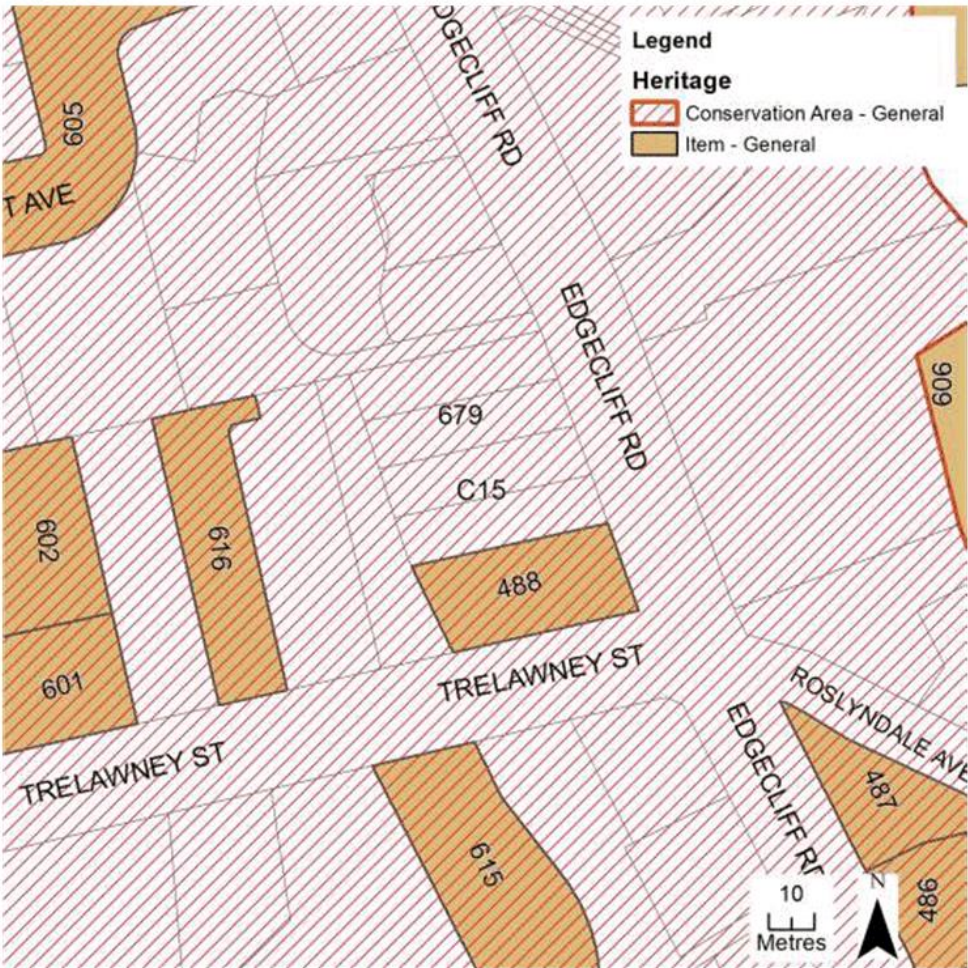
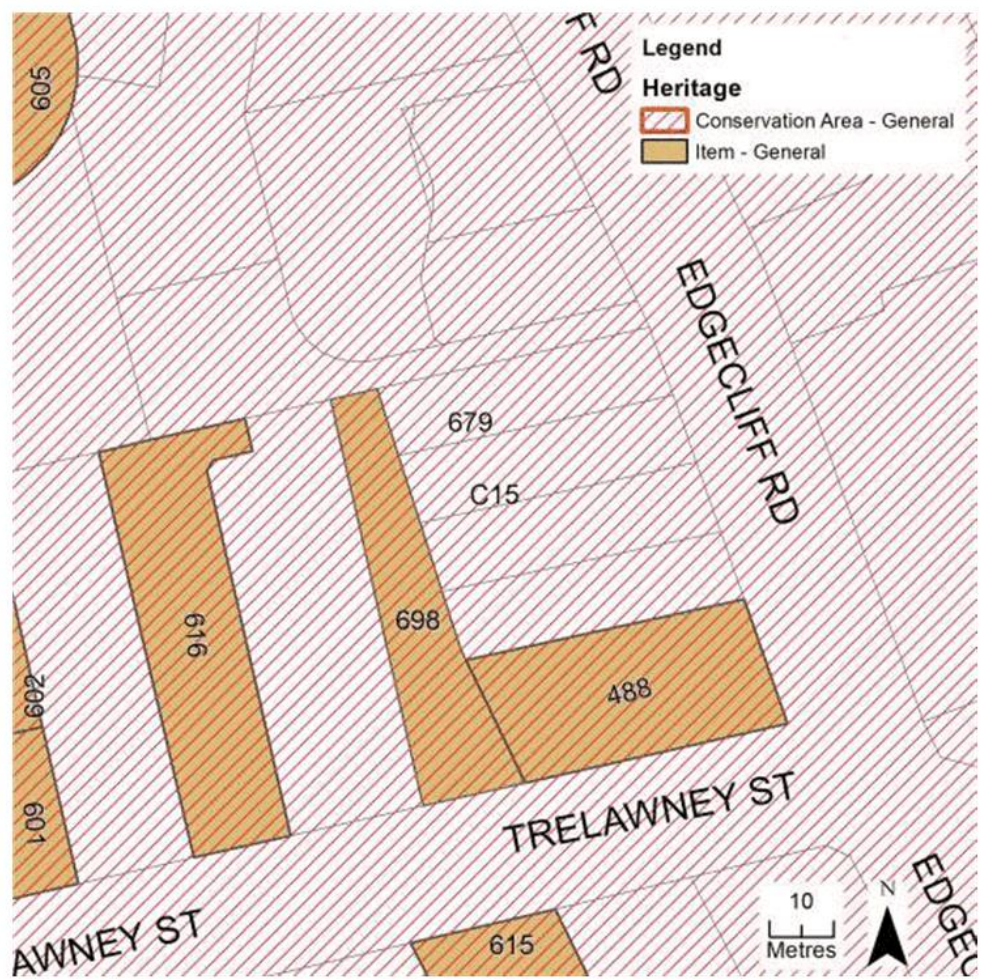


Figure 12: Extract from existing Woollahra LEP 2014 Heritage Map (Sheet HER\_003A).





**Figure 13:** Extract from proposed Woollahra LEP 2014 Heritage Map (Sheet HER\_003A). The heritage number is indicative only and will be confirmed upon finalisation of the proposal.

## 8. Community Consultation

### 8.1. Consultation with landowner

On 5 December 2019, Council staff sent a letter to the owners informing them of Council's adopted notice of motion and the engagement of a heritage consultant to undertake the heritage assessment. Internal access to the site was also requested. No answer was received. The property was subsequently sold at auction in December 2019.

On 5 February 2020, Council staff sent a letter to the new owners of 3 Trelawney Street, Woollahra, to inform them of the Council's adopted notice of motion and engagement of heritage consultants to undertake the heritage significance assessment. This letter also requested internal site inspection, given that the heritage consultants had only been inside this property informally during an open house inspection. A phone conversation with the Manager – Strategic Planning followed in early February to explain the listing process and request internal access to the site.

A copy of the draft Assessment of Heritage Significance and draft heritage inventory sheet was sent to the owners on 28 April 2020, formally requesting comments or submissions in the timeframe between the 28 April 2020 and 26 June 2020. At the time of writing this report no reply or submission has been received.

On 12 June 2020, a development application was lodged with Council for 'alterations and additions to the existing residential flat building, including a new level accommodating one additional unit' (DA 193/2020).

Plans dated 27 May 2020 were drawn by Design Inter Alia. The proposal seeks consent to undertake substantial alterations and additions to the subject property, including:

- Refurbishment and upgrades of existing kitchens and bathrooms;
- Opening up of existing walls and new door openings;
- Demolition and reconstruction of some walls to reorganise internal layouts;
- Demolition of existing secondary staircase (tradesmen stairs) and addition of this space to Lots 2 and 4;
- New three-bedroom second storey unit accessed through an extension of the existing main staircase.

The proposed second storey would use the following materials and finishes:

- Face brickwork;
- Rendered white brickwork to the balcony;
- White aluminum-framed windows; and
- Reinforced concrete roof with steel profile eaves.

The owners were informed of the EPC meeting on 6 July 2020 where the Assessment of Heritage Significance was considered. The owners did not attend the meeting and did not send any correspondence to be considered by the panel members.

In progressing the planning proposal, consultation with the owners will be undertaken in accordance with the *Environmental Planning & Assessment Act 1979* and the *Environmental Planning & Assessment Regulation 2000*.

The owners were informed of the Woollahra LPP meeting on 6 August 2020 where the Planning Proposal was considered. The owners did not attend the meeting and did not send any correspondence to be considered by the panel members.

In progressing the planning proposal, consultation with the owners will be undertaken in accordance with the *Environmental Planning & Assessment Act 1979* and the *Environmental Planning & Assessment Regulation 2000*.

## 8.2. Public Exhibition

Public exhibition will be undertaken in accordance with the requirements of the Act, the *Environmental Planning and Assessment Regulation 2000*, the *Woollahra Community Participation Plan* and the conditions in the Gateway Determination.

We recommend that the planning proposal is exhibited for a minimum of 28 days.

Public notification of the exhibition will comprise:

- A notice on Council's website.
- A notice on local newspaper Wentworth Courier, if a hardcopy version is being published.
- A letter to the land owners of the site.
- A letter to land owners in the vicinity of the site.
- Notification to local community groups.

During the exhibition period the following material will be available on Council's website and in the customer service area at Woollahra Council offices:

- The planning proposal, in the form approved by the gateway determination.
- The gateway determination.
- Information relied upon by the planning proposal, including the Assessment of Heritage Significance report and relevant Council reports.

## 9. Project Timeline

As Council is authorised to exercise the functions of the Minister for Planning under section 3.36 of the *Environmental Planning and Assessment Act 1979*, the proposed timeline for completion is as follows:

Plan-making step	Estimated completion
Council Notice of Motion	11 November 2019
Environmental Planning Committee recommends proceeding	7 July 2020
Council resolution to proceed	27 July 2020
Local Planning Panel provides advice	6 August 2020
Environmental Planning Committee recommends proceeding	7 September 2020
Council resolution to proceed	28 September 2020
Gateway determination	November 2020
Completion of technical assessment	Usually none required
Government agency consultation	January – February 2021
Public exhibition period	January – February 2021
Submissions assessment	March 2021
Environmental Planning Committee considers assessment of planning proposal post exhibition	April 2021
Council decision to make the LEP amendment	April 2021
Council to liaise with Parliamentary Counsel to prepare LEP amendment	May 2021
Forwarding of LEP amendment to Greater Sydney Commission and Department of Planning and Environment for notification	June 2021
Notification of the approved LEP	July 2021



## Schedules

### Schedule 1 – Consistency with state environmental planning policies

State environmental planning policy	Comment on consistency
SEPP No 19 – Bushland in Urban Areas	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP No 21 – Caravan Parks	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP No 33 – Hazardous and Offensive Development	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP No 36 – Manufactured Home Estates	Not applicable
SEPP No 47 – Moore Park Showground	Not applicable
SEPP No 50 – Canal Estate Development	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP No 55 – Remediation of Land	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP No 64 – Advertising and Signage	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP No 65 – Design Quality of Residential Apartment Development	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.  See section 6 of the planning proposal for more information.

State environmental planning policy	Comment on consistency
SEPP No 70 – Affordable Housing (Revised Schemes)	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Aboriginal Land) 2019	Not applicable. There is no land in the Woollahra LGA currently identified on the Land Application Map of SEPP (Aboriginal Land) 2019.
SEPP (Activation Precincts) 2020	Not applicable. There are no activation precincts identified in the Woollahra LGA.
SEPP (Affordable Rental Housing) 2009	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Building Sustainability Index: BASIX) 2004	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Coastal Management) 2018	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Concurrences and Consents) 2018	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Educational Establishments and Child Care Facilities) 2017	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.

State environmental planning policy	Comment on consistency
SEPP (Exempt and Complying Development Codes) 2008	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.  It should be noted that an effect of a property being classified as a heritage item will prevent certain works being carried out as either exempt or complying development.
SEPP (Gosford City Centre) 2018	Not applicable.
SEPP (Housing for Seniors or People with a Disability) 2004	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Infrastructure) 2007	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Koala Habitat Protection) 2019	Not applicable
SEPP (Kosciuszko National Park - Alpine Resorts) 2007	Not applicable
SEPP (Kurnell Peninsula) 1989	Not applicable
SEPP (Major Infrastructure Corridors) 2020	Not applicable. The planning proposal does not apply to land within a future infrastructure corridor or the adjacent land.
SEPP (Mining, Petroleum Production and Extractive Industries) 2007	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Penrith Lakes Scheme) 1989	Not applicable
SEPP (Primary Production and Rural Development) 2019	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.

State environmental planning policy	Comment on consistency
SEPP (State and Regional Development) 2011	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (State Significant Precincts) 2005	Applicable  There are currently no identified state significant sites located in the Woollahra Municipality.
SEPP (Sydney Drinking Water Catchment) 2011	Not applicable
SEPP (Sydney Region Growth Centres) 2006	Not applicable
SEPP (Three Ports) 2013	Not applicable
SEPP (Urban Renewal) 2010	There are currently no potential urban renewal precincts in the Woollahra Municipality which are identified in the SEPP.
SEPP (Vegetation in Non-Rural Areas) 2017	Applicable  Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Western Sydney Aerotropolis) 2020	Not applicable
SEPP (Western Sydney Employment Area) 2009	Not applicable
SEPP (Western Sydney Parklands) 2009	Not applicable

Sydney Regional Environmental Plans – now deemed State Environmental Planning Policies	Comment on consistency
SREP No 8 (Central Coast Plateau Areas)	Not applicable
SREP No 9 - Extractive Industry (No 2 - 1995)	Not applicable
SREP No 16 – Walsh Bay	Not applicable
SREP No 20 - Hawkesbury- Nepean River (No 2 - 1997)	Not applicable
SREP No 24 - Homebush Bay Area	Not applicable

Sydney Regional Environmental Plans – now deemed State Environmental Planning Policies	Comment on consistency
SREP No 26 – City West	Not applicable
SREP No 30 - St Marys	Not applicable
SREP No 33 - Cooks Cove	Not applicable
SREP (Sydney Harbour Catchment) 2005	<p>Applicable</p> <p>Consistent. The planning proposal applies to land within the Sydney Harbour Catchment. Therefore the planning principles under Part 2, clause 13 Sydney Harbour Catchment of the SREP have been considered during its preparation. The planning proposal is consistent with the principles.</p> <p>The site is not land in the Foreshores and Waterways Area, therefore the principles of clause 13 Foreshores and Waterways Area are not applicable to this planning proposal.</p>

## Schedule 2 – Compliance with section 9.1 directions

Note any inconsistencies that are considered to be minor here for DPE and in the introduction to the PP and 6.2 question 6.

Planning proposal – Compliance with section 9.1 directions		
Direction		Applicable/comment
<b>1</b>	<b>Employment and resources</b>	
1.1	Business and industrial zones	Not applicable. The land is not zoned for business or industry.
1.2-1.5	Directions 1.2-1.5	Not applicable. These directions are not relevant to the Sydney metropolitan area.
<b>2</b>	<b>Environment and heritage</b>	
2.1	Environment protection zones	Not applicable. The planning proposal does not apply to land within an environmental protection zone or land identified for environmental protection.
2.2	Coastal management	Not applicable. The planning proposal does not apply to land within the coastal zone.
2.3	Heritage conservation	Applicable. Consistent. Heritage listing of <i>Trelawney Court including interiors</i> will provide ongoing protection and recognition of the heritage significance of this item.
2.4	Recreation vehicle areas	Not applicable. The planning proposal does not apply to sensitive land or land with significant conservation values. It will not allow land to be developed for a recreation vehicle area.
2.5	Application of E2 and E3 Zones and Environmental Overlays in Far North Coast LEPs	Not applicable. The planning proposal does not apply to land in the Far North Coast.
2.6	Remediation of contaminated land	Applicable. Consistent. The planning proposal does not contain a provision which is contrary to the objective of this direction.
<b>3</b>	<b>Housing, infrastructure and urban development</b>	
3.1	Residential zones	Not applicable. The land is not zoned for residential purposes.
3.2	Caravan parks and manufactured home estates	Not applicable. The planning proposal does not affect caravan parks and manufactured home estates.
3.3	Home occupations	Not applicable. The planning proposal does not affect home occupations in dwelling houses.

Planning proposal – Compliance with section 9.1 directions		
Direction		Applicable/comment
3.4	Integrating land use and transport	Applicable. Consistent. The planning proposal does not contain a provision which is contrary to the operation of this direction.
3.5	Development near regulated airports and Defence airfields	Not applicable. The planning proposal does not apply to land near a regulated airport or defence airfield.
3.6	Shooting ranges	Not applicable. The planning proposal does not apply to land adjacent to or adjoining an existing shooting range.
3.7	Reduction in non-hosted short term rental accommodation period	Not applicable. This direction applies to Byron Shire Council.
<b>4</b>	<b>Hazard and risk</b>	
4.1	Acid sulfate soils	Applicable and consistent. Existing acid sulfate soils provisions will not be altered by the planning proposal.
4.2	Mine subsidence and unstable land	Not applicable. The planning proposal does not apply to land within a proclaimed Mine Subsidence District or to land identified as unstable.
4.3	Flood prone land	Applicable. Consistent. Existing flood planning provisions will not be altered by the planning proposal.
4.4	Planning for bushfire protection	Not applicable. The planning proposal does not apply to land mapped as bushfire prone land.
<b>5</b>	<b>Regional planning</b>	
5.1 - 5.9	Strategies 5.1-5.9	Not applicable. These strategies do not apply to the Woollahra LGA.
5.10	Implementation of Regional Plans	<p>Applicable. The planning proposal is consistent with the objectives of the <i>Greater Sydney Regional Plan: A Metropolis of Three Cities</i>, particularly Objective 13 'Environmental heritage is identified, conserved and enhanced.'</p> <p>Heritage listing of <i>Trelawney Court</i>, including interiors will provide ongoing protection and recognition of the heritage significance of the item.</p> <p>Refer to Section 6 and Schedule 1 of this planning proposal and direction 7.1 of this table.</p>



Planning proposal – Compliance with section 9.1 directions		
Direction		Applicable/comment
5.11	Development of Aboriginal Land Council land	Not applicable. The planning proposal does not apply to land shown on the Land Application Map of SEPP (Aboriginal Land) 2019.
<b>6</b>	<b>Local plan making</b>	
6.1	Approval and referral requirements	Applicable. Consistent. The planning proposal does not contain a provision which is contrary to the operation of this direction.
6.2	Reserving land for public purposes	Not applicable. The planning proposal does not create, alter or reduce existing zonings or reservations of land for public purposes.
6.3	Site specific provisions	Not applicable. The planning proposal does not allow a particular development to be carried out.
<b>7</b>	<b>Metropolitan Planning</b>	
7.1	Implementation of <i>A Metropolis of Three Cities</i> (March 2018)	Applicable. The planning proposal is consistent with the objectives of the <i>Greater Sydney Regional Plan: A Metropolis of Three Cities</i> , particularly Objective 13 'Environmental heritage is identified, conserved and enhanced.'  Refer to Section 6 and Schedule 1 of this planning proposal and direction 5.10 of this table.
7.2 - & .12	Directions 7.2 to 7.12	Not applicable. These directions do not apply to the Woollahra LGA.

**Supplementary material (separately attached)**

**Appendix 1 – Environmental Planning Committee Report (Annexures removed) (7 July 2020)**

**Appendix 2 – Assessment of Heritage Significance for Trelawney Court at 3 Trelawney Street, Woollahra by Kieran McInerney and Rebecca Hawcroft – April 2020**

**Appendix 3 – Council Meeting Agenda (Annexures removed) (27 July 2020)**

**Appendix 4 – Woollahra Local Planning Panel Minutes (6 August 2020)**

**Appendix 5 - Environmental Planning Committee Report (Annexures removed) (7 September 2020)**

**Appendix 6 – Council Meeting Minutes (29 September 2020)**

**From:** [Your Say Woollahra](#)  
**To:** [REDACTED]  
**Subject:** Thea Hunter completed Make an online submission  
**Date:** Saturday, 30 January 2021 5:22:19 PM

---

Thea Hunter just submitted the survey Make an online submission with the responses below.

**Would you like to make a submission to the proposed heritage listing of 3 Trelawney Street, Woollahra and interiors?**

Yes

**Your email**

[REDACTED]

**Your name**

Thea Hunter

**How would you like to make your submission?**

Type your submission here

**Please type your submission here.**

Firstly, I'd like to thank the Heritage Architects for submitting such a well researched and informative history of both the area, and in particular the building and it's Architects. Also great to know that it was in almost perfect, and well maintained, condition. We fully support, and applaud, Woollahra Council's initiative to Heritage list this property. Thank you Thea Hunter

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## Woollahra History and Heritage Society Inc

ABN 17 597 074 575

WHHS

whhs 21002

1 February 2021

Mr Craig Swift-McNair  
General Manager  
Woollahra Municipal Council

Dear Mr Swift-McNair,

SC5793

### PROPOSED HERITAGE LISTING OF 3 TRELAWNEY STREET, WOOLLAHRA

The Woollahra History and Heritage Society supports the recommendation of Rebecca Hawcroft and Keiran McInerney that 3 Trelawney Street, Woollahra including interiors should be added to the Heritage Schedule of Woollahra Local Environment Plan 2014.

The Society notes that the noted solicitor Arthur Wigram Allen, the owner of Strickland House, is mentioned quite frequently in the Heritage Assessment. The Society understands that Mr Allen also owned Merioola which was situated at the adjacent rear/north boundary of 3 Trelawney Street.

Yours sincerely,

Peter Poland OAM  
President

**From:** [Your Say Woollahra](#)  
**To:** [REDACTED]  
**Subject:** Thalma completed Make an online submission  
**Date:** Tuesday, 2 February 2021 5:42:19 PM

---

Thalma just submitted the survey Make an online submission with the responses below.

**Would you like to make a submission to the proposed heritage listing of 3 Trelawney Street, Woollahra and interiors?**

Yes

**Your email**

[REDACTED]

**Your name**

thalma dickson

**How would you like to make your submission?**

Type your submission here

**Please type your submission here.**

As a resident of Trelawney Street for more than 60 years, I am completely nonplussed that the council would consider this ugly post war building a heritage building. This would be the ugliest building in the whole street and certainly not worth heritage listing. In my opinion, the age and appearance of the building does not justify heritage listing. Please explain why we must preserve this eyesore for future generations. This is not a beautifully crafted building inside or out, that needs to be preserved.

---

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**R S DENNING**



11 February 2021

Ms Anne White  
Manager – Strategic Planning  
Woollahra Municipal Council  
GPO Box 61  
Double Bay NSW 1360

Dear Ms White,

**Reference SC5793**

**SUPPORT OF PLANNING PROPOSAL FOR  
THE PROPOSED LOCAL HERITAGE LISTING OF  
3 TRELAWNEY ST, WOOLLAHRA**

I write to support the proposed listing of 3 Trelawney St Woollahra, including interiors, as a local heritage item in Schedule 5 of the Woollahra LEP 2014 [Lot:1 in DP: 86213].

I am the only child of Tibor and Martha Danos. My father built 3 Trelawney St Woollahra and I lived in 3 of the apartments in that building continuously from 1948 until 1987. Following the death of Tibor my mother inherited the property and lived in the building until her death in November 2016. She left the property to 2 charities.

In 2016 the property was almost completely original in its internal and external features. It had been maintained as a residential flat building with minor repairs conducted as required but subject to no upgrading or modernisation. The only features removed at that time were some of the built-in furniture in Apartment 5.

I would like to commend the work of Kieran McInerney and Rebecca Hawcroft in their heritage assessment. It is extremely thorough and detailed. Reading it brought back many memories of my childhood, conversations with my father about the building and observations of the area in that time.

My parents were indeed Hungarian migrants who arrived in Sydney in January 1940. My father quickly established a business manufacturing canvas bags including army kit bags. He served in the Australian Army for 18 months in 1943/4.

My father proudly spoke of finding this narrow block of land in Trelawney St. It was the only vacant block in the street and was overgrown with only "an old chook shed down the back". He spoke of approaching the owners and interrupting a social function at their home to pay the deposit.

Having left a fractured Europe in 1939 Tibor was fixated with financial security. He wanted to build an asset in which he could live but would also provide an income stream and value for life. No 3 Trelawney St provided an opportunity to satisfy his dream so he embarked on a five year journey to acquire the land, facilitate the design and then build it for completion in 1948.

Both George Reves and Charles Hayes were friends of my fathers and I think he knew them in Budapest. The Hungarian community in Sydney was small in the 1940's only growing substantially after the Hungarian Revolution in 1956.

My father often spoke about the difficulties in obtaining building materials and fittings at the time. These were in short supply and mostly of pre war origin and design. He was incredibly proud of the modern features of the curves in the balconies and staircases and the front façade with hidden roofline. He spoke of the difficulty in obtaining the galvanised window frames and steel fittings. He joked about the fact that all the windows were different sizes and included various shapes. Obviously, the architects had led him down this path which was more costly than he anticipated!

The heritage assessment mentions "the approved building drew attention as a modern apartment providing light filled and well furnished, functional apartments". This was certainly my observation having lived in them for so long.

A feature of the building was the central hot water system serviced by a coke fired boiler situated half way down the building and a centralised refrigeration compressor providing cooling to the small built in refrigerators in each apartment. I recall the regular coke deliveries stored on a landing above the boiler room and the man who came daily on his motor scooter to stoke the boiler. As a kid I went for rides with him around the area.

Trelawney St had numerous foreign consulate buildings in and around it. The David Jones family lived nearby, and Sir Henry Braddon lived next door. It was a distinguished address then and not the heavily trafficked area it is today.

The building was unique in the area. It was surrounded by established family homes built in the early 20th century. There was a smattering of mansions around us, all now demolished. These included Merioola directly behind 3 Trelawney St, Quirang opposite and another in Fullerton St. The children in the area used to explore these houses as they were already derelict in the 1950's.

I recall living in the building as a small boy. Families with children lived in the front apartments, couples without children lived in the small middle ones and we lived in the maisonette at the rear.



My parents entertained regularly despite the extremely compact spaces in the back apartment where we lived. The Max Dupain photograph of the interior shows the built-in sitting area in the lounge room and the compact dining area beyond. All the furniture was bespoke and built to the scale of the rooms in which they were housed. The spaces were filled but comfortable by the standards of the time.

I don't recall who built the furniture although the assessment mentions the name M Gerstl a name I had heard of before. I know the bedroom furniture in my father's bedroom was made by Ricketts and Thorp well known furniture makers at the time in Rockdale. I remember metal plaques on the wardrobes with their name on them.

The built in furniture in the lounge room and my mother's bedroom were all bespoke. The assessment mentions they were birds eye maple veneer. I recall the doors as being very figured and matching veneers possibly burr walnut. It was all very well made.

The now removed long cabinet in the Apartment 5 lounge room also included a gas heater and a built in radio and record player. The remaining cabinet should still include a built in bar.

The furniture in my mother's room, also removed, included an integrated wall of dressing table, storage and wardrobe with veneered burr walnut fronts. There was also a matching bed, bedside table and stool.

The configuration of the top floor of the maisonette was a little different from that described. The large bedroom at the rear was my father's. The adjoining smaller space (without a door but curtained off) was my mother's bedroom and the room at the top of the stairs was my bedroom. The downstairs separate room (now called a bedroom) was in fact the study which housed a bookcase comfortable chairs and the original telephone point in the flat.

From 1971 to 1987 I lived in Apartments 1 and 2 which I carefully renovated and decorated. At that time I was conscious of wanting to retain the original features. I re-laminated kitchen doors, replace broken tiles by matching with originals, cleaned and restored door furniture and window furniture. The objective was to try to maintain and preserve the fabric of the parts of the building I was living in.

Recently I had the opportunity to visit Apartments 4 and 5 when they were open for inspection for rental . I have also looked online at photographs of Apartment 2 when it was advertised for rental.

I notice that in Apartments 2 and 4 walls have been removed and Apartment 4 has moved the kitchen into the old dining space and converted the old kitchen into a bedroom. I don't know if approval was sought or is required for these changes. The quality of the work does not match the quality of original fabric of the building. This contrasts with the observation on P23 of the assessment, that the building was originally....."designed for a more luxurious form of apartment living and that it was not simply developed as an investment to maximise lettable areas".

The bathrooms and kitchens have all been renovated or replaced. The kitchens all needed replacing as did some of the bathrooms. In some cases the old bathroom tiles were simply painted over. The new fitouts are a matter of taste and I will not comment further on them.

In conclusion, I heartily support the Heritage Assessment done by Kieran McInerney and Rebecca Hawcroft and welcome their opinions stated on Page 65 as to:

1. the buildings significance to its period,
2. as an example of the work of Reves & Hayes,
3. its aesthetic significance as an example of modernist inter war flat building and
4. an intact example of mid 20<sup>th</sup> century living.

Tibor Danos was proud of this building. He would have been elated to have seen its significance recognised by the Council and having it added to the heritage schedule of the Woollahra LEP 2014 as an item of local heritage significance.

Please do not hesitate to contact me if you require any additional information or amplification of the above.

Yours faithfully



**RONALD STEPHEN DENNING**

**From:** [James Sellwood](#)  
**To:** [Records](#)  
**Cc:** [REDACTED]  
**Subject:** Heritage NSW Response - Planning Proposal - Local Heritage Listing - 3 Trelawney Street, Woollahra  
**Date:** Monday, 15 February 2021 2:58:34 PM  
**Attachments:** [image001.png](#)

Our ref: DOC21/44202

Your ref: SC5793

**Planning Proposal - Local Heritage Listing - 3 Trelawney Street, Woollahra**

Dear Mr Swift-McNair

Attention: Ms Flavia Scardamaglia, Strategic Heritage Officer

Thank you for the opportunity to comment on the planning proposal to list 3 Trelawney Street, Woollahra as a Local heritage item under *Woollahra Local Environmental Plan 2014*.

We have reviewed the planning proposal and note that Council's assessment of heritage significance indicated that the proposed item meets the criteria for listing at a Local level.

Heritage NSW encourages the identification and listing of new heritage items, provided that all necessary due diligence, assessments and notifications have been undertaken. Prior to finalisation of the planning proposal, Council should be satisfied that this is the case.

If you have any questions, please don't hesitate to contact me via the details below.

Yours sincerely  
James

**James Sellwood** | Senior Heritage Programs Officer, Strategic Relationships and Planning  
Heritage Act Programs  
Heritage NSW  
Department of Premier and Cabinet

[REDACTED]



*I acknowledge and respect the traditional custodians and ancestors of the lands I work across*

**Heritage NSW**

The former Office of Environment and Heritage (Heritage Division) is now Heritage NSW.

Correspondence should be sent to us via email at [REDACTED] you need to provide hard copies, please send to [REDACTED]

Please update your records as using an incorrect name and address could cause significant delays or non-delivery of your correspondence.

**From:** [Helen Klinger](#)  
**To:** [REDACTED]  
**Subject:** Heritage listing  
**Date:** Tuesday, 16 February 2021 5:25:19 PM

---

Hallo Emma

Re: SC5793

Following my attempt to download “a form” I wish to state the following:

The building is of a style that is enveloped by homes some of which are already heritage listed

The style is unique, the windows are all original and the building has a definite appeal.

Having lived in Trelawney Street for over 20 years I appreciate the uniqueness of this building and how its character harmonises within the Woollahra precinct.

Consequently I believe that 3 Trelawney Street should be heritage listed

Kind regards

Helen Klinger  
[REDACTED]

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**From:** [Andreana Kennedy](#)  
**To:** [Records](#)  
**Cc:** [REDACTED]  
**Subject:** SC5793 Submissions  
**Date:** Thursday, 18 February 2021 4:23:43 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.emz](#)  
[image005.png](#)

Our ref: DOC21/44202

Your ref: SC5793

### Planning Proposal - Local Heritage Listing - 3 Trelawney Street, Woollahra

Dear Mr Swift-McNair

Attention: Ms Flavia Scardamaglia, Strategic Heritage Officer

Thank you for the opportunity to comment on the planning proposal to list 3 Trelawney Street, Woollahra as a Local heritage item under *Woollahra Local Environmental Plan 2014*.

We have reviewed the planning proposal and note that Council's assessment of heritage significance indicated that the proposed item meets the criteria for listing at a Local level.

Heritage NSW encourages the identification and listing of new heritage items, provided that all necessary due diligence, assessments and notifications have been undertaken. Prior to finalisation of the planning proposal, Council should be satisfied that this is the case.

If you have any questions, please don't hesitate to contact me via the details below.

Yours sincerely  
Andreana

**Andreana Kennedy** | Senior Policy Officer  
Strategic Relationships and Planning  
Heritage Act Programs  
Heritage NSW  
Department of Premier and Cabinet



*We acknowledge and respect the traditional custodians and lands on which we work.*

**From:** [Andrew Griffin](#)  
**To:** [Records](#)  
**Cc:** [Yelena Griffin](#); [Stan Kondilios](#)  
**Subject:** SC5793 Submissions  
**Date:** Friday, 19 February 2021 2:51:18 PM  
**Attachments:** [Planning Proposal Submission.PDF](#)

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**To the General Manager,**

Please see attached our submission in respect of Woollahra Council's planning proposal to amend the Woollahra Local Environmental Plan 2014 (Woollahra LEP 2014) in respect of a local heritage listing of 3 Trelawney Street, Woollahra prepared by prepared by Alice Fuller, B.App.Sc. (CCM), M.Herit.Cons.(Hons.) and James Phillips, B.Sc (Arch), B.Arch, M.Herit.Cons.(Hons.) of **Weir Phillips Heritage and Planning**.

Please do not hesitate to contact the writer should you have any queries.

Regards,

Andrew Griffin

**Trustee**

**Griffand Trust**

**Registered Proprietor of 3 Trelawney Street, Woollahra**



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## Planning Proposal Submission



### *Trelawney Court*

Nos. 3 Trelwaney Street, Woollahra

February 2021 | C258

**Weir  
Phillips**  
Heritage  
and Planning



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## **1 INTRODUCTION**

### **1.1 Background**

This brief report responds to a planning proposal to list *Trelawney Court*, No. 3 Trelawney Street, Woollahra, New South Wales, as a heritage item on Schedule 5 Part 1 of the *Woollahra Local Environmental Plan 2015 (WLEP 2015)*.

An interim heritage order over No. 3 Trelawney Street was gazetted in the *NSW Government Gazette* No. 210 on 11 September 2020, effective for twelve months. A planning proposal was lodged with the Department of Planning, Industry and Environment on 6 October, 2020 to list *Trelawney Court*, including the interiors, as a heritage item of local significance in Schedule 5 Part 1 of the *WLEP 2015*. Gateway Determination was received on 19 November, 2020. The planning proposal is currently being exhibited, with the exhibition ending on 26 February 2021.

This response has been prepared at the request of the owner of the site. It is designed to be read in conjunction with two earlier assessments of the site:

- Hawcroft, Rebecca and McInerney, Kieran, *Assessment of Heritage Significance for 3 Trelawney Street, Woollahra*. Assessment prepared for Woollahra Council, April 2020.
- Weir Phillips Heritage and Planning, *No. 3 Trelawney Street, Woollahra: Heritage Impact Statement*, June 2020.

### **1.2 Authorship**

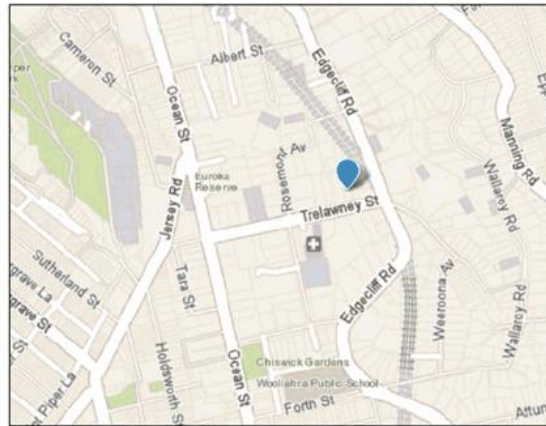
This response has been prepared by Alice Fuller, B.App.Sc.(CCM), M.Herit.Cons.(Hons.), and James Phillips, B.Sc (Arch), B.Arch, M.Herit.Cons.(Hons.), of Weir Phillips Heritage and Planning.

### **1.3 Limitations**

The history and assessment provided by the HIS prepared by Weir Phillips Heritage and Planning in June 2020 was relied upon. No additional research was provided for.

### **1.4 Site Location**

No. 3 Trelawney Street is located on the northern side of Trelawney Street between Rosemont Avenue to the west and Edgecliff Road to the east (Figure 1). The site is identified as Lot 1 D.P. 86213.



**Figure 1:**  
**No. 3 Trelawney Street.**  
whereis.com.au.

## 2 The Site

### 2.1 Brief History

The HIS prepared by Weir Phillips Heritage in June 2020 contained a brief site history. A more detailed history is provided by an assessment of the site prepared by Rebecca Hawcroft and Kieran McNerney for Council in April 2020.

For the purposes of this response, it is noted that *Trelawney Court* was designed by Reve and Hayes and built c.1948. The building featured in *Decoration and Glass* in July-August 1949. Refer to Figure 2.



**Figure 2:**  
**Front elevation.**  
*Decoration and Glass*, July-  
August, 1949.

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## 2.2 The Site

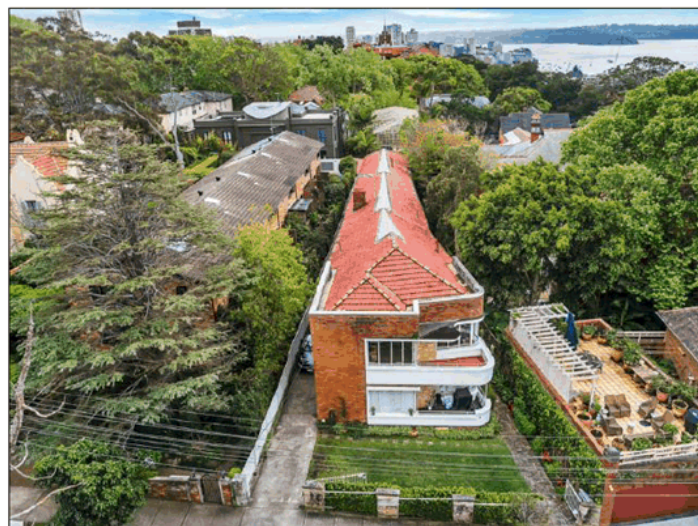
The HIS prepared by Weir Phillips Heritage in June 2020 included a brief site assessment. The Heritage Assessment prepared by Council in 2020 contains a more detailed assessment. Briefly,

The site is irregular in shape, with a frontage to Trelawney Street to the south of 16m and a western boundary of 65m. The site narrows to the rear to have a northern, rear, boundary of 6.5m. The site area is 695.6sqm. The site is relatively flat, with a slight fall of around 1m from Trelawney Street north to the rear boundary.

The building on the site is a free standing two storey Interwar Functionalist Style building constructed of face brick, with a hipped roof clad in tile. The brickwork is alleviated by small stone clad sections. The principal elevation is the southern elevation addressing Trelawney Street. The roof is concealed from the street by a concrete topped brick parapet. The south eastern corner has a distinctive 's' shaped first floor cantilevered concrete awning above curved balconies with rendered balustrades at ground and first floor level. Windows are steel framed. The building contains five units. There is a detached double garage and laundry on the rear of the site, accessed via a long narrow driveway along the western boundary of the site. Refer to Figures.

Internally, the flats are substantially intact, with simple joinery, including built in joinery, consistent with the period. Some of the bathroom and kitchen fit-outs survive; others have been updated.

Refer to Figures 3 to 9.



**Figure 3: The site from the air.**  
Realestate.com.au.





**Figure 4: Front elevation to Trelawney Street.**



**Figure 5: Eastern elevation, looking north.**

**Figure 6: Detail of the main entrance on the eastern side. Note the three circular openings, typical of this style.**



**Figure 7: Western elevation, looking south.**



**Figure 8: Rear elevation.**



**Figure 9:  
Typical interior, Unit 5.  
LJ Hooker.**

### 2.3 Site Context

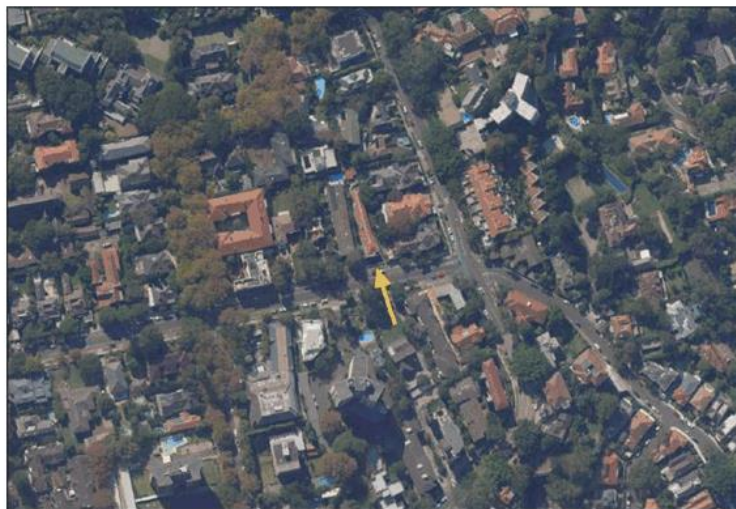
The site is located within the Rosemont Precinct of the Woollahra Conservation Area. This part of the Precinct is residential in character and includes detached dwellings, semi-detached dwellings and residential flat buildings of varying architectural styles. To the east of the site lies No. 1 Trelawney Woollahra, a substantial heritage listed Federation Style dwelling, now two residential units (*WLEP 2015* Item No. 488). It presents its rear elevation and garage to the subject site. To the west, No. 5 Trelawney Street is a c.1970s-80s two storey residential flat building with basement parking. Continuing west, No. 7 Trelawney Street is a heritage listed two storey Interwar period dwelling (*WLEP 2015* Item No. 616). It is noted that Trelawney Court lies very close to its



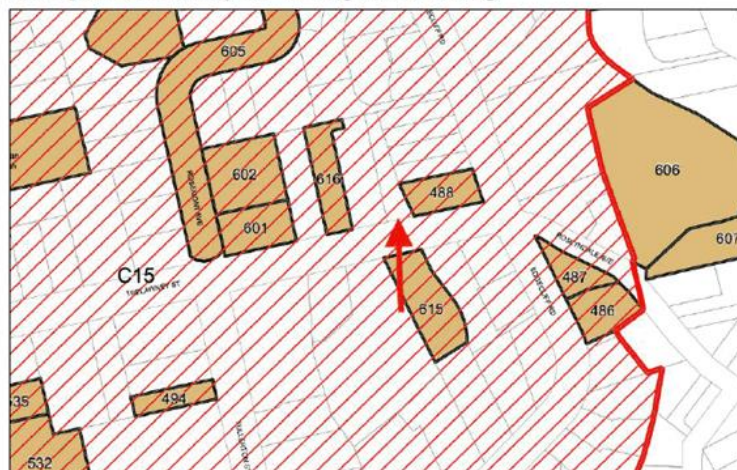
common boundaries with the adjoining sites and that there are narrow side setbacks.

The streetscape opposite the site is mixed in character. No. 2 Trelawney Street includes a substantial Kauri Pine tree, which is listed as a heritage item (*WLEP 2015* Item No. 616).

Refer to Figures 10 to 15.



**Figure 10: Aerial photograph over the site.**  
SIXMaps; annotation by WP Heritage and Planning.



**Figure 11: Woollahra Heritage Plan.**  
*WLEP 2015* (detail of Map 003A); annotation by WP Heritage and Planning.



**Figure 12:**  
**No. 1 Trelawney Street**  
**from Trelawney Street.**



**Figure 13:**  
**The subject site and the**  
**garage of No. 1 Trelawney**  
**Street to the east showing**  
**the close side set back of**  
**both structures from their**  
**common boundary.**



**Figure 14:**  
**No. 5 Trelawney Street.**





**Figure 15:**  
Showing the narrow side setback of the subject building and the residential flat building at No. 3 Trelawney Street from their common boundary.

#### **2.4 Integrity**

The building is substantially intact externally and internally, the rear elevation (replacement of a balustrade) and internally. Works to the interior include the removal of some walls to open up spaces, changes to door openings and the refitting of bathrooms and kitchens. The building, nevertheless, retains a high degree of integrity with respect to its original layout.

#### **2.5 View Corridors**

The principal view corridors towards the site are obtained from directly in front of it on Trelawney Street. On approach in either direction along the street, the building is partially screened by the adjoining buildings until close by the site. The views on approach from the east are more significant than those on approach from the west because they take in the corner balconies and awning when standing close to the site and at a wide angle. The side elevations have limited visibility from the public domain because of the narrowness of the site and the proximity of the adjoining buildings. From some, very limited, viewpoints just to the east of the site, the splay in the building can be read. The hipped roof is substantially concealed by the parapet, with only the top of the ridge visible when standing on the opposite side of the road and when standing just to the east.

Refer to Figures 15 and 16.



**Figure 16:**  
**View towards the site on**  
**approach from the east.**  
Google Maps; annotation by  
WP Heritage and Planning.



**Figure 17:**  
**View towards the site on**  
**approach from the west.**

### 3 Significance

The Heritage Assessment prepared for Council in 2020 provides the following draft statement of significance for the site:

Trelawney Court at 3 Trelawney Street, Woollahra is a significant example of an Inter-war flat building designed in the immediate post war period with interiors and built-in furniture remaining intact. It has local historical significance for its ability to demonstrate the shift in the Woollahra area towards higher density and increased apartment development post war. It also has historical significance as a work of émigré architects for European clients and can be seen to represent the growing influence of European migrants on the development of Sydney's suburbs post war.

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Trelawney Court is also significant at a local level as a rare, intact example of the work of architect George Reves who contributed a number of significant modernist houses in the eastern suburbs during the 1950s and 1960s. Trelawney Court demonstrates the evolution of his style as he adapted to the context of Sydney and has particular significance due to its intactness.

Trelawney Court has aesthetic significance at a local level as an intact example of a modernist Inter-war flat building. It retains a high level of original interior and exterior fabric and as an early work of émigré architects is able to demonstrate the transfer of European modernist architectural training to Australia. The building shares characteristics with other significant modernist 1930s and 1940s apartments, and is able to demonstrate the growing influence of International Style modernism on apartment design in Australia.

As an intact example of its type Trelawney Court has research potential at a local level to demonstrate past ways of living and design and construction methods from the mid 20th century. It is also an important source of information about the work of its architects Reves and Hayes, of which little is known and many of their projects been altered or demolished. The building also has high levels of rarity values as an intact 1946 apartment design undertaken by émigré architects. Trelawney Court, including its interiors, is a fine example of its type, displaying the principle characteristics of an important architectural development and is part of a group of buildings, the work of émigré architects, which collectively demonstrate significant historical and social changes.<sup>1</sup>

Weir Phillips Heritage generally agrees that Trelawney Court has local significance for the following reasons:

- Aesthetic significance as a fine and substantially intact example of a Interwar Functionalist Style building erected in the immediate Post World War II period.
- As an example of the work of Reves and Hayes, two of a number of European émigré architects to bring their European modernist training into Australia in the immediate Post World War II period. George Reves built a number of modernist houses in the eastern suburbs during this period.
- As an example of a building type (low rise residential flat building) being increasingly erected in the surrounding area during the Post World War II period as the population increased (historical significance)

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<sup>1</sup> Rebecca Hawcroft and Kieran McNerney, *Assessment of Heritage Significance for 3 Trelawney Street, Woollahra*. Assessment prepared for Woollahra Council, April 2020.

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#### 4 CONCLUSIONS

Trelawney Court, No. 3 Trelawney Street, Woollahra, should be listed as a heritage item of local significance on Schedule 5 Part 1 of the *WLEP 2015*.

#### 5 DISCUSSION

The draft heritage listing sheet provides the following set of recommendations for the ongoing management of the site:

- 'It is recommended that the Trelawney Court be managed in line with the principles of the Burra Charter, particularly Article 3.1 which notes: "Conservation is based on a respect for the existing fabric, use, associations and meanings. It requires a cautious approach of changing as much as necessary but as little as possible."<sup>1</sup> Any future adaptations or upgrades should aim to retain as much original fabric as possible.
- It is considered sympathetic upgrades of kitchens and bathrooms would not impact the building's overall significance, but should aim to retain as much early or original fabric as possible.
- All other extant original and early fabric, including built-in furniture, should be retained and conserved.
- The external appearance of the site when viewed from Trelawney Street, which remains largely original, should also be retained and conserved. It should be noted that the garage and laundry room are not considered to be of heritage significance.
- Due to the limitations of this assessment, which did not include a full inspection of the building, a fabric assessment should be undertaken. The external and internal fabric should be rated for its significance in order to guide future works. This might be best achieved via the preparation of a conservation management document which assesses the significance of the fabric and includes policies for future changes.
- A detailed internal and external photographic record of the building should be made and lodged with Woollahra Council and the Local Historical Association.<sup>2</sup>

These recommendations do not preclude the possibility of changes being made to the building. The current proposal for an additional level, set back from the front, being considered by the NSW Land and Environment Court (*Andrew Griffin v Woollahra Municipal Council*, Case No.: 2020/00359071), can be carried out without impacting upon the significance of the building. The proposal has carefully considered the requirements for alterations to a building listed in the *Woollahra LEP 2015* and in terms of the design, has treated the building as if listed.

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<sup>2</sup> <sup>2</sup> Rebecca Hawcroft and Kieran McNerney, *Assessment of Heritage Significance for 3 Trelawney Street, Woollahra*. Assessment prepared for Woollahra Council, April 2020.

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The elements of heritage significance identified in the *Statements of Facts and Conditions* (Part A 13) are:

- (a) Interiors and built-in furniture.
- (b) Principal elevation to Trelawney Street.
- (c) Curved feature awning.
- (d) Use of ashlar stonework feature panels, marked horizontally.
- (e) Suppression of the expression of the pitched roofs by means of the front parapet;
- (f) Modern influences, including moulded plaster ceilings, steel framed windows, red bricks, curved balconies and awnings, rendered window surrounds and stone feature elements; and
- (g) Lobby entrance.

In response:

- A very strong understanding of the floor layout is retained, including the entrance lobby, together with the internal architectural detailing, including moulded plaster ceilings and inbuilt furniture noted in (a), (f) and (g) above.
- The principal elevation to Trelawney Street, with its curved feature awning, is retained and will in no way be concealed by the proposed works (b) and (c) above.
- The ashlar stone work feature panels and all the other evidence of modern influences, such as steel framed windows, red bricks, curved balconies, awnings etc, will be retained and will in no way be concealed by the proposed works (f) above.
- The 'suppression of the expression' of the pitched roof refers to the fact that the roof form is a low-pitched tiled roof behind a parapet. The roof almost certainly the result of the planning regulations of the day that required a pitched roof form, whereas the Functionalist ideal was for flat, expressed roof edges to a flat roof.
- The parapet and the close side setbacks of the buildings to either side largely conceal the roof from the street. It is the parapet, not the roof form, that is the significant element to the front and immediate side elevations. The parapet is retained and will retain its prominence in the streetscape. The top of the ridge of the original roof will remain visible from Trelawney Street, just as it is today.
- The proposed addition is set back and is, appropriately, a flat roof. The front elevation of the addition gently curves behind the retained hipped roof. It does not incorporate any of the elements that make the front elevation of the original building so striking- the curved awning and balconies or the stone accent- but is quietly complementary.



Woollahra Municipal Council  
Customer Service Department

22 FEB 2021

Received

**WOOLLAHRA COUNCIL**

**LOCAL HERITAGE LISTING OF 3 TRELAWNEY STREET, WOOLLAHRA  
SC5793**

**SUBMISSION**

The proposal to list the property at 3 Trelawney Street, Woollahra, on the heritage schedule should be rejected in toto.

**The meaning of "Heritage"**

1. The word "heritage" has a nebulous meaning - it is a "chameleon-hued word". This is particularly relevant if one adheres to the notion (expressed in Action 30 of the Development Control Plan 2015) that "heritage" is "constantly evolving". This notion of constant evolution clearly implies that what is "heritage" today, may not be "heritage" tomorrow and vice versa. If one accepts this thesis then it is important to identify exactly what is meant by "heritage" in this context so that a decision concerning an item of "heritage significance" can be seen as a decision based upon an explicit principle and not a decision based upon arbitrary whim.
2. If one adheres to a principle of "transparency" in decision-making by public bodies, then articulation of the criteria on which a decision must be made in meaningfully precise terms (and not mere generalisations).
3. According to the Macquarie Dictionary "heritage" means:
  - (1) that which comes or belongs to one by reason of birth, an inherited lot or portion
  - (2) the culture tradition and national assets preserved from one generation to another
  - (3) something reserved for one
  - (4) (Law) that which may be inherited by legal descent
  - (5). (Bible) God's chosen people

The obvious meaning in the context of planning is 2: culture, tradition and national assets.

In the planning context, the word "heritage" does not mean anything "preserved from one generation to another" - that would include anything more than 25 years old.

4. The relevant limitation must therefore be found in the term "national asset". Is the property at 3 Trelawney Street (the "Subject Property") a "national asset"? If by "national asset" is meant something of national significance, 3 Trelawney Street, Woollahra, could never be described as something of national significance. Even the council's report on the present proposal acknowledges that the Subject Property is of no state heritage significance. Neither can the Subject Property be described as an item of local significance even within the Local Government Area of Woollahra.
5. This can be appreciated by asking: When it was erected, or subsequently, has the Subject Property won any award, received any commendation or distinction or even been the subject of favourable review in any architectural or historical publication? Are troops of architectural students brought to admire this edifice as part of their professional education? If the answers to these questions be "No", how, one may ask, can the Subject Property be an item of even local significance? Of course significance can be achieved in many different ways, not just architectural or historic, but the justification for including the Subject Property on the heritage schedule presented to the council in 2019 was its alleged architectural significance as being

"... a rare building designed in 1948 by George Robert Reves in the modernist style in very good original condition"

6. This purported justification begs the question: "So what?". It is not the function of a heritage schedule to include an example of a building designed by every architect who ever designed a building erected in the municipality. There is no evidence that Mr Reves was personally particularly proud of this design. There is no evidence whether the commission was to design a building down to a price rather than to be an iconic example of the achievements of post-war architecture. After all, 1948 was the period of the post-war building shortages, the period of protected tenancies and rent restrictions when residential accommodation was at a premium. It is highly unlikely that residential unit developments of the period would epitomise the zenith of professional architectural achievement - not least the interiors of the building. As a physical structure, the Subject Property lacks any aesthetic appeal. There is clearly a compelling case for saying that after 70 years, this residential unit development of the early post-war period located in Trelawney Street, Woollahra, has made its contribution to society and that it should make way for a better quality modern structure.
7. In simple terms, one can ask the obvious questions:
- (a) Is the existing structure, including its interiors, the best use that can be made of the site?
  - (b) Is the existing structure an adornment to the area or an incongruous antiquated relic of a bygone age?
- The answers to these questions are self-evident.
8. This can be recognised by examining the "Heritage Assessment Criteria Summary" provided in the council report. The subjective judgments evidenced by this summary cannot withstand scrutiny.

<u>Criterion</u>	<u>Response</u>
(a) Important in the course or pattern of cultural or natural history	There is no material importance in a 70-year old structure designed and erected during a period of maximum material constraint undistinguished by any aesthetic attribute
(c) Important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement	What aesthetic characteristics does the Subject Property possess? Where is the high degree of creative or technical achievement? Is it seriously suggested that the Subject Property exhibits a high degree of creative or technical achievement?
(e) Potential to yield information that will contribute to an understanding of the local cultural or natural history.	In one sense, every item can make a "contribution" within these words, but why would any such contribution not be adequately provided by photographs? It is hardly likely that any architect in the future will want to design a replica of the Subject Property



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- |     |   |  |
|-----|---|--|
| (f) | Possesses uncommon, rare or endangered aspects of local cultural or natural history                                     | If there be any uncommon, rare or endangered aspects of local cultural history it is because buildings of the type and age of the Subject Property have been recognised as having past their useful lives and should make way for new buildings better able to make socially beneficial use of the site. |
| (g) | Important in demonstrating the principal characteristics of a class of the local area's cultural places or environments | There is nothing "important" about demonstrating the "principal characteristics" of 70-year old cut-price residential unit developments which cannot be "demonstrated" by photographs and plans.   |
9. The objective of planning should be encouragement of the most socially beneficial use of the scarce resource of, relevantly, urban land. Adding the Subject Property to the heritage schedule is flatly inconsistent with that objective. The proposal to add the Subject Property to the heritage schedule of the Woollahra LEP 2014 as an item of local heritage significance should therefore be unconditionally rejected.
10. The reasons advanced in the council's report to justify the inclusion of the Subject Property in the heritage schedule are unconvincing.

**Need for Planning Proposal.**

**The result of a report**

11. The Subject Property has existed plainly visible since its erection approximately 70 years ago.
12. Whether inclusion of the Subject Property in the heritage schedule of the Woollahra LEP 2014 was warranted was evident to those who compiled this schedule when it was originally compiled and has been evident to any interested person ever since. Why in 2021 is this proposal now advanced? Is it suggested that those responsible for the compilation of the heritage schedule originally were incompetent?
13. The heritage schedule includes 388 Edgecliff Road/1 Trelawney Street and 7 Trelawney Street. It does not include 3, 5 or 9 Trelawney Street or 390, 392 etc. Edgecliff Road. It is therefore evident that the authors of the heritage schedule examined every property at the time and made a discriminating decision in respect of each of those properties. The matters those authors considered have not changed since their decision was made. Why should the production of an ad hoc report in 2021 be regarded as inherently superior to the original report which excluded the Subject Property from the listing?
14. There is no plausible planning reason.
15. The only thing that has happened since the compilation of the original heritage schedule list is that the Subject Property has been sold. Change of ownership is not as such a legitimate planning justification for including the Subject Property on the heritage schedule when it was not included when owned by its previous owner.
16. Is it Council's policy to have a site-specific planning report prepared every time a property is sold? Is this a system of incremental planning by stealth? Why wait until a sale occurs? Why not prepare a site-specific report every time a property be advertised for sale?

4

**The Predetermined Objective**

17. The stated objective of this proposal is to include the Subject Property on the heritage schedule.
18. It is self-evident that the only way of achieving that objective is to so include the Subject Property in that schedule.
19. That does not answer the question whether the Subject Property should be so included.

**The Objectives of Applicable Regional and District Plans**

Greater Sydney Regional Plan

20. The relevant objective of the Greater Sydney Regional Plan is said to be Objective 13 "Environmental heritage is identified conserved and enhanced".
21. This Objective says nothing about the Subject Property. it is an objective expressed in such general terms that it adds nothing to the current proposal - to invoke Objective 13 merely begs the question: Is the Subject Property an item of environmental heritage?
22. That question was answered when the heritage schedule was compiled. Relevant items of heritage significance were Nos 1 and 7 Trelawney Street, the Subject Property is not an item of environmental heritage significance.
23. The irrelevance of this point is demonstrated by formulating the question: Would it be inconsistent with applicable regional and district plans for the Subject Property not to be included in the heritage schedule. The answer patently is "No." Thus to say that it is consistent with applicable regional and district plans does not advance the argument in any way.

Eastern City District Plan

24. Similarly, the Eastern City District Plan is expressed in general terms which add nothing to the proposal - the Plan does not answer the question: Is the Subject Property an item of environmental heritage? For the same reason, the Subject Property is not an item of environmental heritage significance for the purposes of this Plan.
25. Again, if the question be formulated: Would it be inconsistent with the Eastern City District Plan for the Subject Property not to be included on the heritage schedule?, the answer is "No".
26. Thus if inclusion of the Subject Property on the heritage schedule is consistent with the Plan and omission of the Subject Property is not inconsistent with the Plan, reference to the Eastern City District Plan contributes nothing to the issue: Should the Subject Property be included on the heritage schedule?
27. It should be noted that Action 20(c) is obviously concerned with the "cumulative impact" of development on the heritage values and character of places - the "places" are the items of heritage significance. The Subject Property is not an item of heritage significance. The Plan Action 20(c) therefore is directed to assessment of the impact of development occurring outside an item of heritage significance and the Plan Action 20(c) is concerned with managing and monitoring such development - not with prohibiting it. Action 20(c) is irrelevant to the present proposal.



**Council's Strategic Planning Statement and Strategic Plan.**

Strategic Planning Statement

28. The general words in Planning Priority 5 of the Local Strategic Planning Statement are materially identical to the same general words in the Regional and District Plans and are unhelpful to the present issue for the same reason. One can re-formulate the question: Would not including the Subject Property on the heritage schedule fail to give effect to Council's Local Strategic Planning Statement? Unless one reads the Planning Statement as requiring no redevelopment of any site in the municipality - which obviously is not intended - then the question so re-formulated must be answered "No" since by no stretch of the imagination can the Subject Property "including interiors" be regarded as a significant component in Woollahra's "rich and diverse heritage."

Strategic Plan - Woollahra 2030

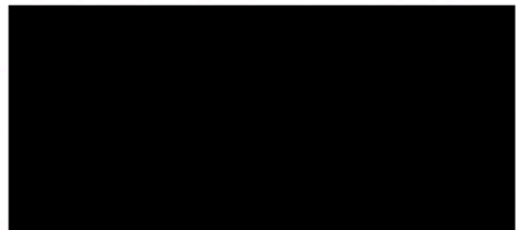
29. To say the addition of the Subject Property to the heritage schedule "is consistent" with the strategic plan Woollahra 2030 as "meeting the strategy Well-planned neighbourhood" under the theme "Quality places and spaces" impliedly asserts that the subject Property is;
- (a) A "quality place"
  - (b) An example of "significant architecture".
30. For the reasons stated above, the Subject Property is neither a "quality place" nor "significant architecture".
31. Accordingly there is a compelling argument that including the Subject Property in the heritage schedule is inconsistent with Council's community strategic plan.

**Conclusion**

32. The proposal to include the Subject Property (3 Trelawney Street, Woollahra) on the heritage schedule should be totally rejected.

DATED 22 February 2021

NAME: Ventry Gray  
ADDRESS: [REDACTED]



James Barton Carter

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25 February 2021

Woollahra Municipal Council  
PO Box 61  
Double Bay NSW 2028

Dear Woollahra Council,

**By email only: [records@woollahra.nsw.gov.au](mailto:records@woollahra.nsw.gov.au)**

I am the proprietor of [REDACTED] being the land adjoining 3 Trelawney Street (No 3).

I wholeheartedly support the proposed local heritage listing of No 3 based on the excellent Assessment of Heritage Significance Report (AHSR) prepared by Kiernan McInerney and Rebecca Hawcroft.

No 3 is a gem which needs to be preserved for the reasons set out in the AHSR.

Trelawney St is one of the most interesting streets in Woollahra showcasing many architectural styles - the Cape Dutch of "Great Tree" and its neighbour (7&9), the excellent example of sixties architecture of the Malinowski residence corner of Edgecliff Rd and Trelawney, the Californian bungalow residence of the consulate of the Lebanon, the Queen Ann Federation style of my own home and the Reves and Hayes pre-modernist No 3.

The heritage listing of No 3 will contribute to the continuation of this blend of architectural styles in Trelawney St for present and future generations to appreciate.

Yours sincerely

[REDACTED]  
James Barton Carter

**From:** [Your Say Woollahra](#)  
**To:** [REDACTED]  
**Subject:** katevmac completed Make an online submission  
**Date:** Thursday, 25 February 2021 3:17:52 PM

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katevmac just submitted the survey Make an online submission with the responses below.

**Would you like to make a submission to the proposed heritage listing of 3 Trelawney Street, Woollahra and interiors?**

Yes

**Your email**

[REDACTED]

**Your name**

Kate McCredie

**How would you like to make your submission?**

Type your submission here

**Please type your submission here.**

Re Heritage listing of 3 Trelawney St Woollahra. The building is a wonderful example of the 'Ocean Liner' style of a by-gone era. These classic buildings are not common in Woollahra and were built between 1925-1950. The typical characteristics are seen in number 3 - stream lined form, beautiful curved windows, 'ship balastrading' on balconies and front flat roof. This building is an important piece of our history both culturally and aesthetically. Number 3 Trelawney Street is unique and contributes to the character of this beautiful neighbourhood. There is an array of historic buildings from many different eras that make this area so diverse and full of our Australian architectural history. Sometimes economic choices that are made, threaten the vital conservation of our 'story'. I hope to see no. 3 listed as a Heritage building so it can be preserved for future generations to appreciate, and to maintain the character of this special part of Woollahra. Yours sincerely  
Kate McCredie

---

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---

**From:** [Wendy Scotter](#)  
**To:** [Records](#)  
**Subject:** Planning Proposal to list 3 Trelawney Street, Woollahra as a local heritage item URGENT  
**Date:** Friday, 26 February 2021 9:43:42 AM

---

To Whom It May Concern

WRITTEN SUBMISSION FRIDAY 26 FEBRUARY 2021 (FINAL DAY) – **SC5793**

I am having trouble with the registration online to voice my support for the above submission by the end of today 26<sup>th</sup> February 2021.

I have lived at [REDACTED] older property which backs on to No. 3 Trelawney Street, since 2002.

I adamantly support the proposed local heritage listing of 3 Trelawney Street, Woollahra because the architecture of the property is “unique”, and complements the surrounding homes. (No. 3 Trelawney Street was previously owned by an elderly lady who reached 100 years of age!!). The older properties in Trelawney Street and the area are all different from each other and have not been “developed” or tampered with to date.

Yours sincerely,

Wendy Scotter (Born 1948).

[REDACTED]

**Ms Wendy Scotter**

Alumni Secretary

[REDACTED]  
[REDACTED]



\*\*\*\*\*

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John H. O. Greenland



2021 February 25

Dear Woollahra Council  
records@woollahra.nsw.gov.au

RE: SC5793 3 Trelawney Street, Woollahra

I own the properties [REDACTED] which adjoin 3 Trelawney Street (No3), the subject property. My family has owned other properties which adjoin No3 for over 70 years. I have lived here for over 55 years and knew the original owner of No3, so am quite familiar with the property, inside and out.

I give the proposed heritage listing of No3 my full support, as it is of unique design and truly complements the also unique streetscape of Trelawney Street which has a wealth of varied architectural styles. A few years ago, a visiting friend, who was Dean of the Architecture Faculty of an interstate university, was most interested in the all the styles on display in the street and the neighborhood.

The proposed listing would protect the building from being disfigured by additions, or worse, demolition, to be replaced by some bland 'modern' structure, thus spoiling

the whole ambiance of the street for generations to come.

Please take every necessary step to ensure that No3 is listed on the heritage register.

Yours faithfully,

John Greenland

**Assessment of Heritage Significance for 3 Trelawney Street,  
Woollahra**



**Final Draft Issue March 2021**

**Authors**

**Rebecca Hawcroft &**

**Kieran McInerney**

**For**

**Woollahra Municipal Council**

Trelawney Court Heritage Assessment

Final Draft Issue March 2021

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## **Section 1: Introduction**

### **Overview**

The authors have been engaged by Woollahra Council to provide a Heritage Significance Assessment (HAS) of the residential flat building “Trelawney Court” at 3 Trelawney Street, Woollahra, so that Council may consider the potential inclusion of the site as a local heritage item in Woollahra Local Environmental Plan 2014 (Woollahra LEP 2014) and/or its potential to be included as an item of State significance on the State Heritage Register (SHR) under the *NSW Heritage Act 1977*.

On 11 November 2019 at the Woollahra Council meeting, a Notice of Motion was considered (NOM 16.3) regarding the property and Council resolved without debate:

*That Council proceeds urgently to assess Trelawney Court at number 3 Trelawney Street, Woollahra with a view to a local heritage listing.*

The building is located in the Woollahra Heritage Conservation Area under Woollahra LEP 2014. The building is currently a contributory item as per Clause 2.7 of the *Woollahra Development Control Plan (DCP) 2015, Chapter C2 Woollahra Heritage Conservation Area*. It is not listed on the Institute of Architects Register of 20<sup>th</sup> century buildings or by the National Trust (NSW).

### **Project methodology**

The following (HAS) has been prepared in accordance with the NSW Heritage Office Guidelines ‘Assessing Heritage Significance’ (2001). It is also consistent with the relevant principles and guidelines of the Australia ICOMOS Charter for Place of Cultural Significance 2013 (the Burra Charter).

### **Authors and acknowledgements**

This report was prepared by Kieran McInerney (registered architect) and Rebecca Hawcroft (heritage specialist).

#### Trelawney Court Heritage Assessment

The authors acknowledge the help of Ted Quinton and his previous research on George Reves, and former heritage officers at the Institute of Architects, Anne Higham and Dr. Noni Boyd, for their research assistance in uncovering archival material related to Reves and Hayes.

#### **Limitations**

This report provides an assessment of the non-Aboriginal (historical) built heritage only, and does not provide an archaeological or Aboriginal heritage assessment of the site.

The building has not been available for detailed inspection during this project, despite Council requesting it. The exterior of the building is visible from the street and documentation such as aerial photographs have provided further information. The authors visited the site when the property was being sold during open for inspections in October 2019 and have based their descriptions and assessment on this information and that visit.

Trelawney Court Heritage Assessment

## Section 2: Background

### Site Identification

The subject building consists of a two storey post-war residential flat building located at 3 Trelawney Street, Woollahra. The site is located within the Woollahra Local Government Area (LGA) and is legally described as Lot 1, DP 86213, as shown on the cadastral map at *Figure 1*.

The lot consists of a long thin property with street frontage to Trelawney Street of 16 metres tapering to 7.5 at the rear of the site. The site depth is 65 metres.

Its boundaries are shared by a late twentieth century two storey residential flat building to the west, occupying most of the lot, and to the east the rear boundaries of five properties facing Edgecliff Road. The largest is 388 Edgecliff Road, a large Federation Style house, now converted to flats, located on the corner of Edgecliff Road and Trelawney Street. The garage of 388 Edgecliff Road is directly adjacent on the Trelawney Street boundary.



Figure 1. Site plan, with subject site highlighted. (Source: Woollahra Council GIS Maps)

Trelawney Court Heritage Assessment



Figure 2. Site aerial, with subject site highlighted. (Source: Woollahra Council GIS Maps)



Figure 3. Aerial photograph with the subject site shown in the wider context of Woollahra and surrounding suburbs looking east. (Source: Bradfield Cleary  
<https://www.realestate.com.au/sold/property-unitblock-nsw-woollahra-132139322>)



Trelawney Court Heritage Assessment

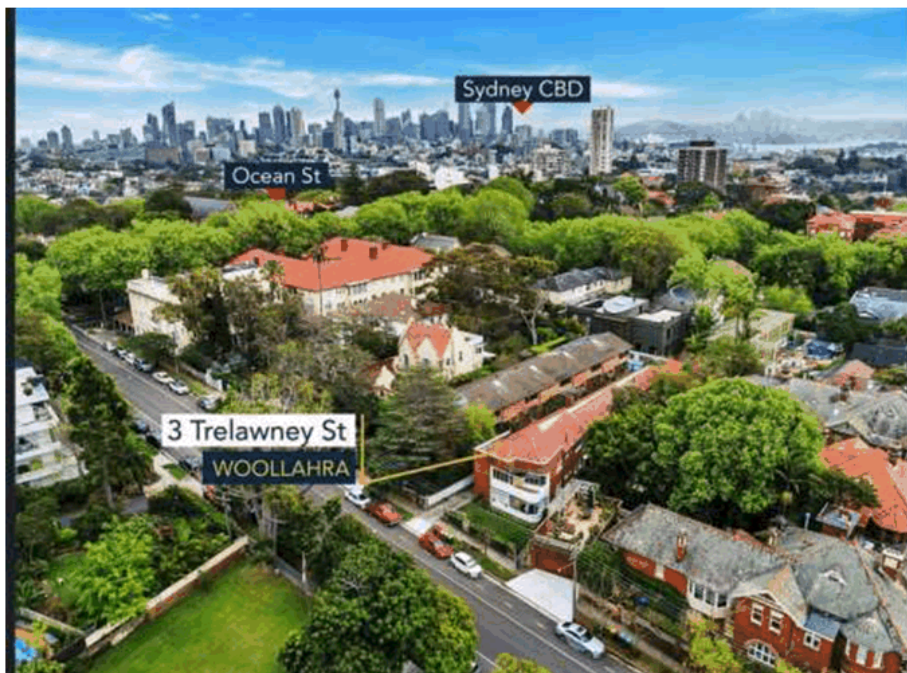


Figure 4. Aerial photograph with the subject site shown in the wider context of Woollahra and surrounding suburbs looking north west. (Source: Bradfield Cleary 2019  
<https://www.realestate.com.au/sold/property-unitblock-nsw-woollahra-132139322>)

### Site zoning and heritage listings

The site and its neighbours are zoned R3 Medium Density Residential under Woollahra LEP 2014 and are situated in the Woollahra Heritage Conservation Area (Figure 5). The building is listed as a contributory item as per Clause 2.7 of the *Woollahra Development Control Plan (DCP) 2015, Chapter C2 Woollahra Heritage Conservation Area*.

Surrounding heritage items listed on Schedule 5 Environmental Heritage of Woollahra LEP 2014 include:

- 388 Edgecliff Road; 'Building and interiors, street fencing' (Item 488)
- 7 Trelawney; 'Great Tree—house and interiors, street fencing' (Item 616)
- 2 Trelawney to the south; 'Kauri Pine' (Item 615)

plus a number of other listed properties in the vicinity.

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The building is not listed on the non-statutory registers maintained by the Institute of Architects NSW (Register of 20<sup>th</sup> century buildings of significance) or the National Trust (NSW).

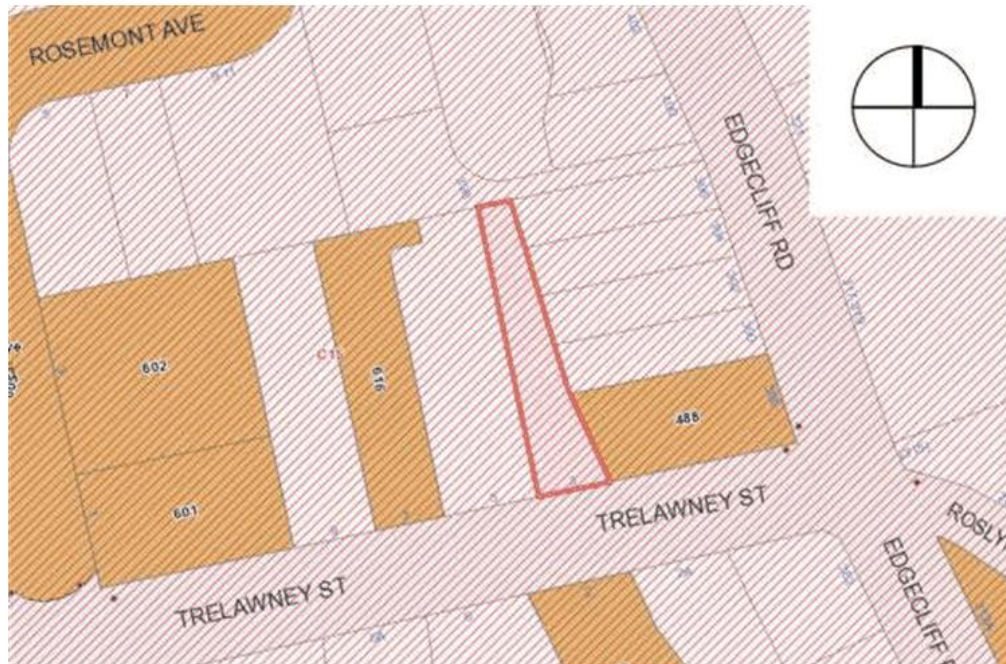


Figure 5. Detail of Heritage Map Sheet HER\_ 003A of the Woollahra LEP 2014. The red hatched area designates the Heritage Conservation Area C15 - Woollahra and the brown numbered sites are listed heritage items. No. 3 Trelawney Street is outlined in red.



Trelawney Court Heritage Assessment

## **Section 3: History**

### **Introduction**

This section provides a historical context to the development of the subject site. It briefly covers the development of Woollahra and Trelawney Street before focusing on the development of the current building at 3 Trelawney Street and its architects.

### **Woollahra**

Woollahra is a suburb located between Paddington and Edgecliff in the eastern suburbs of Sydney.

### **Part of Eora Country**

The coastal regions of Sydney between Port Jackson and Botany Bay are the ancestral territories of the Eora people. The traditional owners of the land now within the Woollahra Council area were the Cadigal (Gadigal) people, part of the Dharug language group. In common with other tribes living by Sydney Harbour, the Gadigal lived in harmony with the natural resources within their country, fishing from canoes or hunting the animals that lived in surroundings. The tribe appears to have moved within their territory in response to the seasons. Shell middens in the area provide material evidence of many centuries of sustained connection to the land that also sustained them. The arrival of white settlers caused the wholesale disruption of traditional life and the cultural practices of the Eora people generally. Despite enormous challenges, today many Indigenous people identify as Eora and maintain cultural practices and a connection to country.

### **Early European Settlement**

Following the arrival of the first fleet in 1788, the land between Watsons Bay and Sydney was initially deemed either too swampy or sandy for agricultural development. It was a place where rushcutters gathered reed for thatch and timber was felled for firewood. Small-scale industries developed in the early 19th century and the firm of Cooper and Levey ran a tallow production works until the 1850s.

By 1803 South Head and Vaucluse were frequented by day-trippers who travelled along rough tracks in order to enjoy the harbour vistas. Bellevue Hill was opened by

#### Trelawney Court Heritage Assessment

the construction of Old South Head Road in 1811, however, the topography of the municipality discouraged any other substantial road development rendering Woollahra one of the least developed parts of the east.

During the early years of Governor Macquarie's rule land grants were made to military men, the most prominent of these in the area was to the flamboyant naval officer, Captain John Piper, in 1815. Following Piper's financial demise, Daniel Cooper (1785- 1853) and Solomon Levey (1794-1833) acquired the land in 1827. Cooper and Levey were importers, exporters, wool-buyers, ship owners and builders, shipping agents, whalers, sealers and merchants who controlled a large share of the Colony's business.

The land on which 3 Trelawney Street stands was once part of a 1130 acre grant by Governor Darling on March 22, 1830 in fulfillment of a promise made by Macquarie to Piper. The grant states that it is a consolidation of several early grants for which no deeds were executed and included the whole 500 acres of the Piper Estate. Cooper and Levey also later acquired, by grant or purchase, large tracts of land in Waterloo, Alexandria, Redfern, Randwick and Neutral Bay.

New South Head road was surveyed in 1831-2 however, completion to an acceptable standard took many years. The completion of this road provided the first real incentive for more intense development as previous developments had relied on water access. Following Levey's death in 1833 and protracted legal proceedings Cooper bought out Solomon Levey's heir, John Levey. By 1842, the whole estate was effectively owned by the Cooper family.

#### **History of the subdivision**

The Cooper estate was plagued by legal problems from the 1830s, caused first by the will of Solomon Levey and later by that of Daniel Cooper, following his death in 1853. As a result little development occurred during this era. Cooper's Woollahra estate was willed not to his next of kin, his nephew Sir Daniel Cooper (1821-1902), but to Sir Daniels's son, Daniel. In 1844 Cooper had commissioned Surveyor General Thomas Livingstone Mitchell to prepare a trigonometrical survey of the estate that

#### Trelawney Court Heritage Assessment

included its division into allotments. As the new owner was a minor in 1853, Trustees managed the estate until 1869. The trustees opened some areas of the estate on 99-year leases.

#### **Elystan**

For most of the early 20<sup>th</sup> century the subject site was part of the grounds of Elystan, a large house built in the 1860s. In 1874 it was listed for sale by then owners the Gilchrist family, and described as a 'first class' family residence on five acres of ground fronting Edgecliff Road, Ocean and Trelawney Streets.

The property originally occupied the entire block from Ocean Street to Edgecliff Road with Trelawney Street as its southern boundary. Sands directory listings from 1886 list Elystan as the only property on the northern side of Trelawney Street and is occupied by Samuel Grey. A year later it is occupied by James Marks. By 1910 the northern side of Trelawney Street has been subdivided to the west of Elystan, however Elvo, on the corner of Trelawney and Edgecliff Road, is the only property to its east. The map below from 1889 shows this development.

In 1912, the Elystan grounds were further subdivided with the creation of Rosemont Avenue to the west of the house and the land to the north opened of the house subdivided for development. See Plan of the Rosemont Estate below.

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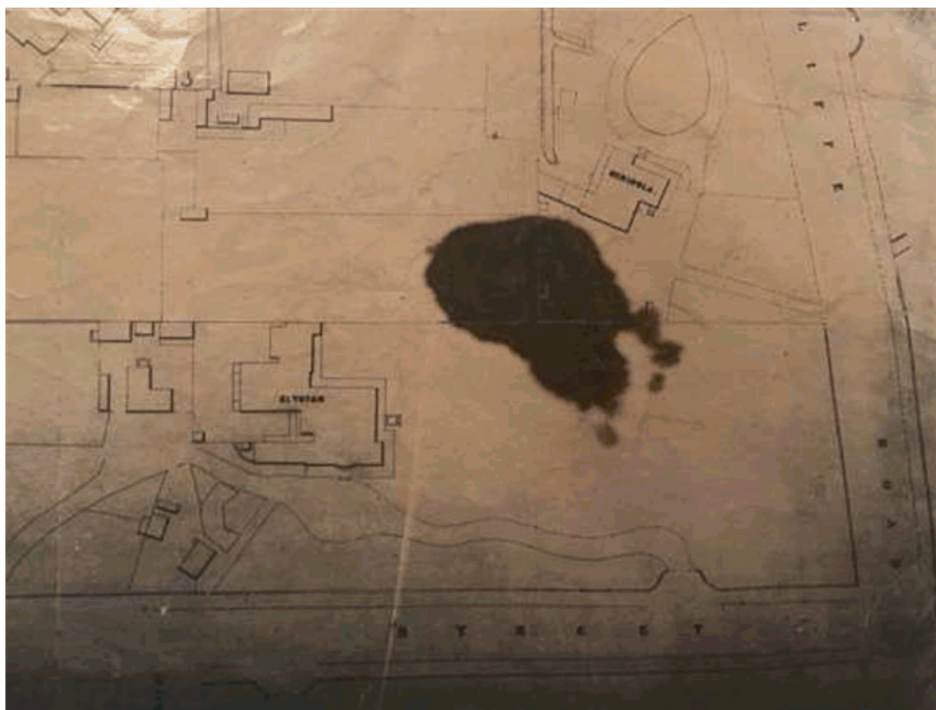


Figure 6. 1887 Plan of Woollahra showing Elystan occupying the northern side of Trelawney Avenue. The road to the right of the image is Edgecliff Road. (Sydney Metropolitan Detail series, MC2. No 114, MSER4 1887, Woollahra Library Local Studies collection)



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Figure 7 Detail of 'Map of the Municipality of Woollahra' published by Higinbotham and Robinson, c1889. "Elystan" is shown occupying the northern side of Trelawney Street all the way to Edgecliff Road. Elystan's entry gates are shown in the area of the subject site. Rosemont Street is yet to be created. (Woollahra Library Local Studies collection)

Trelawney Court Heritage Assessment

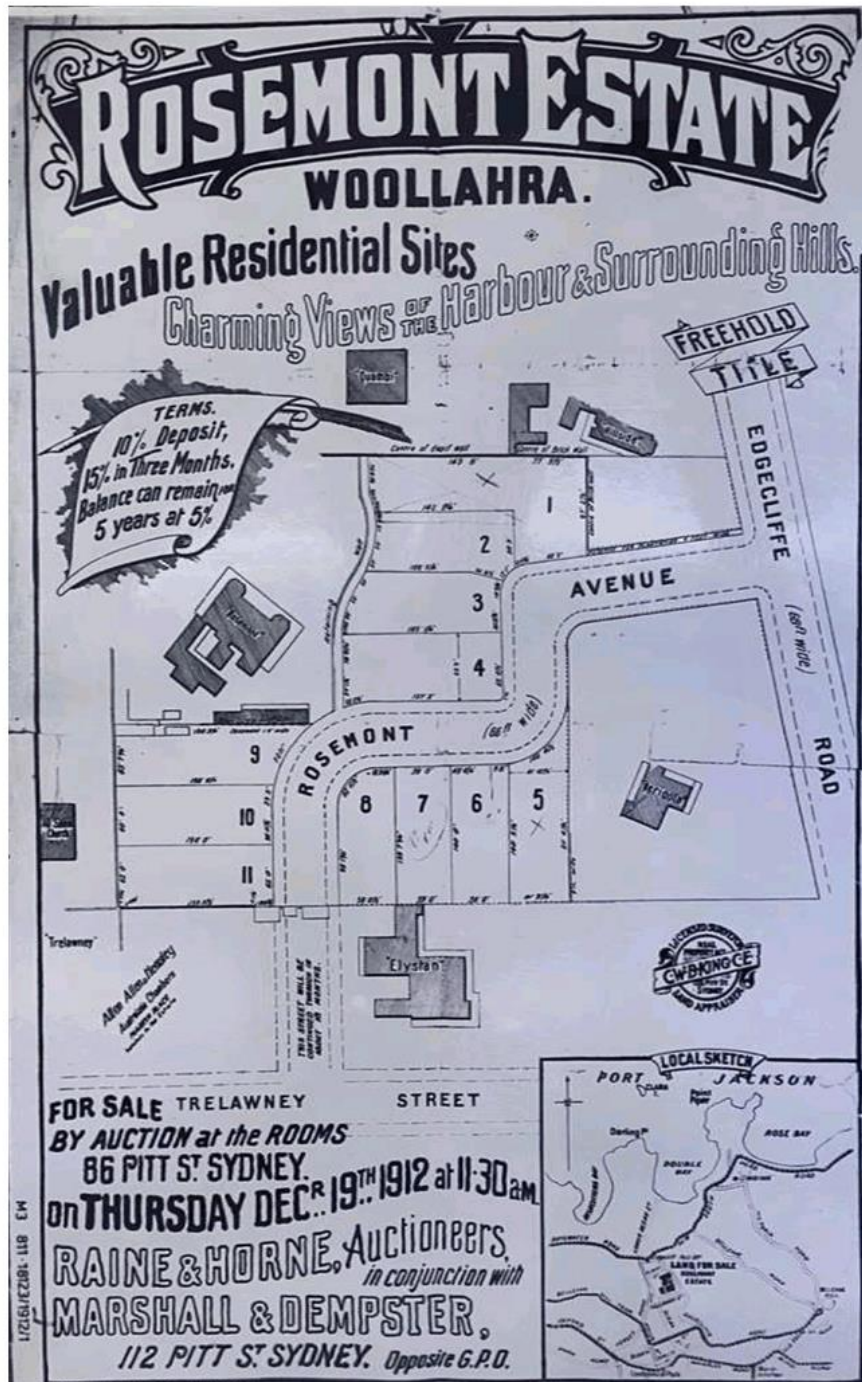


Figure 8 1912 Plan of Rosemont Estate to the north of Elystan. The rest of the land to the east of Elystan on Trelawney Street remains undeveloped. (Rosemont Estate Subdivision Plan, Woollahra Library Local Studies collection)



Trelawney Court Heritage Assessment

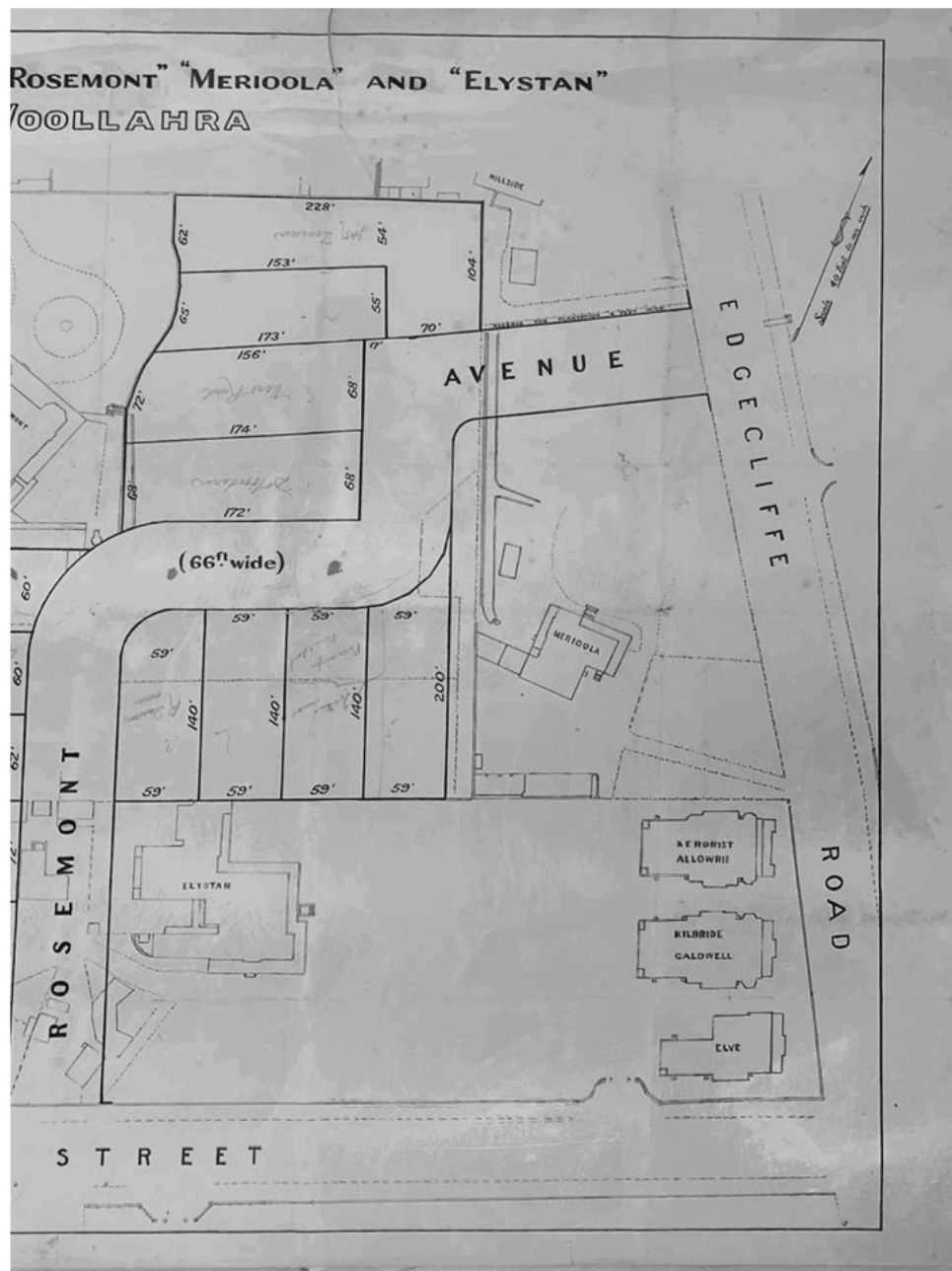


Figure 9. Plan of the Rosemont Estate subdivision c.1912, showing Elystan and the subject site, undeveloped, but lying to the west of Elve, one of three large houses facing Edgecliffe Road that remain today. (Proposed Subdivision of Rosemont, Merioola and Elystan, Woollahra, Woollahra Library Local Studies collection)

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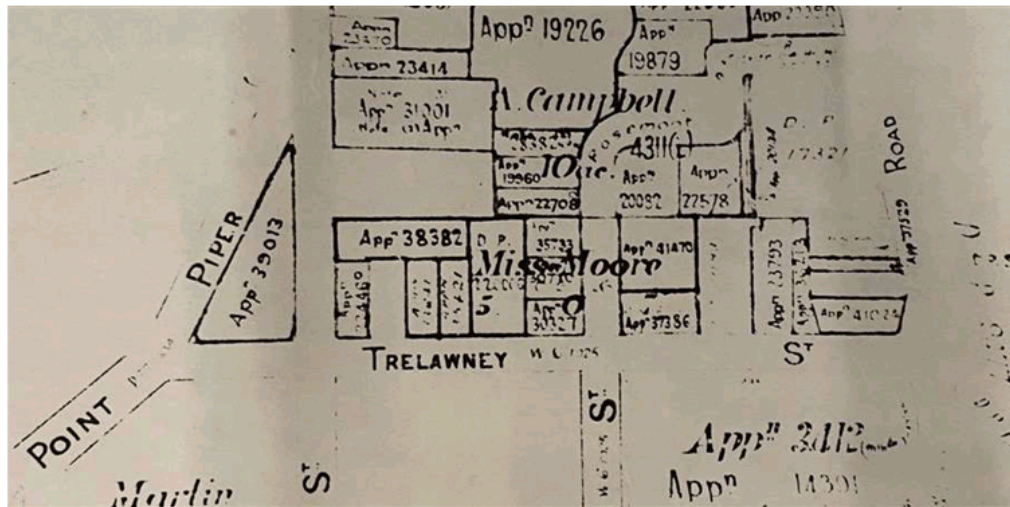


Figure 10. Detail of Plan of part of Piper Estate, Roll Plan 532, early 1900s. This plan shows the land on the north side of Trelawney Street, held by a Miss Moore, has been subdivided, including the subject site in its current configuration. It seems this is when Arthur Wigram Allen would have purchased the site. (MC2 No.204, Woollahra Library Local Studies collection)

At some point the eastern sections of the property are subdivided. The Sands directory records that the subject site is owned by Arthur Wigram Allen from 1927. Allen was a prominent solicitor with extensive land holdings, most notably in Glebe. Council valuation cards indicate the subject site remains undeveloped with a fence its only built structure.

During the early 20th century the surrounding area is becoming increasingly more densely developed. A house is built directly to the west of the subject site, The Rest, which is by 1946 converted to a duplex. It is later demolished and the current apartment complex constructed.

Progressively the large estates in the surrounding area are subdivided and many of the large houses are converted to apartments. An example being the property to the east of the subject site, on the southern side of Trelawney Avenue, Quiraing, which is subdivided and later demolished and replaced by a high rise apartment building.

### Trelawney Court Heritage Assessment

It is not known when Elystan house was demolished, but a 1930s apartment building at 3 Rosemont Avenue, now occupies its former location.

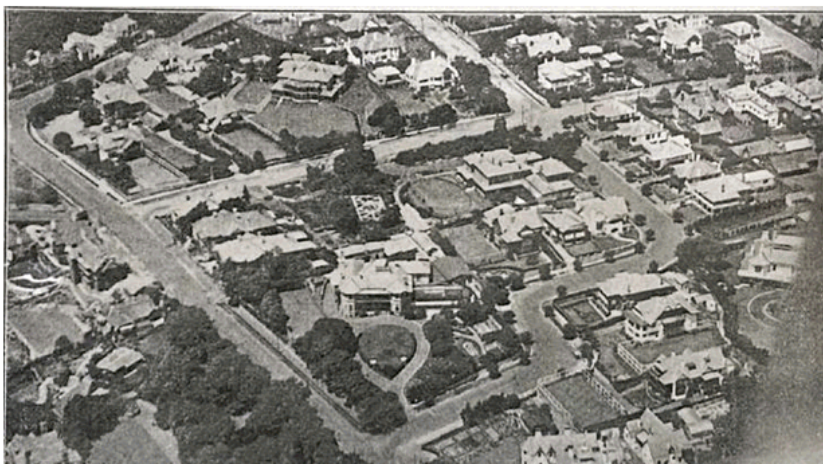


Figure 11. Trelawney Street in 1920. The curved street at the right and lower edge of the image is Rosemont. The street at the left Edgecliff Road. The subject site remains a narrow undeveloped lot to the rear of the large houses on Edgecliff Road. (1920 WMC Annual Report, p.27 Woollahra Library Local Studies collection)

### 3 Trelawney Street, Woollahra

The subject site remained undeveloped and in the ownership of Arthur Wigram Allen until its 1943 purchase by Tibor and Marta Danos. National Archives of Australia immigration records indicate the Danos' were Hungarian and arrived in Australia in 1940. Tibor Danos began a business manufacturing canvas bags including army kit bags which was called 'Styletex' and was located in George Street, Sydney (correspondence from Ron Denning, the Danos' son, March 2021).

A building application to erect the apartment block at 3 Trelawney Street was made in November 1946 by a Mr. T Danos. Council's building application file (BA1/47) shows that the initial proposal was for a main building of three stories with a two storey maisonette at the rear (drawing dated 20.11.1946). This was followed by a secondary scheme of two stories (drawing dated 1.4.1947).

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File BA1/47 shows that Council's 'Plans, Building and Health Committee' recommended on 21 January 1947 that the BA be disapproved for 11 reasons. Reasons 1 and 2 being:

1. The design is not in keeping with the buildings in this area.
2. The height of the building is not in keeping with the adjacent buildings.

On 27 January 1947 the Council adopted the Committee's recommendation. (BA.1/1947, Letter from Acting Town Clerk, 28.01.1947, See **Appendix A**).

Amended plans were lodged which reduced the proposal to two stories with four apartments and one two storey maisonette apartment at the rear. This revised scheme was approved by Council 15.4.1947. The specification was prepared by Reves and Hayes Architects for a concrete framed, brick structure with cavity walls. The roof is pitched behind a parapet and tiled with red Marseille tiles.

Although the initial proposal was considered as not in keeping with the character of the area, the final revised and approved building drew attention as a modern apartment providing light filled and well furnished, functional apartments. Trelawney Court was featured on the cover of Australian publication *Decoration and Glass* in July-August 1949.

Trelawney Court Heritage Assessment

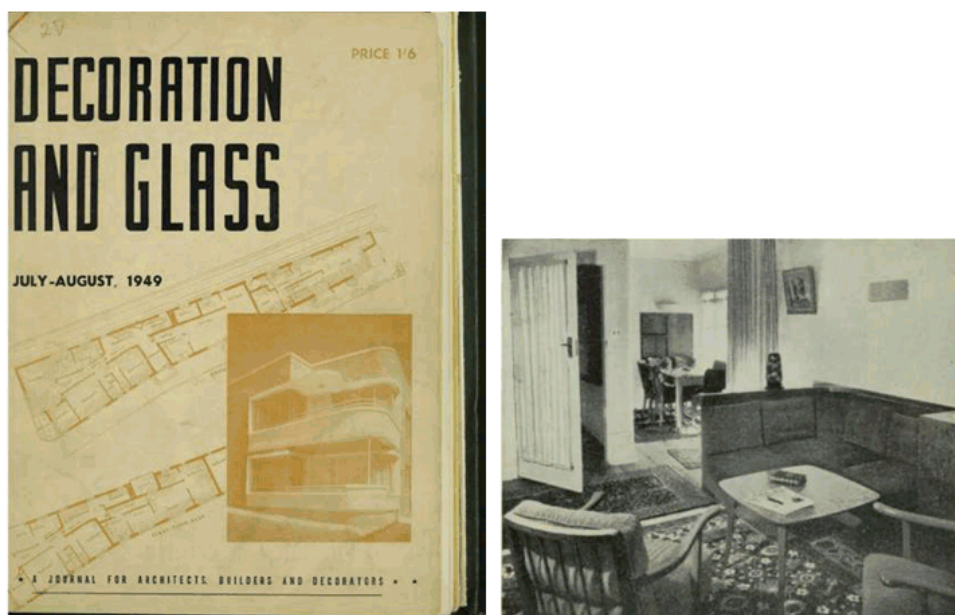


Figure 12 and 13. Cover and detail of article on 'Trelawney Court'. The interior image shows the maisonette and is captioned "The combination lounge, dining room gives a more spacious appearance." It also shows Reves and Hayes extensive use of built-in furniture. (*Trelawney Court*, *Decoration and Glass*, Volume 15, No.2, July-August 1949, Cover and pp.22-23.)

It appears Max Dupain took the published photos, as a search of the Max Dupain and Associates archive, now held in the State Library of NSW shows 13 photos of the building including those used in the article. Many of the interior images record the extensive built in furniture that was part of Reves and Hayes design and demonstrated a common European custom, no doubt familiar to both architect and client.

Marta and Tibor Danos lived at 3 Trelawney Street until their deaths (Tibor Danos in 1989 and Maria in 2019), initially in the maisonette and later Maria Danos moved to a smaller apartment and leased out the masonette. Most of the Dupain interior photos are of the maisonette apartment indicating the Danos' commissioned particular furniture for their own apartment. Ron Denning, the son of the Danos' indicates some of the furniture in the apartments was provided by Ricketts and Thorp, of Rockdale, well known furniture makers of the time.



#### Trelawney Court Heritage Assessment

Having been displaced from Europe in 1939 Tibor Danos was fixated on obtaining financial security, so having located a vacant block of land he set out to develop a scheme that provided a house for his family and a rental income. He engaged architects that were friends and fellow Hungarians (possibly associates from Budapest) George Reves and Charles Hayes. The Danos family also commissioned Reves to design their holiday house in Blackheath in the 1950s, located at 51 Boreas Street.

Following approval of the scheme in 1947 Tibor Danos faced considerable challenges locating materials. His son recalls he often spoke of the difficulties in locating materials and fittings, particularly the steel framed windows, and that the materials used were mostly pre-war in origin and design. The building also had a number of technical features he was very proud of including a centralised hot water system and a centralised refrigeration compressor, providing cooling to small built in refrigerators located in each apartment (Ron Denning, correspondence March 2021).

After growing up in the maisonette Ron Denning went on to live in a number of the other apartments until 1987. He recalled that in 2016 the property was almost completely original in its internal and external features. Marta Danos bequeathed the building to St Luke's Care and the Garvan Institute when she died. In October 2019 the building was put up for auction and sold for \$7.2 million.

#### **Reves and Hayes Architects**

The building at 3 Trelawney Street was designed by the architectural partnership of Reves and Hayes. This appears to have been a short lived partnership formed after the war and dissolving in 1952 when Hayes moves to a larger firm and Reves establishes a solo practice.

Reves and Hayes were both Hungarians who emigrated as a result of World War II. Although neither is well known, their careers can be seen as representative of the significant numbers of European émigré architects, particularly Hungarians, who practiced in Sydney following WWII. Reves completed a number of residential



#### Trelawney Court Heritage Assessment

projects in the eastern suburbs and had his work published in the architectural press during the 1950s, but the majority of his work is unknown and now difficult to identify. Hayes did not register with the Architect's Board of Registration until later in his career, remaining an employee in medium sized firms. Hence we know very little about his design work. This is typical of émigré architects many of whom had low profile careers and received little attention from the architectural community.

A recent focus on Australia's modernist architectural heritage and the diversity of its application has lead to the re-evaluation of the work of many émigré architects. The direct experience of European modernism and training from European Universities that European architects brought is now acknowledged as a factor for considering their work in a new light. Their work was often welcomed by European clients seeking the familiarity of a European lifestyle, including apartment living. Many of these émigré architects worked in the eastern suburbs where significant numbers of Europeans settled during and after World War II. The combination of Hungarian client and architect in the subject site represents the increasing influence of Europeans on the development of Sydney's suburbs after WWII.

This assessment provides a timely opportunity to consider the subject site and the work of its architects within the context of modernist architecture in the Woollahra Council area.

#### **George Reves**

George Reves (nee Revesz) (1910–2004) was a Hungarian who migrated to Australia in 1939. Reves graduated with an architectural degree from the Royal Joseph Technical University, Budapest. He worked in Paris for modernist Auguste Perret before returning to Budapest in 1934 to begin his own practice, designing a number of houses and apartment buildings. Following the German annexation of Austria, Reves fled Europe, arriving in Australia.

Reves' wartime experience in Sydney included designing for James Hardie. He registered as an architect in 1945, and his small-scale, largely residential practice drew on his extensive contacts in Sydney's émigré community. Although he ran a

Trelawney Court Heritage Assessment

small practice two of his houses, both located in the eastern suburbs, were featured in *Architecture in Australia*, in 1955 and 1956.

The National Archives of Australia passenger travel records show that Reves travelled to Los Angeles in 1955 and his work from this period onwards shows significant influence of American modernism, in particular the 1955 Spencer Residence by Richard O. Spencer which was published in *arts & architecture* in 1954.

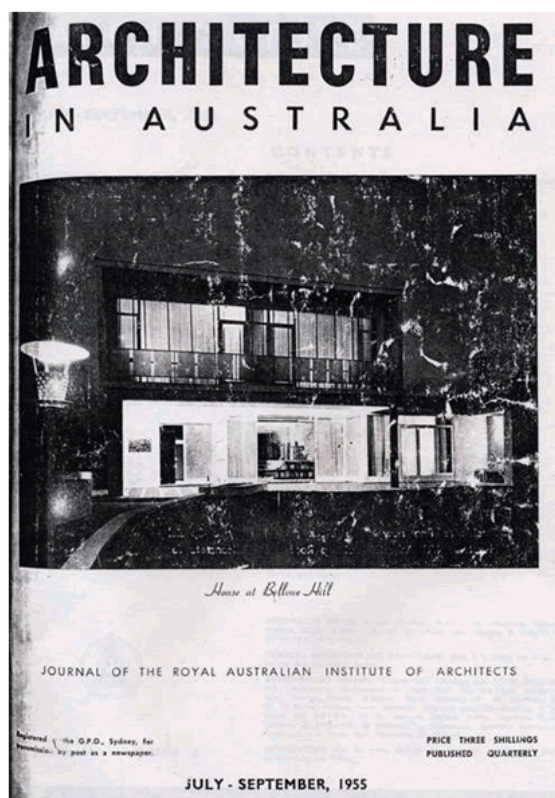


Figure 14. In 1955 a house Reves designed in Bellevue Hill, this time in partnership with another émigré Hungarian architect, Gabor Lucas, was featured on the cover of *Architecture in Australia* (July-September 1955). Further details of the project are unknown.

As was common practice in Europe many of Reves' projects included the design of furniture as part of the overall architectural design. An example is the Schwartz House he designed at 875 New South Head Road, Rose Bay (1957). This project and its furniture were featured in the 2017 exhibition [The Moderns: European Designers in Sydney](#) at the Museum of Sydney. A chapter about the house and the furniture

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makers, also émigrés, M Gerstl Cabinet Works is part of the 2017 publication *The Other Moderns*.

Ted Quinton, who interviewed Reves in 1997 for his Bachelor of Architecture dissertation, notes that in the 1960s Reves switched his practice from largely residential work to larger projects, designing and refurbishing factories, motels and hotels, including several interstate projects. This change seems to coincide with the relocation of his office from 45 Phillip Street, Sydney to 29 Berry Street, North Sydney where he remained until he retired in 1980 aged 70.

**Charles Hayes**

Fellow Hungarian Charles Hayes (nee Hajos) (1911- 1995) also graduated from the Royal Joseph Technical University, Budapest with a second class Honors degree in architecture in 1934. From 1934 to 1940 he was employed as an architect in Budapest before emigrating to Australia in 1940.

In Australia Hayes found architectural work with established firm Lipson and Kaad, before joining the Australian Army from 1942 to 1946. Hayes applied for registration in 1946 when the Architects Registration Board had tightened its policies, and was no longer recognising overseas degrees without applicants passing the prescribed examinations. Reves, and a group of other graduates of the same university had applied the year prior and been accepted without the need for further examinations.

Deciding not to sit the examinations, unregistered, he worked in partnership with Reves from 1946 to 1952. This study has located three projects undertaken by the partnership including the flats at 3 Trelawney Street (see comparative analysis).

After leaving the partnership Hayes worked for another Hungarian, Francis Feledy as senior architectural draftsman, playing a major role in the firm's work which consisted primarily of large industrial structures in the newly developing areas of Zetland and Mascot. Hayes is finally registered in 1963 at the age of 54, after 19 years of architectural work in Australia. Emery Balint, another Hungarian and the

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former Associate Professor of Building at the University of NSW, witnessed Hayes registration papers, noting he had known Hayes for 33 years.

The later part of Hayes' career is unknown. He died in 1995.

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## Section 4: Physical Analysis

### Site Inspection

The building at 3 Trelawney Street was viewed by the authors during open for inspections in October 2019. This included access to all the flats and the exterior. The internal photographs included below were taken at that time. During this project the property has not been available for inspection. Kieran McInerney has since conducted a follow up site inspection of the general setting and building exterior in January 2020. An article about the building in *Decoration & Glass* (Vol. 15 No.2, July-August 1949) which included descriptions, a floor plan and internal images has provided valuable information about the building's fabric and later changes.

### The site

The site is unusually sized and shaped, being 65 metres long and varying irregularly in width from 16 metres wide at the street boundary to 7.5 metres at its narrowest at the rear boundary.

The front fence is a traditional solid sandstone block wall with sandstone piers, typical of the area. The piers are shaped into curves, sympathetic to the building design and are linked by pipe railings. Photos taken immediately after construction show that the height of the wall has been raised while keeping the form the same.

A sandstone flagged path leads from Trelawney Street to a remarkable ashlar sandstone blade wall punctuated by 3 circular openings at the lobby entry and continues down the eastern boundary to the rear maisonette apartment.

A driveway runs along the western boundary leading to a two-car garage at the rear, northern, boundary of the site. The garage is shown as an existing structure in Building Application BA1 -1947. It is a utilitarian construction of single brick with engaged piers, concrete floor and a recently added metal "Panel-lift", and shares no design features with 3 Trelawney Street. It has been since increased in size with a short extension in timber construction in weatherboard cladding. The attached



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laundry structure, built at the same time as 3 Trelawney Street is also a nondescript utilitarian construction of single brick with engaged piers and tiled floor.

#### **The building**

The building is a two-storey inter-war Moderne/ Modernist/ Art Deco style apartment building built in light red face brick with rendered balcony balustrades and slab edges and curved ashlar sandstone feature panels.

The lobby and stair give access to four single level apartments; two on the ground and two on the first floor. Apartments 1 (ground floor) and 3 (first floor) are identical in plan, being small 3 bedroom apartments of approximately 90 m<sup>2</sup> NLA (net lettable area).

Apartment 2 (ground floor) is a small 1 bedroom apartment with ensuite bathroom approximately 47 m<sup>2</sup> NLA. Adjacent is a boiler room. Apartment 4 (first floor) has the same plan as Apartment 2 with additional space afforded by the omission of the boiler room. It is a 1 bedroom apartment with ensuite bathroom plus separate WC and a small balcony facing west. It is approximately 57 m<sup>2</sup> NLA including the balcony. The ground and first floors are also linked by a trades stair.

The sandstone-flagged path continues to the entry door of apartment 5, a two-storey masonette apartment. This apartment has 3 bedrooms and a study. The ground floor comprises a rather splendid entry lobby, (a smaller version of the of the first lobby) a small awkwardly shaped bedroom, small kitchen with attendant porch, tiny dining nook and a living room which opens to a courtyard. A WC with a porthole window is tucked under the stair. The first floor has two bedrooms, a bathroom and a study as well as a balcony accessed from the main bedroom.

The building displays expensive construction methodologies, complex planning and non- standardized features with each unit individually detailed. The western elevation contains a boiler room that originally housed a coke fired boiler supplying hot water to each apartment. It also contained a centralised refrigeration providing cooling to small built-in refrigerators in each apartment. These features indicate it was



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designed for a more luxurious form of apartment living and that it was not simply developed as an investment to maximise lettable areas. The 1949 *Decoration & Glass* article notes that many of the building's features were adaptations to post war materials shortages. This included the rendered awnings and sills, in place of light bricks that were not available.

The article also notes a number of design features utilised to increase a feeling of space, despite the limited site area. This included terraces and large windows provided to increase the appearance of room sizes and to provide morning sun to all bedrooms. The generous entry stairs, curved and with varying widths, also added a sense of grandeur to the small building. The building also contained extensive amounts of built-in and recessed furniture, of which only some items remain.



Figure 15. Trelawney Court viewed from Trelawney Street east; note distinctive “S” shaped first floor concrete awning slab edge- and curved sandstone feature panels. Sandstone flagged path leads to lobby entry.  
(Source: Bradfield Cleary 2019)

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Figure 16. Trelawney Court viewed from Trelawney Street west; plainer west elevation with extensive steel framed glazing. Concrete driveway leads to garage. (Source: Bradfield Cleary 2019)



Figure 17. Garage and communal laundry at rear of block. (Source: Bradfield Cleary 2019)

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Figure 18. Trelawney Court viewed from north, rear (garage); detailing of curved rendered balustrade panels has been repeated to compose a formal garden facade. Intrusive pool fence type balustrade has been added recently. (Source: Bradfield Cleary 2019)



Figure 19. Building entry on the eastern site boundary with sandstone blade wall at the lobby entry. (Source: Bradfield Cleary 2019)



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Figure 20. The sandstone path continues to the rear maisonette apartment which has a more modest entry porch. (Source: Bradfield Cleary 2019)



Figure 21. Extensive steel framed glazing to dining space of apartment 5 with cement rendered framed window surround. (Author photo)



Figure 22. Curved concrete slab awning and ashlar sandstone blade wall punctuated by 3 circular openings at the lobby entry. (Author photo)

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**Exterior**

**Building facade**

The building exterior appears to be almost completely unaltered. The street facade presents as an asymmetrical, flat roofed corner building, even though there is a relatively straightforward apartment building behind. Stylistic elements added to the façade give a modern appearance to what is actually a building with the commonplace brick, timber and tile conventions' of the 1940s.

The external walls are cavity brick; face brick externally, rendered internally. To Trelawney Street the external wall is a concrete capped face brick parapet extending north for approximately 10 metres; thus resembling a modernist flat roofed building. From there the wall roof junction is expressed as it is; i.e. a timber framed roof with Marseilles pattern terracotta tiled roof, with lined eaves and quad gutter and exposed downpipes. The brick wall is broken into two parts orthogonal to each adjacent boundary, thus inflecting to the best view and simulating a corner site view.

The floors of the building are timber framed generally with suspended concrete slabs for the bathrooms, showers, WCs and trade stairs; and the ground and first balconies and porches.

All four facades show a great deal of attention to detail. The Trelawney Street facade has a curvaceous S shaped concrete awning, above the typically 1930 Moderne curved rendered balustrades. The distinctive "S" shaped first floor concrete awning slab edge- and curved ashlar sandstone feature panels infill between delicate steel windows which have curved glazed corners. These elements are also found in George Reves' later work, but here can be seen as typical of a streamlined 1930s P&O Moderne architectural style, which commonly referenced ocean liners.

The curved concrete slab awning and ashlar sandstone blade wall punctuated by 3 circular openings at the lobby entry also refer to P&O Moderne style. The lobby to apartment 5 has a similar treatment.

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The external walls are cavity brick; face brick externally, rendered internally. The floors of the building are timber framed generally with suspended concrete slabs for the bathrooms, showers, WCs and trade stairs; and the ground and first balconies and porches.

Circular bulkhead lights are an integral part of the design of each concrete awning, and this light type is repeated internally in stair lobbies.

The building is a well-built small scale luxury apartment block and had a generous budget for its building type, as shown by the complexity of the planning and detailing as well as the lack of standardization of apartment plans, windows and kitchens which is the hallmark of apartment design.

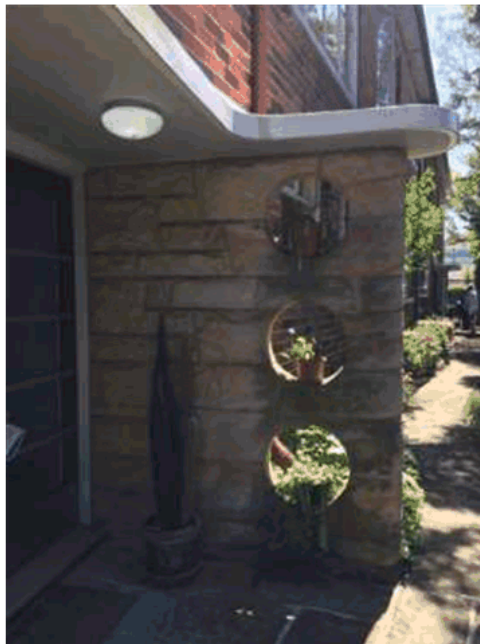


Figure 23. The flamboyant curved concrete slab awning of the main façade is reflected in the lobby entry.  
(Author photo)



Figure 24. Curved concrete slab awning and curved and angular dressed ashlar sandstone wall with slender steel framed windows and curved handrails to front facade.  
(Author photo)



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Figure 25. Trelawney Street façade detail: Note distinctive “S” shaped first floor concrete awning slab edge, curved sandstone feature panels and bulkhead light. (Source: Author photo)

### Windows

The building has many types of steel windows; pivoted porthole windows to a WC, tall arch headed windows to the apartment 5 stair, large format window walls to dining areas and the main stairs, multiple leaf awning windows, casement windows and French doors. Bathroom windows are glazed with “Kosciusko” pattern obscure glass. Windows sills are typically cement rendered with a square edge and paint finish.

Windows are concentrated on the eastern elevation, many almost taking up the full wall, maximising sun into the apartments and providing a feeling of spaciousness.

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Figure 26. The building has many types of steel windows e.g. this pivoted porthole window to a WC.  
(Author photo)

Figure 27. Steel casement windows glazed with "Kosciusko" pattern obscure glass to bathroom.  
(Author photo)

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Figure 28. Tall steel framed glazing to maisonette stair with semi-circular operable window at head. (Author photo)

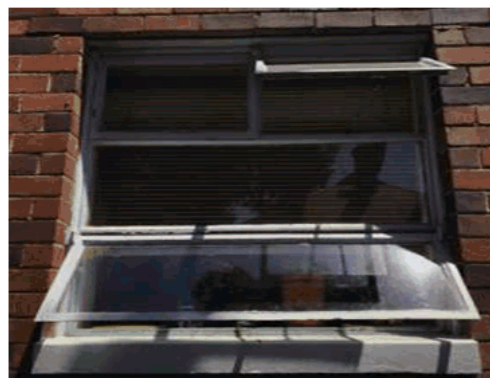


Figure 29. Broad steel awning windows to kitchen. (Author photo)

### Interior

The interiors of the building appear to have been largely unaltered. Comparisons with the floor plan reproduced in the 1949 *Decoration & Glass* article indicate there have been no changes to the internal layouts. The typical internal wall finish is painted cement render, with patterned render being used in the ground floor walls of the lobby.

Ceilings of both the lobby and apartments are plastered with curved “streamlined” plasterwork to living areas. This appears to be intact in most of the apartments. The building retains many original light fixtures internally and externally.

Entry thresholds generally have a terrazzo sill. The entry lobby has an entry landing of 2 inch x 2 inch unglazed terracotta tiles while the remaining floor finishes are typically carpet. The main lobby walls have inset timber and glass notice and

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directory boards. The main stair has curved winders and a curved balustrade of welded steel flats typical of cinema buildings of the 1930s.

Inside the apartments kitchens appear to generally retain their original or early timber and laminate cabinetry. Bathrooms also retain their original or early unglazed patterned floor tiles and coloured glazed wall tiles, many with original period sanitary fixtures.

Reveals to the steel windows are cement rendered with no traditional timber architraves.

The *Decoration & Glass* article refers to an extensive use of built-in furniture and images show a combination of built-ins and loose furniture items, possibly designed by Reves and Hayes, as was typical of the work of European architects in the period. The built-in units provide storage and maximise usable space in the apartments. The limited internal inspections undertaken for this report indicate only a few built-in units remain. Built-in items such as the banquettes shown in the maisonette in the article appear to have been removed. The maisonette (Apartment 5) has retained more elements than other apartments. A large L - shaped cabinet of birds-eye maple veneer remains in the living room, with a built-in tiled mirror unit with integral shelf. It also retains a light timber veneer sliding door servery unit between the kitchen and the dining nook. The entry lobby retains a timber framed wall mirror with 'flower shelf' and early or original wall lights. These joinery units feature Reves signature layout of timber veneer and are typical of the work of the émigré joiners such as Paul Kaka, Gerstl Cabinet Works, Kafka, Zink and Davidovich (although the particular joiner used for this project is unknown).



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Figure 30. Early or original intact floor and wall tiles in bathroom. (Author photo)



Figure 31. Typical early or original kitchen fit-out as found in most of the apartments.



Figure 32. The entry lobby has an entry landing of 2 inch x 2 inch unglazed terracotta tiles and a threshold sill of honey coloured terrazzo. (Author photo)



Figure 33. Ceilings are plastered with curved “streamlined” plasterwork to living areas (Author photo)

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Figure 34. The maisonette (apartment 5) has a built in tiled mirror unit with integral "flower shelf" as described Decoration and Glass Vol. 15 No. 2 (July - August 1949) article (Author photo)



Figure 35. The maisonette (apartment 5) has a light coloured timber veneer sliding door servery unit between the kitchen and the dining nook. (Author photo)



Figure 36. Top section of the L - shaped unit showing the drinks cabinet of burr walnut veneer in the living room, apartment 5. (Author photo)



Figure 37. Large L - shaped cabinet of burr walnut veneer in the living room, apartment 5. (Author photo)



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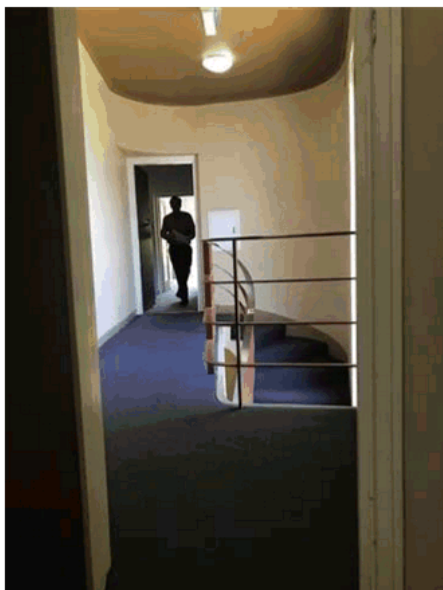


Figure 38. The main stair has curved winders and a curved balustrade of welded steel flats typical of cinema buildings of the 1930s. Ceilings are also curved. Blukhead light matches extrnal lights on street facade awning (Author photo)

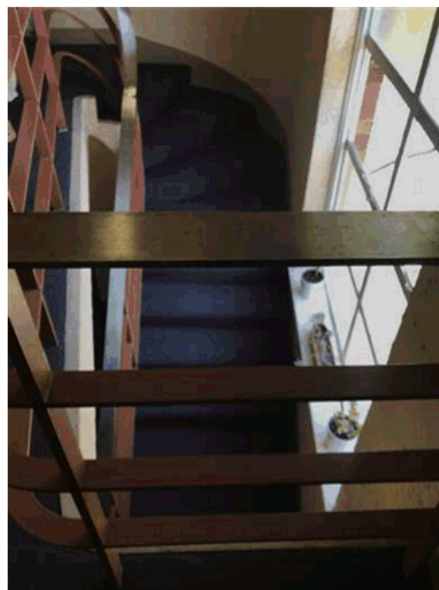


Figure 39. Main stair from above showing western window with rendered sills (Author photo)

### Moveable heritage items

There does not appear to be any moveable heritage items associated with the site.

### Setting

Trelawney Street runs east to west from Edgecliff Road to Jersey Road in Woollahra. The subject building is located on the northern side of the eastern most section, towards Edgecliff Road, before the land falls away steeply to the east.

The building is located within a mixed context of 19<sup>th</sup> and 20<sup>th</sup> century single residences, larger flat buildings and health facilities like the Wolper Hospital on the western side of Trelawney Street. Section 1 identifies the building's context and listed heritage items in the vicinity.

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Views of the building are available as one passes east and west along Trelawney Street, and as one turns into Trelawney Street from Edgecliff Road. The building presents as a crisp and well-maintained modernist building in a manicured garden setting.



Figure 40. The building in its setting on the northern side of Trelawney Street, Woollahra. (Source: Bradfield Cleary 2019)

#### **Current condition**

The building is in excellent condition. The face brickwork has gained a slight patina with some minor patches of blackening on the brick parapet at high level, which is to be expected. The detailing of the concrete awnings and balustrades and the drainage of the box gutter has been effective in reducing staining.

Balconies, windows, eaves and gutters all appear to be in very good condition and have been well maintained. The steel windows are all operable and appear to have been regularly maintained and painted.

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**Alterations and additions**

A search of Council records indicates that there has been only one building application or development application since its construction. A building application approved 14 April 1971 to alter the kitchen and cloakroom in apartment 5 was not carried out, and the apartment remains today as it was shown in the original BA drawings dated 28 March 1947.

Internally the building remains substantially intact including the internal layout of apartments, decorative curved plaster work at ceilings, bathroom tiles and fixtures, kitchen cabinetry and lighting. In addition some built-in furniture remains, particularly in apartment 5.

The front facade has not been altered. The boiler room chimney has been retained. Only the rear facade shows some alteration with the original 50mm diameter circular hollow section welded steel balustrade having been replaced by an unsympathetic pool fence type balustrade with opaque glass infill panels.

Early external photos taken by Max Dupain (see Figure 41) show the front sandstone block with steel pipe fence has been raised in height with three courses of matching sandstone blocks added to each post. This has retained the original form and materials.

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Figure 41. Max Dupain photographed the site around 1950. The images are now held in the State Library collection. Comparisons with current site images show few changes.



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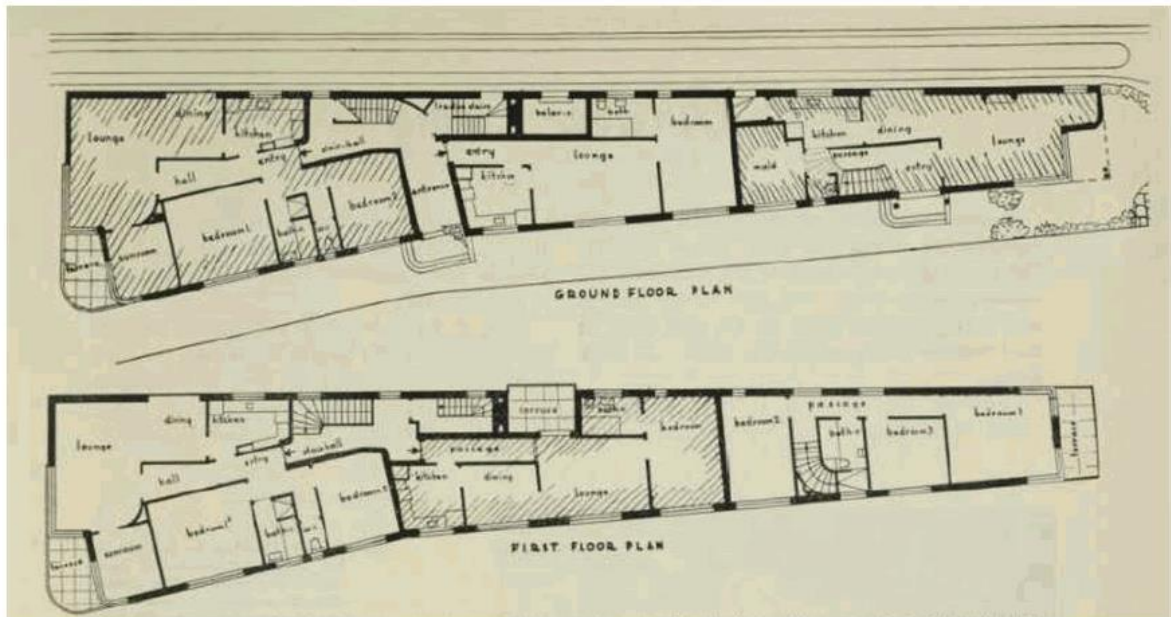


Figure 42. The building's floor plan shortly after completion as published in *Decoration and Glass*, Vol.15 No.2 (July-August 1949), p.25



Figure 43. The approved building floor plan as submitted to Council in 1947. (BA1-1947)

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## Section 5: Comparative Analysis

### Introduction

This section compares the subject building with both other works designed by Reves and Hayes or George Reves alone, and with other residential flat buildings designed and constructed in the immediate post war period in the Woollahra LGA and more generally.

Comparative analysis is important in understanding how a place may meet criteria (f) and (g) of the NSW Significance Assessment criteria. These two criteria relate to whether a place is significant because it is rare or because it is a good example of a common type of place. The two criteria are:

*Criteria (f) an item possesses uncommon, rare or endangered aspects of NSW's or of the area's cultural or natural history; and*

*Criterion (g) an item is important in demonstrating the principal characteristics of a class of NSW's or the area's cultural or natural places or cultural or natural environments.*

Addressing these criteria assists understanding the heritage values of a place in the Woollahra context and the broader context of the history of New South Wales.

**Appendix B** contains a full list of the identified work of Reves, and of Reves and Hayes.

### Works of Reves and Hayes

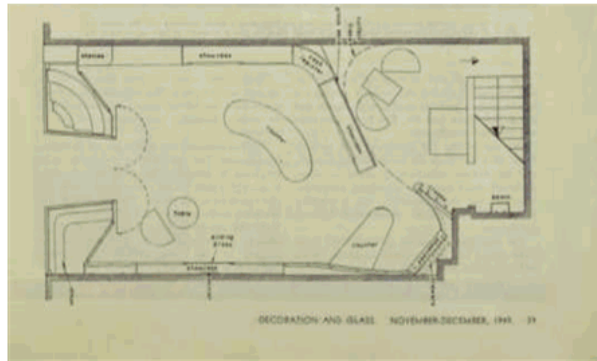
After researching Council records, publications and other available information only three projects undertaken by the Reves and Hayes partnership have been located. These are:

- Trelawney Court, 3 Trelawney Street, Woollahra, 1949
- City jewellery store, location unknown, published in *Decoration & Glass*, Nov-Dec, 1949.
- Werner House, 85 Victoria Road Bellevue Hill, 1951



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1949- Jewellery store, Sydney



Although this is a small interior retail fitout it shares design elements with 3 Trelawney Street in a willingness to employ curved geometry wherever possible within an orthogonal envelope and extensive use of timber veneered joinery. This can be seen in the curved wall cabinets and free standing cabinets which are in a free geometry (non-radial) similar to the balcony, awning, ceiling and stair elements in 3 Trelawney Street. This fitout is assumed to be now demolished.

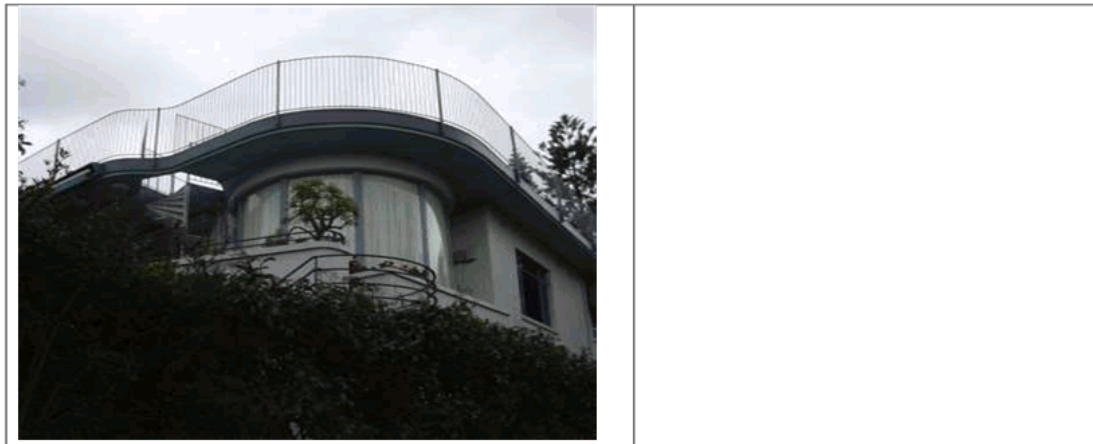
1951- Werner House, 85 Victoria Road, Bellevue Hill



This is the only known single house designed by Reves and Hayes. It was a very large and opulent house for its time, characterised by extensive circular and curved geometry. Stylistically, it owes much to the 1930s and 1940s. It has been extensively altered with a roof terrace and other alterations.

This house has no statutory heritage protection.

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**Works of George Reves**

After their partnership dissolved Charles Hayes appears to have worked for a number of larger architectural firms and so it is difficult to identify his stylistic contribution to 3 Trelawney Street and his significance as an architect. Consequently the following analysis looks at the work of George Reves, who despite a low profile career, completed a number of interesting modernist residential projects in the eastern suburbs in the 1950s and 1960s. A number of these projects display stylistic elements observable in 3 Trelawney Street.

The following comparative analysis examines a sample of houses designed by George Reves.

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1957- Schwartz House, 875 New South Head Road, Rose Bay (demolished 2016)	
	<p>Built ten years after 3 Trelawney Street this small house shares design elements with it; including the curved decorative dressed ashlar sandstone wall panels as part of the front facade. The glazing bars of the facade, like 3 Trelawney Street, are aligned with the balustrade panels in a cohesive design arrangement.</p> <p>875 New South Head Road was also fitted with built-in curved timber furniture of flamboyant design.</p>
	

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Stein House, 86A Victoria Road, Bellevue Hill, 1962 (Renovated 2018 by Luigi Rosselli Architects)



Built 13 years after 3 Trelawney Street this large house shares design elements with it; including the sweeping curves of the steel balustrades and curved rendered balustrade upstands. It also shares with 3 Trelawney Street curved decorative ceilings as seen in the living rooms. The most important common element is the distinctive curved concrete awnings seen in the front facade of 3 Trelawney Street and at each of its two apartment entrances. In 86A Victoria Road Bellevue Hill this motif has become more three dimensional and expressive to the point of being reminiscent of South American modernists such as Oscar Niemeyer.

This house has no statutory heritage protection. An assessment of heritage significance should be undertaken.



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Horsky House, 861 New South Head Road, Rose Bay (also 10 Fernleigh Gardens), 1961 (altered c. 2011)



The Horsky House built 13 years after 3 Trelawney Street displays a lightweight, skillion roofed Californian inspired modernism. Masonry parapets are broken into individual panels reducing the mass and bulk of the building and making it more open. Cantilevered orthogonal balconies are used and no circular geometry is evident.

Little of the original house now remains. It has no statutory heritage protection. It appears that the recent renovations mean it no longer demonstrates Reves' design work and is not in a heritage conservation area.

**Conclusion:**

3 Trelawney Street is an early work of émigré architects Reves and Hayes, who had trained and practiced in central Europe before WWII. This influence is evident in a number of the building's features, including planes of unembellished face brickwork, curved rendered balconies and custom, lavish built in timber furniture and joinery. These features can be seen to have been further explored in Reves' later work as he designed larger residential projects during the 1950s and 1960s. The subject building can be seen to have a number of distinctive features evident in Reves' other projects and hence to be a representative example of his work.

It should be noted that Reves had a distinctive application of modernism, taking in both European influences and later elements of Californian modernism, and his work

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can be seen as stylistically individual in the context of the Woollahra Municipality and Sydney more generally. Only a handful of his projects have been identified during this and previous studies, and none of these projects are protected by individual heritage listing. In the last few years a number of Reves' known projects have been demolished or substantially altered making an intact example of his work, such as the subject building, rare.

**Inter-war flat buildings in the Woollahra LGA**

Although the subject building was designed in 1946, just after WWII, it is considered here to be comparable with Inter-war flat buildings. The disruption of WWII meant that building all but ceased in the 1940s and the wartime restrictions on building materials that continued into the late 1940s meant little architectural innovation occurred until the mid 1950s. The 1946 date of the subject building is significant as it represents the beginning of a shift from Inter-war flat building styles towards modernist International Style architectural works that became more common in Sydney in the late 1950s. The subject building shows elements of Inter-war flat buildings but also stylistic differences that mark the influence of European Modernism.



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20 Thornton Street, Darling Point, 1941, Lipson and Kaad



This low scale flat building shares a number of design elements with Trelawney Court. It was designed by the office of architect Samuel Lipson, a pioneer of European Modernism in Australia during from the late 1930's through to the 1960s.

It is a two storey building with a prominent curved bay window with curved glass in slender steel windows and a modern rendered brick parapet. However the parapet conceals a conventional pitched Marseille tile roof, which is very evident along the side facades. All the other windows are timber framed, including the uncharacteristic timber doors to a poorly designed and built balcony addition.

This building is not heritage listed and is not in a heritage conservation area.

Glamis, 206A Victoria Street, Bellevue Hill, 1930s, Lipson and Kaad



This four storey building is considered a departure from conventional residential flat design in its floor plan, characterised by an elegant employment of galley access on three levels. Bold coloured, banded brickwork facades are capped by a very low pitched roof, like a flattened pyramid, with minimal eaves. A glazed faceted bay window forms an awning over the entry link. The street entry is enlivened by a bold Art Deco name board. With the possible exception of the curved bay window on the street facade, Glamis shares few design elements with Trelawney Court.

Glamis is listed in the Woollahra Local Environmental Plan 2014 Schedule 5 Environmental Heritage as;

*Residential flat building and interiors, front boundary wall, entry link and grounds*

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Rutland Gate, 28-30 Fairfax Road, Bellevue Hill, 1935, Dudley Ward



Rutland Gate at 28-30 Fairfax Road is a site with two buildings. No.30 was built in 1935 with No.28 following in 1936. Rutland Gate is a grand apartment building with large, standardised, well-planned identical apartments over four storeys.

The facades are austere for a building of this era, with a single colour of brick used and no patterning or corbelling employed except at the top of stairwell windows and at entries where an unusual hit and miss brickwork is employed. A limited use of 2 coloured banded brickwork is used to Fairfax Road, which is recessive behind a row of garages. Windows in curved walls are faceted rather than curved.

Rutland Gate shares few design elements with the much smaller Trelawney Court; Trelawney Court being much richer in material palette and detailing. These buildings are not heritage listed. They are not in a heritage conservation area.

42 Fairfax Road, Bellevue Hill, 1951, architect unknown





42 Fairfax Road is a four storey brick apartment building contemporaneous with Trelawney Court. It has a simple multi-coloured brick facade, sandstone flagged paths, porthole windows, curved rendered masonry balustrades and decorative angled blade walls with circular perforations at lobby entries.

These blade walls, like the building generally, are less rich and substantial than Trelawney Court, being made of thin painted concrete rather than elaborately coursed ashlar sandstone. This building does not have the rich materials and level of detail that is seen in Trelawney Court.

This building is not heritage listed. It is not in a heritage conservation area.

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Darjoa, 14 Longworth Avenue, Point Piper, 1938, Lipson & Kaad	
	<p>"Darjoa" was designed by Samuel Lipson in the late 1930s. A three storey apartment building on the harbour in Point Piper, it is described in "Homes in the Sky" as "a typical product of the Sydney marriage of European Modernism and conspicuous wealth" (p.86). It was a high profile project with its interiors and extensive built-in furniture published in <i>Decoration and Glass</i> and <i>The Home</i>.</p> <p>Its facade features a distinct horizontality formed by painted rendered projecting sills and parapet, and curved steel framed window bands. It is a typical example of European Modernism adapted to a Sydney setting.</p> <p>The building does not have the rich materials, level of detail and individual flourishes that are evident at Trelawney Court.</p> <p>This building is not heritage listed and not in a heritage conservation area.</p>
Arundel House, 24 Yarranabbe Road, Darling Point, 1940, Pitt & Phillips	
	<p>Arundel House was designed by architects Eric C. Pitt &amp; C.C. Phillips just before WWII. It can be seen as a Moderne or P&amp;O style building with Art Deco detailing to the garages.</p> <p>Its main façade is dominated by curved projecting bay windows with faceted timber frames. It includes porthole feature windows on the side facades. The facades are simple, with a single colour of brick used. Brick patterning and corbelling are only used in the street front garages.</p> <p>Trelawney Court presents as a more linear building with less focus on brick detailing. As such it represents a move away from the Moderne influences present in Arundel House towards incorporating aspects of European Modernism.</p> <p>This building is not heritage listed and not in a heritage conservation area.</p>



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“Hillside” Apartments, 412 Edgecliff Road, Woollahra, 1938, Emil Sodersten Architect.



Large apartment building, finished immediately pre-war. Sodersten's work was influenced by American Art Deco architects Hugh Ferriss and Raymond Hood. "Hillside" is a highly styled formal Art Deco building with external walls being built almost entirely of variegated coloured face brickwork. The slender massing of the separate wings emphasises the verticality of the building and this is supported by the vertical arrangements of the window design, brickwork detailing and decorative elements.



"Hillside" is modelled and decorated to appear as vertical and massive as possible. Balconies are not differentiated from the building mass.

It differs from the plain brickwork and horizontal emphasis of Trelawney Court.

This building is heritage listed and is within a heritage conservation area.

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**Inter-war flat buildings outside Woollahra**

A number of 1930s and 1940s apartment buildings in Melbourne demonstrate an early application of Modernist principles and provide a useful comparison with Trelawney Court. The 1940s work of Swiss trained Frederick Romberg and his partner Mary Turner Shaw is highly regarded and considered significant as early examples of International Style modernism in Australia. Similarly the 1930s Cairo Flats by Best Overend, an architect recently returned from working in the UK, is also recognised as an influential and early Modernist apartment project. Like Trelawney Court these projects emphasise the horizontal, often with rendered balconies, and have much simpler and less decorative brickwork than Art Deco examples. They also use steel window frames or glass bricks and other simplified window treatments and feature curved elements such as balconies and porthole features. The following are comparable examples of 1930s and 1940s flat buildings located outside the Woollahra Council area.

Cairo Flats, 98 Nicholson Street, Fitzroy, Victoria, 1935-36, Best Overend



Designed by architect Best Overend, who had just returned from working in London. The two storey complex of 28 bachelor flats was one of the first modernist flats in Melbourne. Termed a 'minimum flat' it sought to provide simple function spaces for urban living. Cairo is listed by Heritage Victoria as an important example of the International Modern style and as a building which established a major break with conventional maisonette flat design.

Trelawney Court Heritage Assessment

Glenunga, 2 Horsburgh Grove, Armadale, Victoria, 1940, Romberg and Shaw



Designed by Frederick Romberg and Mary Turner Shaw and completed in 1940. It is considered historically significant as an illustration of the influence of European Modernism upon flat design in Melbourne and in particular the trend toward more compact flat layouts and is listed for its International Style form, materials and detailing. It includes a number of features in common with Trelawney Court including large areas of glazing, feature stonework and repeated circular elements. Glenunga is a listed heritage item within the City of Stonnington, Melbourne.

Yarrabee Flats, 44 Walsh Street, South Yarra, Victoria, 1940, Romberg and Shaw



Designed by Frederick Romberg and Mary Turner Shaw and completed in 1940. Originally unpainted face brickwork with rendered and painted balconies and window surrounds. The building shares a number of characteristics with the subject site including the curved balconies and awnings, and pipe balustrades. Yarrabee is not heritage listed.

### Conclusion

3 Trelawney Street can be seen as a filtering of the eclectic local Sydney architectural idiom to suit the taste and training of Reves and Hayes, who had trained and practiced in central Europe before WWII. In 3 Trelawney Street some of the following design decisions they made were;

- 3 Trelawney is not composed with a traditional base, shaft and cornice like the Art Deco examples above. Instead both floors are identical in their treatment.



#### Trelawney Court Heritage Assessment

- Brickwork is arranged in large plain walls without variegated colours or multiple brick shapes and textures.
- Sandstone is used as a landscape element or detailed as an applied finish rather than as a structural basement level or “plinth” as can be seen in the examples above.
- No purely decorative elements are applied. Expression is achieved through the design of required elements such as glazing bars and balustrades.
- Balconies are formed of solid rendered elements and a lightweight horizontal steel pipe balustrade rather than a solid mass of masonry.
- Pitched roofs are hidden behind a parapet – rather than being expressed with eaves- and therefore resembling the modernist flat roof.

Building application plans held by Council demonstrate that through the design process the building can be seen to have developed towards European modernism and away from an initially typical local Inter-war style. The architects have opted for the building and architectonic elements most congruent with their central European modernist training, while still producing a building that is sympathetic to its context. During the design and building process Reves also developed typical elements into idiosyncratic forms that appear in his later work i.e. the “S” shaped awning that re-appears in 86A Victoria Road Bellevue Hill as a more organic and expressive Niemeyer-esque element.

#### **Comparative analysis**

Trelawney Court is an intact example of an Inter-war residential flat building, despite having been completed immediately post war. It shares a number of characteristics with other heritage listed residential flat buildings in the WMC area making it a representative example but can also be seen as having unique qualities that make it rare.

Like many residential flat buildings in the WMC area it represents the growing demand for housing from the 1930s and the progressive subdivision of larger single residential sites and the construction of multi-unit projects on the new lots. Unlike

#### Trelawney Court Heritage Assessment

many of the examples above, Trelawney Court was developed on a narrow site and in a low rise context. As a result it is relatively rare as a smaller apartment development with only 4 flats and the rear maisonette.

As the work of European trained architects, Trelawney Court is comparable to the work of British trained Architect Samuel Lipson, a number of whose buildings are listed as heritage items in the Woollahra LEP 2014 and the Sydney LEP 2012. Lipson's work is acknowledged as significant because it reflects the impact European trained architects had on the direction of architecture in the years immediately preceding World War 2. However, Trelawney Court can be seen to have characteristics of more modernist buildings, such as those designed by another émigré, Swiss-trained Frederick Romberg, in Victoria in the 1940s which are considered significant as early examples of International Style modernism in Australia. Having been completed just post war, Trelawney Court is a significant example of the work of the numerous émigré architects, particularly Hungarians, who settled in Sydney and practised a unique application of central European modernism. Few examples of these buildings remain as intact as Trelawney Court, including its interiors and with examples of its built-in furniture, making it rare.

The building is also representative of the work of George Reves, a significant modernist architect who completed a number of projects in the eastern suburbs during the 1950s and 1960s. The building reflects key elements of other projects designed by Reves including the curved feature awning, use of ashlar stonework feature panels and suppression of the expression of pitched roofs. When compared to other buildings by Reves, only a handful of which have been identified and many of those demolished or altered, as an intact example of his work it is rare.

The subject building is an excellent example of a well-designed Inter-war flat building with a unique approach to site planning, generous detailing and thoughtful development of living spaces. It displays architectural details that are typical of Inter-war flat buildings but also many unique details that reflect the design approach of its architects, a need to adapt to post war building shortages and a response to the site.

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The result is a compact building providing a thoughtful street presence and high quality apartments.

Despite numerous examples of Inter-war flat buildings being listed as local heritage items in the Woollahra LGA and other LGAs, these buildings tend to show a wide variety of stylistic differences. The subject building displays elements of European Modernism that make it a unique adaptation of a common architectural form. The subject building can be seen to be a rare example of an Inter-war flat building showing the influence of European Modernism within the context of the Woollahra Council area. That the building remains substantially intact, including interior and interior fittings, further increases its rarity.

Trelawney Court Heritage Assessment

## Section 6: Heritage Significance Assessment

### Introduction

The assessment of heritage significance is undertaken by utilising an assessment criteria based on the Burra Charter of Australia ICOMOS. The principles of the charter relate to the assessment, conservation and management of sites and relics. This has informed legislation in the NSW Heritage Act 1977 which is implemented through the NSW Heritage Manual.

The following assessment utilises the heritage significance criteria set out in the document *Assessing Heritage Significance*, published by the NSW Heritage Office.

### NSW Historical Themes

The use of the NSW Historical Themes is an important process in understanding how a site or relic relates to important themes to NSW and to a local area, and therefore how a site could be significant at a State or local level. There are nine broad Australian themes and 36 NSW themes, with numerous related local themes.

3 Trelawney Street, Woollahra relates to the following NSW Historical Themes:

Australian Theme	NSW Theme	Relevance
Peopling Australia	Ethnic influences	The subject building represents the application of European modernism as practiced by migrant architects in Sydney in the immediate post war years.
Building settlements, towns and cities	Accommodation	The building is an example of the development of apartments in Sydney in Eastern Suburbs in the immediate post war years.
Developing Australia's cultural life	Creative endeavour	The subject building is an example of modernist architecture of the late 1940s drawing stylistic elements from both a Moderne and International Style architectural vocabulary. It is also a representative example of the work of European émigré architects.

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**Heritage significance assessment**

**New South Wales Heritage Assessment Guidelines**

The *NSW Heritage Manual* provides seven heritage criteria to assess the significance of an item. If an item meets one of the seven heritage criteria at a local level, and retains the integrity of its key attributes, it can be considered to have local heritage significance. To be assessed for State significance an item will need to meet more than one of the seven heritage criteria at a State level, or if an item satisfies only one of the criteria, the item is of such particular significance to NSW that it should be listed.

‘State heritage significance’, in relation to a place, building, work or relic, moveable object or precinct, means significance to the State in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item.

‘Local heritage significance’, in relation to a place, building, work, relic, movable object or precinct, means significance to an area in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item.

The table below outlines the seven heritage criteria contained in the NSW Heritage Assessment Guidelines:

Criteria	Description
Criterion a: Historical significance	An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area);
Criterion b: Associative significance	An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area);
Criterion c: Aesthetic/technical significance	An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area);

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Criteria	Description
Criterion d: Social significance	An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons;
Criterion e: Research potential	An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area);
Criterion f: Rarity	An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area);
Criterion g: Representative	An item is important in demonstrating the principal characteristics of a class of NSW's • cultural or natural places; or • cultural or natural environments. (or a class of the local area's • cultural or natural places; or • cultural or natural environments.)

The following section provides an assessment of the significance of the subject site against the above criteria.

**Criterion a- Historical significance**

Trelawney Court is a significant example of an Inter-war flat building designed in the immediate post war period. It displays a combination of Moderne and International Style architectural influences and demonstrates the shift in the Woollahra area towards higher density and increased apartment development post war.

Designed by émigré architects for European clients, Trelawney Court can also be seen to represent the growing influence of European migrants on the development of Sydney's suburbs post war.

Trelawney Court is also significant as an example of the work of architect George Reves, who contributed a number of significant modernist houses in the eastern suburbs during the 1950s and 1960s. Trelawney Court, his first project in Australia,



Trelawney Court Heritage Assessment

demonstrates the evolution of his style as he adapted to the context of Sydney and has particular significance due to its intactness.

Guidelines for inclusion		Guidelines for exclusion	
X	• shows evidence of a significant human activity	X	• has incidental or unsubstantiated connections with historically important activities or processes
✓	• is associated with a significant activity or historical phase	X	• provides evidence of activities or processes that are of dubious historical importance
X	• maintains or shows the continuity of a historical process or activity	X	• has been so altered that it can no longer provide evidence of a particular association

Trelawney Court is associated with a significant historical phase and as such is of local significance under this criterion. The building does not meet the threshold for State significance under this criterion.

**Criterion b- Associative significance**

Trelawney Court has significant associations with architect George Reves, as his first project in Australia, and as one that was published and remains intact. The site also has associations with former owner Arthur Wigram Allen but as Allen never occupied the site, and owned many properties in Sydney, this association is not considered significant.

Guidelines for inclusion		Guidelines for exclusion	
X	• shows evidence of a significant human occupation	✓	• has incidental or unsubstantiated connections with historically important people or events
X	• is associated with a significant event, person, or group of persons	X	• provides evidence of people or events that are of dubious historical importance
		X	• importance has been so altered that it can no longer provide evidence of a particular association

Trelawney Court can be seen to have only incidental connections with historically important people and strong associations with people that are not widely recognised as historically important, so does not meet the threshold for listing under this criterion at either State or local level.

# Trelawney Court Heritage Assessment

## Criterion c- Aesthetic/technical significance

Trelawney Court is a significantly intact example of an Inter-war flat building showing elements of both the Moderne and International style. As the work of émigré architects it can be seen to illustrate the transfer of European modernist architectural training to Australia and its application, often for European clients, in a new context. The architects have opted for the building and architectonic elements most congruent with their central European modernist training, while still producing a building that is sympathetic to its context. During the design and building process, Reves also developed typical elements into idiosyncratic forms that appear in his later work i.e. the “S” shaped awning that re-appears in 86A Victoria Road Bellevue Hill as a more organic and expressive Niemeyer-esque element.

Trelawney Court can be compared with other significant examples of modernist flats of the 1930s and 1940s including Cairo Flats and Glenunga, in Melbourne, both of which are heritage listed as influential examples of International Style modernism.

The building displays modernist architectural characteristics including the curved feature awning, use of ashlar stonework feature panels, marked horizontality and suppression of the expression of the pitched roofs and is of aesthetic significance as an intact example of a modernist Inter-war flat building.

Guidelines for inclusion		Guidelines for exclusion	
✓	• shows or is associated with, creative or technical innovation or achievement	X	• is not a major work by an important designer or artist has lost its design or technical integrity
X	• is the inspiration for a creative or technical innovation or achievement	X	• its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded
✓	• is aesthetically distinctive has landmark qualities exemplifies a particular taste, style or technology	X	• has only a loose association with a creative or technical achievement

Trelawney Court is aesthetically distinctive and shows creative and technical innovation and achievement and hence meets the threshold for local listing under this criterion. The building does not meet the threshold for listing at a State level.

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**Criterion d- Social significance**

Trelawney Court does not appear to hold strong or special associations with a particular community or group.

Guidelines for inclusion		Guidelines for exclusion	
X	• is important for its associations with an identifiable group	X	• is only important to the community for amenity reasons
X	• is important to a community's sense of place	X	• is retained only in preference to a proposed alternative

The building does not meet the threshold for local or State listing under this criterion.

**Criterion e- Research potential**

Trelawney Court has some research value for demonstrating the architectural work of Reves and Hayes. Little is known about both architects and their projects, many have been altered or demolished. As the building is substantially intact, its fabric also provides opportunities to reveal information about past ways of living and design and construction methods from the mid 20<sup>th</sup> century.

Due to its high level of intactness, including its interiors, it provides evidence of past customs and ways of life from a historically important time when the influence of European migrants was leading to substantial changes across the eastern suburbs.

The site was formerly part of the Elystan estate which appears to have contained extensive gardens and outbuildings. The archaeological remains of these elements may be present on the site and provide research opportunities.

Guidelines for inclusion		Guidelines for exclusion	
✓	• has the potential to yield new or further substantial scientific and/or archaeological information	X	• the knowledge gained would be irrelevant to research on science, human history or culture
X	• is an important benchmark or reference site or type	✓	• has little archaeological or research potential
✓	• provides evidence of past human cultures that is unavailable elsewhere	X	• only contains information that is readily available from other resources or archaeological sites

Trelawney Court has moderate levels of research significance associated with building up a greater picture of the work of George Reves and is significant at a local level under this criterion. The building does not meet the threshold for State significance under this criterion.

# Trelawney Court Heritage Assessment

## Criterion f- Rarity

Trelawney Court is rare as an example of the work of Reves and Hayes, and also more generally Reves, few of whose identified projects remain intact.

It is also rare as a 1946 design undertaken by émigré architects, both of whom were just returning to private practice post war, having relocated to Australia from Hungary. Although émigré architects were to have a profound influence on the Woollahra LGA during the second half of the twentieth century, Trelawney Court, including its interiors, can be seen as a rare example of an intact flat building designed by émigré architects in the 1940s in the Woollahra LGA.

Reves had a distinctive application of modernism, taking in both European influences and later elements of Californian modernism, and his work can be seen as stylistically individual in the context of the Woollahra Municipality and Sydney more generally. None of his projects are protected by individual heritage listing. An intact example of his work, including interiors and built-in furniture, such as the subject building is rare.

Guidelines for inclusion		Guidelines for exclusion	
✓	• provides evidence of a defunct custom, way of life or process	X	• is not rare
✓	• demonstrates a process, custom or other human activity that is in danger of being lost	X	• is numerous but under threat
✓	• shows unusually accurate evidence of a significant human activity		
X	• is the only example of its type		
X	• demonstrates designs or techniques of exceptional interest		
X	• shows rare evidence of a significant human activity important to a community		

As an intact and unusual example of an Inter-war flat building complete with original interiors and built-in furniture, Trelawney Court demonstrates past practices and shows increasingly rare evidence of significant design movements and social changes in the Woollahra area. It meets the threshold for listing at a local level under this criterion. The building does not meet the threshold for listing at a State level under this criterion.

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**Criterion g- Representative**

Trelawney Court, with its interiors, is a fine and intact example of an Inter-war flat building. It has numerous features typical of similar flat buildings of the period including the use of built-in furniture, moulded plaster ceilings, steel frame windows, red bricks, curved balconies and awnings, rendered window surrounds and sandstone feature elements. It draws many of its stylistic elements from a Moderne architectural vocabulary, which was a popular style of the period.

It also displays the influence of European modernism and can be seen as representative of the work of émigré architects, who had studied and practiced in central Europe. This became an increasingly important contribution to the development of modern architecture in Sydney after WWII when significant numbers of European architects took up practice in Sydney.

Trelawney Court is a good example of the work of architect George Reves. Reves designed a number of significant modernist houses in the eastern suburbs during the 1950s and 1960s, and Trelawney Court displays a number of architectural motifs that he would go on to develop further in his later work including the curved feature awning, use of ashlar stonework feature panels and suppression of the expression of pitched roofs.

Guidelines for inclusion		Guidelines for exclusion	
✓	• is a fine example of its type has the principal characteristics of an important class or group of items	X	• is a poor example of its type
✓	• has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity	X	• does not include or has lost the range of
✓	• is a significant variation to a class of items	X	• characteristics of a type
✓	• is part of a group which collectively illustrates a representative type		• does not represent well the characteristics that make up a significant variation of a type
✓	• is outstanding because of its setting, condition or size		
X	• is outstanding because of its integrity or the esteem in which it is held		



#### Trelawney Court Heritage Assessment

Trelawney Court is a fine example of its type, displaying the principle characteristics of an important architectural development and is part of a group of buildings, the work of émigré architects, which collectively demonstrate significant historical and social changes. It is significant under this criterion at a local level. The building does not meet the threshold for listing at a State level under this criterion.

#### **Statement of Heritage Significance**

Trelawney Court at 3 Trelawney Street, Woollahra is a significant example of an Inter-war flat building designed in the immediate post war period with interiors and built-in furniture remaining intact. It has local historical significance for its ability to demonstrate the shift in the Woollahra area towards higher density and increased apartment development post war. It also has historical significance as a work of émigré architects for European clients and can be seen to represent the growing influence of European migrants on the development of Sydney's suburbs post war.

Trelawney Court is also significant at a local level as a rare, intact example of the work of architect George Reves who contributed a number of significant modernist houses in the eastern suburbs during the 1950s and 1960s. Trelawney Court demonstrates the evolution of his style as he adapted to the context of Sydney and has particular significance due to its intactness.

Trelawney Court has aesthetic significance at a local level as an intact example of a modernist Inter-war flat building. It retains a high level of original interior and exterior fabric and as an early work of émigré architects is able to demonstrate the transfer of European modernist architectural training to Australia. The building shares characteristics with other significant modernist 1930s and 1940s apartments, and is able to demonstrate the growing influence of International Style modernism on apartment design in Australia.

As an intact example of its type, Trelawney Court has research potential at a local level to demonstrate past ways of living and design and construction methods from the mid 20<sup>th</sup> century. It is also an important source of information about the work of its architects Reves and Hayes, of which little is known and many of their projects been altered or demolished. The building also has high levels of rarity values as an



Trelawney Court Heritage Assessment

intact 1946 apartment design undertaken by émigré architects. Trelawney Court, including its interiors, is a fine example of its type, displaying the principle characteristics of an important architectural development and is part of a group of buildings, the work of émigré architects, which collectively demonstrate significant historical and social changes.

Trelawney Court Heritage Assessment

## Section 7 Conclusions and Recommendations

### Conclusions

This report has assessed the heritage significance of Trelawney Court at 3 Trelawney Street, Woollahra. It has concluded that the residential flat building including its interiors meets the threshold for local heritage significance. Trelawney Court is of local heritage significance under the criterion of historical, aesthetic, rarity and representative significance.

This report has concluded that the subject site does not meet the threshold for State heritage significance.

### Recommendations

#### Heritage listing

- Trelawney Court at 3 Trelawney Street, Woollahra, including its interiors, should be added to the heritage schedule of the Woollahra LEP 2014 as an item of local heritage significance. This is to be based on the attached heritage inventory sheet.
- It is also recommended that Woollahra Council undertake a study of the work of émigré architects in the post war period, in the Council area to gain a fuller understanding of the rarity or representative value of the building and to identify other significant buildings.

#### Ongoing management

- It is recommended that the Trelawney Court be managed in line with the principles of the Burra Charter, particularly Article 3.1 which notes: “*Conservation is based on a respect for the existing fabric, use, associations and meanings. It requires a cautious approach of changing as much as necessary but as little as possible.*”<sup>1</sup> Any future adaptations or upgrades should aim to retain as much original fabric as possible.

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<sup>1</sup> The Burra Charter, Australia ICOMOS 2013.

Trelawney Court Heritage Assessment

- It is considered sympathetic upgrades of kitchens and bathrooms would not impact the building's overall significance, but should aim to retain as much early or original fabric as possible.
- All other extant original and early fabric, including built-in furniture, should be retained and conserved.
- The external appearance of the site when viewed from Trelawney Street, which remains largely original, should also be retained and conserved. It should be noted that the garage and laundry room are not considered to be of heritage significance.
- Due to the limitations of this assessment, which did not include a full inspection of the building, a fabric assessment should be undertaken. The external and internal fabric should be rated for its significance in order to guide future works. This might be best achieved via the preparation of a conservation management document which assesses the significance of the fabric and includes policies for future changes.
- A detailed internal and external photographic record of the building should be made and lodged with Woollahra Council and the Local Historical Association.

Trelawney Court Heritage Assessment

## Section 8 References

The Burra Charter, Australia ICOMOS Inc Burwood, VIC, 2013

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<https://www.environment.nsw.gov.au/resources/heritagebranch/heritage/ModernHeritage1.pdf>

RAIA Registration files, George Reves and Charles Hayes

Woollahra Council building files

### Articles:

*Trelawney Court*, Decoration and Glass, Volume 15, No.2, July-August 1949, Cover and pp.22-23.

*City Jewellery Store*, Decoration and Glass, Volume 15, No.4, November-December 1949, pp.28-29

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Cover, Architecture in Australia, July-September, 1955

Duns Gazette for New South Wales, Sydney

***Correspondence:***

Ron Denning, personal correspondence with authors March 2021.

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**Section 9 Appendix A: Excerpts from Woollahra Council file  
BA/1947, noting the disapproval of the first three-storey  
scheme submitted.**



Trelawney Court Heritage Assessment

**Municipality of Woollahra**

No. 1

## APPLICATION FOR APPROVAL TO BUILD

To The Town Clerk,  
Woollahra.

I hereby make application to the Council for permission to erect building as stated hereunder, as per accompanying plans and specifications and in accordance with the provisions of the Local Government Act, 1919, and Ordinances thereunder, and I undertake to build in conformity with such approval and Act and Ordinances.

<p>Ph. No. _____ Owner <u>M. and T. Danos</u> Address <u>1, Ocean St. Woollahra</u></p> <p>Builder or Architect <u>REYES &amp; HAYES</u> Address <u>387A Pitt St. Sydney</u></p>	<p><b>LOCATION OF PROPOSED BUILDING</b></p> <p>Street <u>Trelawney St.</u> House No. <u>3</u> Lot _____ Section _____ or Name _____ Estate _____ Block plan drawn to scale must accompany.</p>
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<p><b>NEW BUILDINGS</b></p> <p>No. of new buildings <u>1</u> Estimated cost of each building \$ _____ Total \$ <u>10,000</u> Estimated cost of fencing \$ <u>60</u> Estimated cost of allotment \$ <u>1800</u></p>	<p><b>ALTERATIONS OR ADDITIONS TO EXISTING BUILDING</b></p> <p>State full particulars: _____ _____ _____ Estimated cost, \$ _____</p>
--	---

The following particulars relating to area are required only in respect of residential flat buildings:—

Area of allotment <u>7487</u> sq. ft.	Area proposed to be covered by buildings <u>2620</u> sq. ft.	Total area of site <u>7487</u> sq. ft.	Total floor plan area <u>7348</u> sq. ft.
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State for what purpose (dwelling, flats, commercial building, hotel or hostel) flats.

**PARTICULARS OF NUMBER OF BUILDINGS, ROOMS, ETC.**

<p><b>FLATS:</b></p> <p><u>4</u> flats of <u>5</u> rooms. <u>1</u> flat of <u>3</u> rooms. No. of bldgs. _____</p>	<p><b>DWELLINGS:</b></p> <p>No. of storeys <u>3</u> No. of rooms in each bldg. <u>29</u></p>
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NOTE: "Rooms" means living rooms, bedrooms and kitchens. Domestic offices (laundry, bathroom, etc.) not to be included.

**SUMMARY OF SPECIFICATION.**

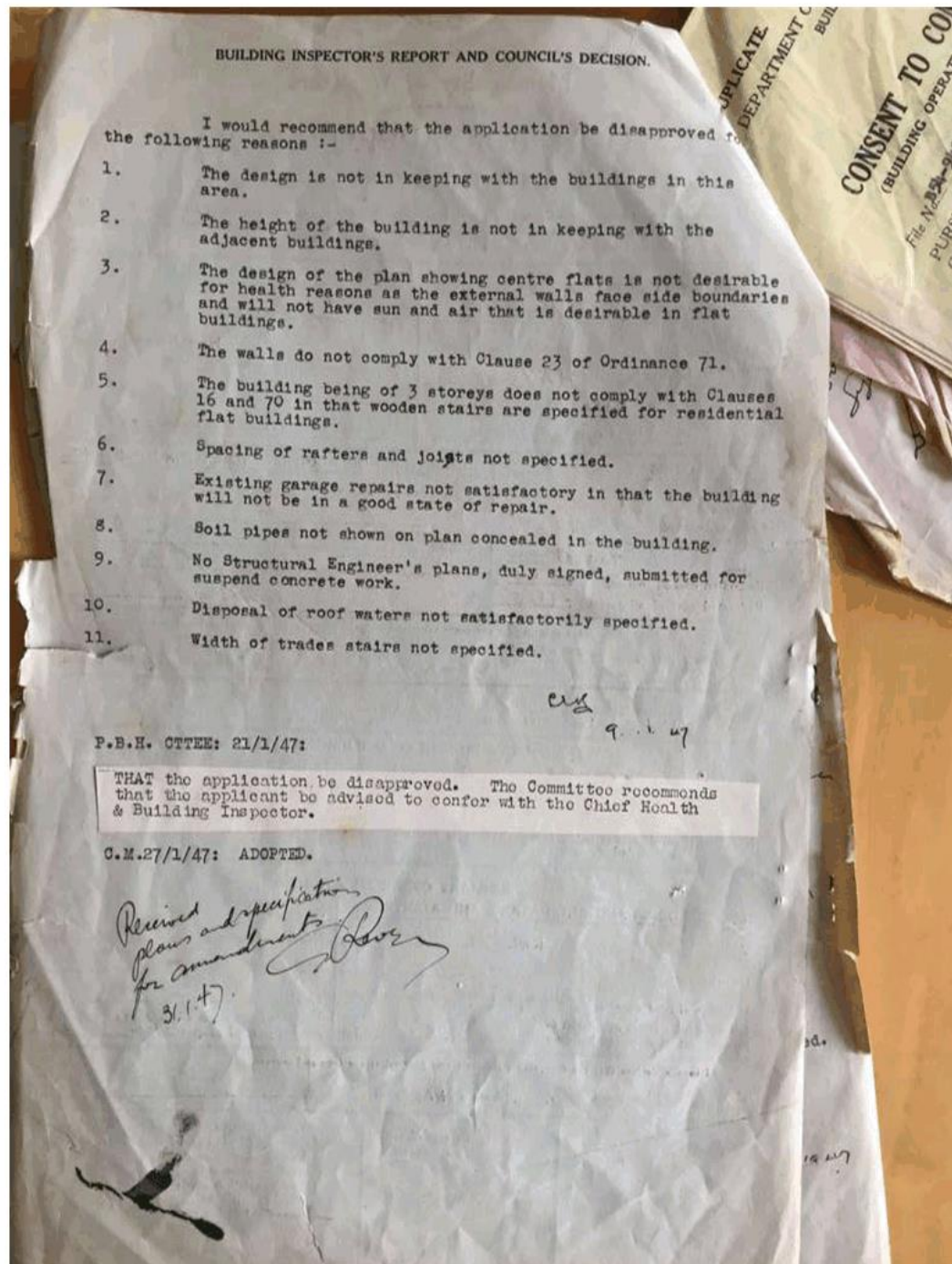
<p><b>NEW BUILDINGS AND ALTERATIONS AND ADDITIONS:</b></p> <p>Walls <u>Brick</u> Roof <u>tile (Forced)</u> Dampcourse <u>2-4 lb. lead</u> Drainage of roof water <u>down pipes into 4" earthenware pipes</u> Distance from street alignment to nearest part of proposed building <u>20'-0"</u> feet</p>	<p><b>GARAGES:</b></p> <p>Number of garages <u>(2 existing garages to be repaired)</u> Walls <u>one</u> Roof _____ Distance from street alignment to nearest part of proposed bldg. _____ feet</p>
---	--

I hereby declare that the foregoing statements and particulars are true and correct.

Date 3rd January 1946 (Signature of Applicant) Reyes & Hayes

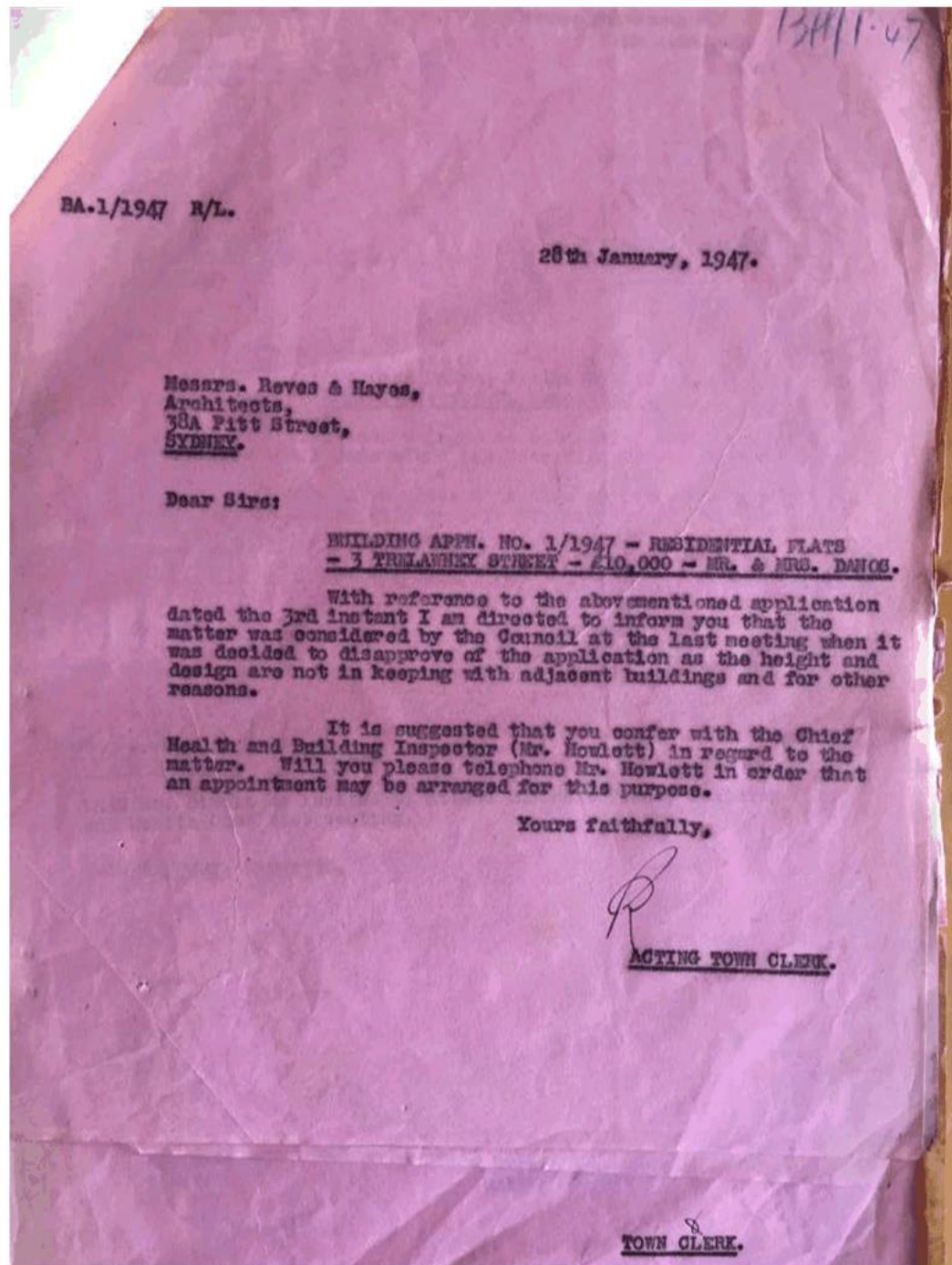
<p>Amount of fee:— <u>\$ 2,100</u> Receipt No. <u>6096</u></p>	<p>Date plans stamped with Council's approval. _____ Initials _____</p>	<p>I hereby acknowledge receipt of the following:— One copy of plan and specification; One Foundation card; One Dampcourse card; One Completion card; Notice to provide temporary closet accommodation. Signed _____ Date _____</p>
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Trelawney Court Heritage Assessment





Trelawney Court Heritage Assessment



Trelawney Court Heritage Assessment

## **Section 10 Appendix B: Work of Reves and Hayes**

Trelawney Court Heritage Assessment

**Identified projects by George Reves:**

**Reves and Hayes**

- 1949- Trelawney Court, 3 Trelawney Street, Woollahra (Decoration & Glass, Jul-Aug, 1949, Max Dupain images SLNSW)
- 1949- City jewellery store (Decoration & Glass, Nov-Dec, 1949)
- 1951- Werner House, 85 Victoria Road Bellevue Hill

**George Reves**

- 1951 Werner House, 85 Victoria Road, Bellevue Hill
- 1955 22 Ida Avenue Beauty Point
- 1956 10 Wallangra Road, Dover Heights (demolished 1997) (see Architecture in Australia April-June 1956, also Max Dupain images SLNSW)
- 1956 House at Leura (Max Dupain images SLNSW)
- 1956 Bellevue Hill house (Architecture in Australia cover project with Gabor Lucas)
- 1957 Schwartz House, 875 New South Head Road, Rose Bay (demolished 2016)
- 1957 40/A Gordon Street, Clontarf
- 1957 58 Cutler Road, Clontarf
- 1961 Horsky House, 6 Fernleigh Gardens (or 861 New South Head Road Rose Bay, demolished or substantially altered)
- 1962 Jackson House, 40 Latimer Road Bellevue Hill
- 1962 Stein House, 86B Victoria Road, Bellevue Hill (recently renovated by Luigi Rosselli)
- 1968 Emil Binetter House, 887 New South Head Road, Rose Bay (intact)
- 1968 Ervin Binetter House, 883 New South Head Road, Rose Bay (demolished)

**Projects dates unknown:**

- 10 Fernleigh Gardens, Rose Bay (recently extensively renovated by De la Vega Architects)
- 5 Mildura Street, Killara
- 3 Tiptree Avenue, Strathfield

Trelawney Court Heritage Assessment

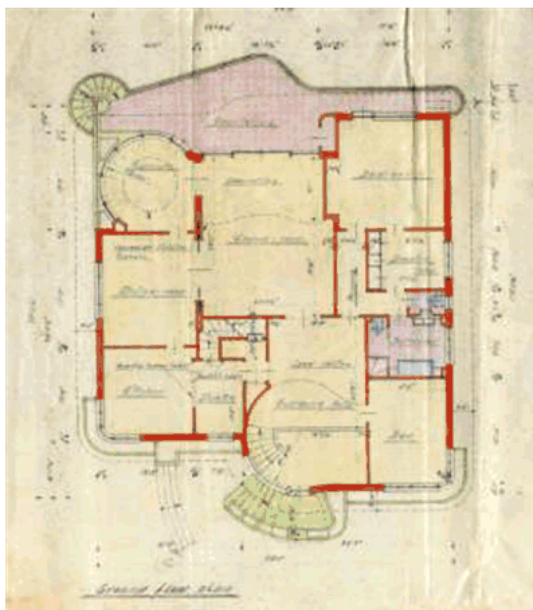
**Select Projects:**

**Werner House, 85 Victoria Road, Bellevue Hill 1951**

Reves' first major residential commission and one of the largest houses he designed.

Two storey masonry construction with concrete floor and roof slabs. External walls rendered. Window frames of galvanised steel.

Originally contained a considerable amount of built in furniture by Paul Kafka.



Detail 1951 proposed floor plan 85 Victoria Road Bellevue Hill, Woollahra Council files.



Trelawney Court Heritage Assessment

**22 Ida Avenue, Beauty Point 1955**

Single storey, one bedroom house timber floor on load bearing masonry walls with reinforced concrete slab roof. Cantilevered concrete slab making curved balcony extending over the front yard. Corner windows on front elevation curved glass. Exterior of bagged render painted white internal walls rendered and white.

**10 Wallangra Road, Dover Heights 1956 (demolished)**

Architecture Australia, v.44, pp.42-51 April- June 1956:

“The site is a narrow corner block. The main entrance divides the building into strictly separate sleeping and living areas with different roof levels. The rooms of the living area open onto each other and there is a complete wall of glass opening to the view. The front of the building is cantilevered to obtain a greater area of front garden. Photographed by Max Dupain 1956. Images now in SLNSW collection. Demolished in Jan. 1997.



Trelawney Court Heritage Assessment

**875 New South Head Road, Rose Bay 1957 (demolished 2016)**

Two storey, one bedroom house. Load bearing brick construction, rendered, front section timber floor, rear concrete slab. Roof of insulated built up timber structure. Main stair divides functional areas of house into sleeping and living. Extensive built in furniture by Gerstl Cabinet Works (see chapter in [The Other Moderns: Sydney's Forgotten European Design Legacy](#)). Internal white walls. External use of colours and natural stone feature wall and paving. Vertical weather boards on rear Maid's Quarters coloured.

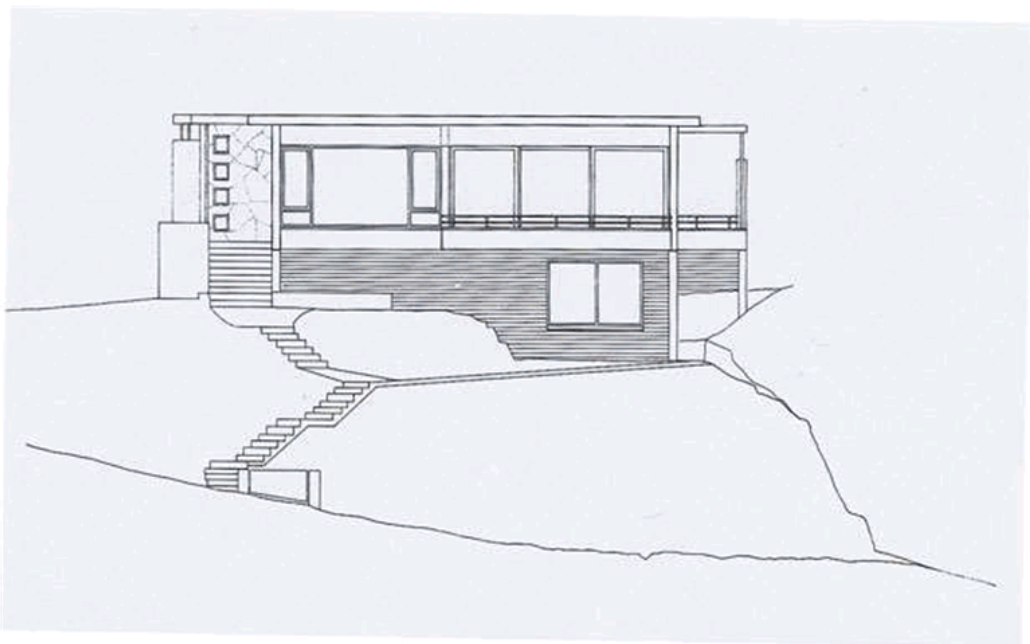


Trelawney Court Heritage Assessment

**40/A Gordon Street, Clontarf 1957 (extended by Reves 1970)**

Three bedroom spacious home on elevated block overlooking Middle Harbour.  
Separate Maid's Quarters at lower level. Masonry load bearing walls, timber framed floor, insulated timber flat roof. Lower portion of house face brick at the front with remaining facades rendered and coloured 'apricot'.

Altered in 1970 by addition of another storey and swimming pool. Intact?



Ted Quinton drawing

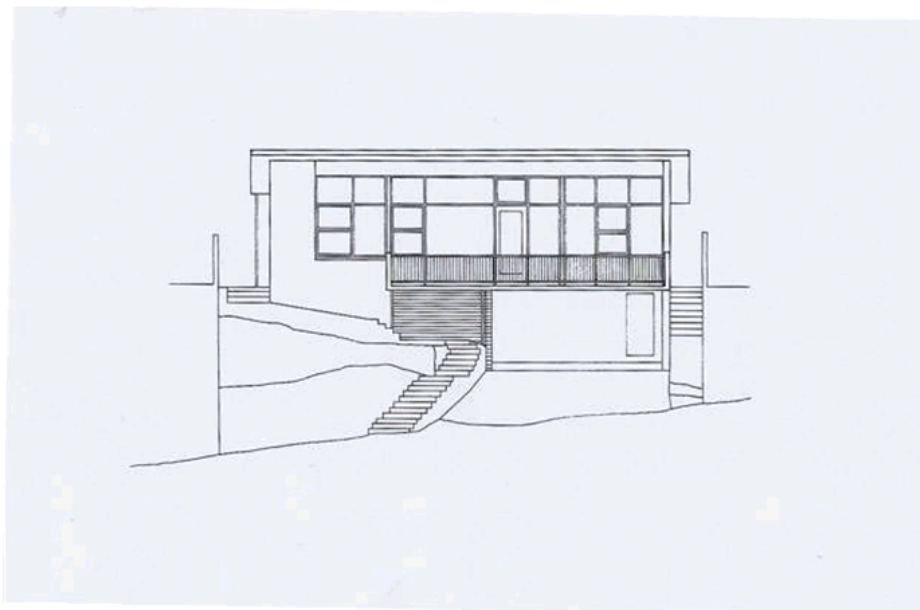
Trelawney Court Heritage Assessment

**58 Cutler Road, Clontarf 1957**

Single storey masonry construction with load bearing walls and timber framed floor and built up timber butterfly roof form with flat section to rear.

Balcony to front supported on steel columns. Small eating area with built in seating. Butterfly roofed structure divided living and sleeping spaces. Rear of house contains three bedrooms with master bedroom elevated and accessed by timber steps. Rendered walls painted white internally and externally.

Condition unknown



Ted Quinton drawing

**887 New South Head Road, Rose Bay**

Final Draft Issue March 2021

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Trelawney Court Heritage Assessment



(Author photo 2020)

**883 New South Head Road, Rose Bay (now demolished)**



(Author photo 2003)

Houses designed for the Binneter Brothers, shoe importers. Also with a Rawson Road address at rear.



Trelawney Court Heritage Assessment

**10 Fernleigh Gardens, Rose Bay (now substantially altered)**



(Author photo 2003)

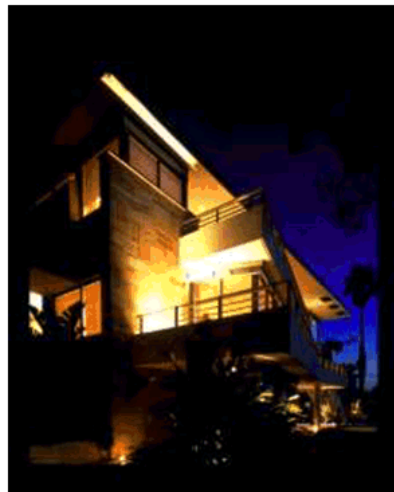


(Author photo 2020 showing substantial changes)



Trelawney Court Heritage Assessment

**6 Fernleigh Gardens, Rose Bay (now substantially altered)**



No information about the original design has been located during this study.  
(images De La Vega Architects website 2020)

Trelawney Court Heritage Assessment

**86A Victoria Road, Bellevue Hill**

(Listed as 86B on Council plans)

Luigi Rosselli renovation describes the house as follows:

Influences from the work of legendary Brazilian architect, Oscar Niemeyer are evident throughout the house...(particularly the ) voluptuous form of the concrete awning that covers the entry and provides the first impression one receives when approaching via the lushly planted drive. Once inside, those influences, and the broader design elements that anchor the home in the modernist era, continue in the form of carefully restored original features such as the single stringer and cantilevered switchback stair, and the sinuous curved ceiling bulkheads in the lounge, dining and kitchen spaces.



(Author photo 2003)

Trelawney Court Heritage Assessment



(Images Luigi Rosselli website)

Trelawney Court Heritage Assessment

**JOURNALS**

Trelawney Court, Decoration and Glass, Vol. 15 No. 2 ( July - August 1949), (cover)

City Jewellery Store, Decoration and Glass, Vol. 15 No. 4 ( November - December 1949),

House at Bellevue Hill (Gabor Lukas in association with George Reves), Architecture in Australia, July- September, 1955 (Cover)

House, 10 Wallangra Road, Dover Heights, Architecture in Australia, v.44, pp.42-51, April-June 1956



Trelawney Court Heritage Assessment

**Max Dupain Archive, projects with client listed as 'George Reves', State Library of NSW:**



These projects are believed to be Trelawney Court, 10 Fernleigh Gardens, Rose Bay and Reves' own house in Leura (believed demolished).



Trelawney Court Heritage Assessment

**Section 11 Appendix C: Danos family images**

Ron Denning, son of Tibor and Maria Danos provided the following images of the property during the 1950s and 1960s.



Maria and Tibor Danos (image Ron Denning)



The Danos family entertaining on the rear of the maisonette (image Ron Denning)



Trelawney Court Heritage Assessment

## **Section 12 Appendix D: Heritage Inventory Sheet**

## ***Draft Woollahra 2015: Heritage inventory sheet***

Based on the NSW Heritage Office State Heritage Inventory sheet

ITEM DETAILS			
Name of Item	Trelawney Court		
Former name	NA		
Item type	Building		
Address	Number 3	Street Trelawney Street	Suburb Woollahra
Property description	Lot Lot 1		DP DP 86213
Owner	Name		Address
Use	Current Residential flat building		Former NA
Statement of significance	<p>Trelawney Court at 3 Trelawney Street, Woollahra is a significant example of an Inter-war flat building designed in the immediate post war period with interiors and built-in furniture remaining intact. It has local historical significance for its ability to demonstrate the shift in the Woollahra area towards higher density and increased apartment development post war. It also has historical significance as a work of émigré architects for European clients and can be seen to represent the growing influence of European migrants on the development of Sydney's suburbs post war.</p> <p>Trelawney Court is also significant at a local level as a rare, intact example of the work of architect George Reves who contributed a number of significant modernist houses in the eastern suburbs during the 1950s and 1960s. Trelawney Court demonstrates the evolution of his style as he adapted to the context of Sydney and has particular significance due to its intactness.</p> <p>Trelawney Court has aesthetic significance at a local level as an intact example of a modernist Inter-war flat building. It retains a high level of original interior and exterior fabric and as an early work of émigré architects is able to demonstrate the transfer of European modernist architectural training to Australia. The building shares characteristics with other significant modernist 1930s and 1940s apartments, and is able to demonstrate the growing influence of International Style modernism on apartment design in Australia.</p> <p>As an intact example of its type Trelawney Court has research potential at a local level to demonstrate past ways of living and design and construction methods from the mid 20<sup>th</sup> century. It is also an important source of information about the work of its architects Reves and Hayes, of which little is known and many of their projects been altered or demolished. The building also has high levels of rarity values as an intact 1946 apartment design undertaken by émigré architects. Trelawney Court, including its interiors, is a fine example of its type, displaying the principle characteristics of an important architectural development and is part of a group of buildings, the work of émigré architects, which collectively demonstrate significant historical and social changes.</p>		
Level of significance	State: x		Local: ✓
Heritage listings	None		
DESCRIPTION			
Designer	George Reves (nee Revesz) and Charles Hayes (nee Hajos)		
Builder	Unknown		
Construction years	1947		

## ***Draft Woollahra 2015: Heritage inventory sheet***

Based on the NSW Heritage Office State Heritage Inventory sheet

<b>Physical Description</b>	<p>Trelawney Court is a two-storey inter-war Moderne/ Modernist/ Art Deco style apartment building built in light red face brick with rendered balcony balustrades and slab edges and curved ashlar sandstone feature panels.</p> <p>The lobby and stair give access to four single level apartments; two on the ground and two on the first floor. Apartments 1 (ground floor) and 3 (first floor) are identical in plan, being small 3 bedroom apartments of approximately 90 m<sup>2</sup> NLA (net lettable area).</p> <p>Apartment 2 (ground floor) is a small 1 bedroom apartment with ensuite bathroom approximately 47 m<sup>2</sup> NLA (net lettable area). Adjacent is a boiler room. Apartment 4 (first floor) has the same plan as Apartment 2 with additional space afforded by the omission of the boiler room. It is a 1 bedroom apartment with ensuite bathroom plus separate WC and a small balcony facing west. It is approximately 57 m<sup>2</sup> NLA (net lettable area) including the balcony. The ground and first floors are also linked by a trades stair.</p> <p>The sandstone-flagged path continues to the entry door of apartment 5, a two-storey masonette apartment. This apartment has 3 bedrooms and a study. The ground floor comprises a rather splendid entry lobby, (a smaller version of the of the first lobby) a small awkwardly shaped bedroom, small kitchen with attendant porch, tiny dining nook and a living room which opens to a courtyard. A WC with a porthole window is tucked under the stair. The first floor has two bedrooms, a bathroom and a study as well as a balcony accessed from the main bedroom.</p> <p>The building displays expensive construction methodologies, complex planning and non-standardized features with each unit individually detailed. This indicates it was designed for a more luxurious form of apartment living and that it was not simply developed as an investment to maximise lettable areas. The 1949 <i>Decoration &amp; Glass</i> article notes that many of the building's features were adaptations to post war materials shortages. This included the rendered awnings and sills, in place of light bricks that were not available.</p> <p>The article also notes a number of design features utilised to increase a feeling of space, despite the limited site area. This included terraces and large windows provided to increase the appearance of room sizes and to provide morning sun to all bedrooms. The generous entry stairs, curved and with varying widths, also added a sense of grandeur to the small building. The building also contained extensive amounts of built-in and recessed furniture, of which only some items remain.</p> <p>Exterior: The building exterior appears to be almost completely unaltered. The street facade presents as an asymmetrical, flat roofed corner building, even though there is a relatively straightforward apartment building behind. Stylistic elements added to the façade give a modern appearance to what is actually a building with the commonplace brick, timber and tile conventions' of the 1940s.</p> <p>The external walls are cavity brick; face brick externally, rendered internally. To Trelawney Street the external wall is a concrete capped face brick parapet extending north for approximately 10 metres; thus resembling a modernist flat roofed building. From there the wall roof junction is expressed as it is; i.e. a timber framed roof with Marseilles pattern terracotta tiled roof, with lined eaves and quad gutter and exposed downpipes. The brick wall is broken into two parts orthogonal to each adjacent boundary, thus inflecting to the best view and simulating a corner site view.</p> <p>The floors of the building are timber framed generally with suspended concrete slabs for the bathrooms, showers, WCs and trade stairs; and the ground and first balconies and porches.</p>
<b>Physical Description</b>	<p>All four facades show a great deal of attention to detail. The Trelawney Street facade has a curvaceous S shaped concrete awning, above the typically 1930 Moderne curved rendered balustrades. The distinctive "S" shaped first floor concrete awning slab edge- and curved ashlar sandstone feature panels infill between delicate steel windows which have curved glazed corners. These elements are also found in George Reves' later work, but here can be seen as typical of a streamlined 1930s P&amp;O Moderne architectural style,</p>

## ***Draft Woollahra 2015: Heritage inventory sheet***

Based on the NSW Heritage Office State Heritage Inventory sheet

	<p>which commonly referenced ocean liners.</p> <p>The curved concrete slab awning and ashlar sandstone blade wall punctuated by 3 circular openings at the lobby entry also refer to P&amp;O Moderne style. The lobby to apartment 5 has a similar treatment.</p> <p>The external walls are cavity brick; face brick externally, rendered internally. The floors of the building are timber framed generally with suspended concrete slabs for the bathrooms, showers, WCs and trade stairs; and the ground and first balconies and porches.</p> <p>Circular bulkhead lights are an integral part of the design of each concrete awning, and this light type is repeated internally in stair lobbies.</p> <p>The building is a well-built small scale luxury apartment block and had a generous budget for its building type, as shown by the complexity of the planning and detailing as well as the lack of standardization of apartment plans, windows and kitchens which is the hallmark of apartment design.</p> <p><b>Interior</b></p> <p>The interiors of the building appear to have been largely unaltered. Comparisons with the floor plan reproduced in the 1949 <i>Decoration &amp; Glass</i> article indicate there have been no changes to the internal layouts. The typical internal wall finish is painted cement render, with patterned render being used in the ground floor walls of the lobby.</p> <p>Ceilings of both the lobby and apartments are plastered with curved "streamlined" plasterwork to living areas. This appears to be intact in most of the apartments. The building retains many original light fixtures internally and externally.</p> <p>Entry thresholds generally have a terrazzo sill. The entry lobby has an entry landing of 2 inch x 2 inch unglazed terracotta tiles while the remaining floor finishes are typically carpet. The main lobby walls have inset timber and glass notice and directory boards. The main stair has curved winders and a curved balustrade of welded steel flats typical of cinema buildings of the 1930s.</p> <p>Inside the apartments kitchens appear to generally retain their original or early timber and laminate cabinetry. Bathrooms also retain their original or early unglazed patterned floor tiles and coloured glazed wall tiles, many with original period sanitary fixtures.</p> <p>Reveals to the steel windows are cement rendered with no traditional timber architraves.</p> <p>The <i>Decoration &amp; Glass</i> article refers to an extensive use of built-in furniture and images show a combination of built-ins and loose furniture items, possibly designed by Reves and Hayes, as was typical of the work of European architects in the period. The built-in units provide storage and maximise usable space in the apartments. The limited internal inspections undertaken for this report indicate only a few built-in units remain. Built-in items such as the banquettes shown in the maisonette in the article appear to have been removed. The maisonette (Apartment 5) has retained more elements than other apartments. A large L - shaped cabinet of birds-eye maple veneer remains in the living room, with a built-in tiled mirror unit with integral shelf. It also retains a light timber veneer sliding door servery unit between the kitchen and the dining nook. The entry lobby retains a timber framed wall mirror with 'flower shelf' and early or original wall lights. These joinery units feature Reves signature layout of timber veneer and are typical of the work of the émigré joiners such as Paul Kaka, Gerstl Cabinet Works, Kafka, Zink and Davidovich (although the particular joiner used for this project is unknown).</p> <p><b>Interiors:</b></p> <p>The interiors of the building appear to have been largely unaltered. Comparisons with the floor plan reproduced in the 1949 <i>Decoration &amp; Glass</i> article indicate there have been no changes to the internal layouts. The typical internal wall finish is painted cement render, with patterned render being used in the ground floor walls of the lobby.</p> <p>Ceilings of both the lobby and apartments are plastered with curved "streamlined"</p>
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## ***Draft Woollahra 2015: Heritage inventory sheet***

Based on the NSW Heritage Office State Heritage Inventory sheet

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<b>Physical condition</b>	<p>The building is in excellent condition. The face brickwork has gained a slight patina with some minor patches of blackening on the brick parapet at high level, which is to be expected. The detailing of the concrete awnings and balustrades and the drainage of the box gutter has been effective in reducing staining.</p> <p>Balconies, windows, eaves and gutters all appear to be in very good condition and have been well maintained. The steel windows are all operable and appear to have been regularly maintained and painted.</p>
<b>Modification and Dates</b>	<p>A search of Council records indicates that there has been only one building application or development application since its construction. A building application approved 14 April 1971 to alter the kitchen and cloakroom in apartment 5 was not carried out, and the apartment remains today as it was shown in the original BA drawings dated 28 March 1947.</p> <p>The son of the previous owner noted the property was in original condition in 2016. At the time of inspection the building remained substantially intact including the internal layout of apartments, decorative curved plaster work at ceilings, bathroom tiles and fixtures, kitchen cabinetry and lighting. In addition some built-in furniture remains, particularly in apartment 5.</p> <p>The front facade has not been altered. The boiler room chimney has been retained. Only the rear facade shows some alteration with the original 50mm diameter circular hollow section welded steel balustrade having been replaced by an unsympathetic pool fence type balustrade with opaque glass infill panels.</p> <p>Early external photos taken by Max Dupain show the front sandstone block with steel pipe fence has been raised in height with three courses of matching sandstone blocks added to each post. This has retained the original form and materials.</p>
<b>Archaeological potential</b>	Not known.

## ***Draft Woollahra 2015: Heritage inventory sheet***

Based on the NSW Heritage Office State Heritage Inventory sheet

HISTORY
<b>Historical notes</b>
<b>Part of Eora Country</b> The coastal regions of Sydney between Port Jackson and Botany Bay are the ancestral territories of the Eora people. The traditional owners of the land now within the Woollahra Council area were the Cadigal (Gadigal) people, part of the Dharug language group. In common with other tribes living by Sydney Harbour, the Gadigal lived in harmony with the natural resources within their country, fishing from canoes or hunting the animals that lived in surroundings. The tribe appears to have moved within their territory in response to the seasons. Shell middens in the area provide material evidence of many centuries of sustained connection to the land that also sustained them. The arrival of white settlers caused the wholesale disruption of traditional life and the cultural practices of the Eora people generally. Despite enormous challenges, today many Indigenous people identify as Eora and maintain cultural practices and a connection to country.
<b>Early European Settlement</b> Following the arrival of the first fleet in 1788, the land between Watsons Bay and Sydney was initially deemed either too swampy or sandy for agricultural development. It was a place where rushcutters gathered reed for thatch and timber was felled for firewood. Small-scale industries developed in the early 19th century and the firm of Cooper and Levey ran a tallow production works until the 1850s.  By 1803 South Head and Vaucluse were frequented by day-trippers who travelled along rough tracks in order to enjoy the harbour vistas. Bellevue Hill was opened by the construction of Old South Head Road in 1811, however, the topography of the municipality discouraged any other substantial road development rendering Woollahra one of the least developed parts of the east.  During the early years of Governor Macquarie's rule land grants were made to military men, the most prominent of these in the area was to the flamboyant naval officer, Captain John Piper, in 1815. Following Piper's financial demise, Daniel Cooper (1785- 1853) and Solomon Levey (1794-1833) acquired the land in 1827. Cooper and Levey were importers, exporters, wool-buyers, ship owners and builders, shipping agents, whalers, sealers and merchants who controlled a large share of the Colony's business.  The land on which 3 Trelawney Street stands was once part of a 1130 acre grant by Governor Darling on March 22, 1830 in fulfillment of a promise made by Macquarie to Piper. The grant states that it is a consolidation of several early grants for which no deeds were executed and included the whole 500 acres of the Piper Estate. Cooper and Levey also later acquired, by grant or purchase, large tracts of land in Waterloo, Alexandria, Redfern, Randwick and Neutral Bay.  New South Head road was surveyed in 1831-2 however, completion to an acceptable standard took many years. The completion of this road provided the first real incentive for more intense development as previous developments had relied on water access. Following Levey's death in 1833 and protracted legal proceedings Cooper bought out Solomon Levey's heir, John Levey. By 1842, the whole estate was effectively owned by the Cooper family.
<b>History of the subdivision</b> The Cooper estate was plagued by legal problems from the 1830s, caused first by the will of Solomon Levey and later by that of Daniel Cooper, following his death in 1853. As a result little development occurred during this era. Cooper's Woollahra estate was willed not to his next of kin, his nephew Sir Daniel Cooper (1821-1902), but to Sir Daniels's son, Daniel. In 1844 Cooper had commissioned Surveyor General Thomas Livingstone Mitchell to prepare a trigonometrical survey of the estate that included its division into allotments. As the new owner was a minor in 1853, Trustees managed the estate until 1869. The trustees opened some areas of the estate on 99-year leases.
<b>Elystan</b> For most of the early 20 <sup>th</sup> century the subject site was part of the grounds of Elystan, a large house built in the 1860s. In 1874 it was listed for sale by then owners the Gilchrist family, and described as a 'first class' family residence on five acres of ground fronting Edgecliff Road, Ocean and Trelawney Streets.  The property originally occupied the entire block from Ocean Street to Edgecliff Road with Trelawney Street as its southern boundary. Sands directory listings from 1886 list Elystan as the only property on the northern side of Trelawney Street and is occupied by Samuel Grey. A year later it is occupied by James Marks. By 1910 the northern side of Trelawney Street has been subdivided to the west of Elystan, however Elvo, on the corner of Trelawney and Edgecliff Road, is the only property to its east. The map below from 1889 shows this development.  In 1912 the Elystan grounds were further subdivided with the creation of Rosemont Avenue to the west of the house



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Based on the NSW Heritage Office State Heritage Inventory sheet

and the land to the north opened of the house subdivided for development. See Plan of the Rosemont Estate below.

At some point the eastern sections of the property are subdivided. The Sands directory records that the subject site is owned by Arthur Wigram Allen from 1927. Allen was a prominent solicitor with extensive land holdings, most notably in Glebe. Council valuation cards indicate the subject site remains undeveloped with a fence its only built structure.

During the early 20th century the surrounding area is becoming increasingly more densely developed. A house is built directly to the west of the subject site, The Rest, which is by 1946 converted to a duplex. It is later demolished and the current apartment complex constructed.

Progressively the large estates in the surrounding area are subdivided and many of the large houses are converted to apartments. An example being the property to the east of the subject site, on the southern side of Trelawney Avenue, Quiraing, which is subdivided and later demolished and replaced by a high rise apartment building.

It is not known when Elystan house is demolished but a 1930s apartment building, at 3 Rosemont Avenue, now occupies its former location.

### **3 Trelawney Street, Woollahra**

The subject site remained undeveloped and in the ownership of Arthur Wigram Allen until its 1943 purchase by Tibor and Marta Danos. National Archives of Australia immigration records indicate the Danos' were Hungarian and arrived in Australia in 1940. Tibor Danos began a business manufacturing canvas bags including army kit bags which was called 'Styletex' and was located in George Street, Sydney (correspondence from Ron Denning, the Danos' son, March 2021).

A building application to erect the apartment block at 3 Trelawney Street was made in November 1946 under BA1/47 for a Mr. T Danos. Council's building application file shows that the initial proposal was for a main building of three stories with a two storey maisonette at the rear (drawing dated 20.11.1946). This was followed by a secondary scheme of two stories (drawing dated 1.4.1947).

File BA1/47 shows that Council's 'Plans, Building and Health Committee' recommended on 21 January 1947 that the BA be disapproved for 11 reasons. Reasons 1 and 2 being:

- 1.The design is not in keeping with the buildings in this area.
- 2.The height of the building is not in keeping with the adjacent buildings.

On 27 January 1947, the Council adopted the Committee's recommendation (BA1/1947, Letter from Acting Town Clerk, 28.01.1947).

Amended plans were lodged which reduced the proposal to two stories with four apartments and one two storey maisonette apartment at the rear. This revised scheme was approved by Council 15.4.1947. The specification was prepared by Reves and Hayes Architects for a concrete framed, brick structure with cavity walls. The roof is pitched behind a parapet and tiled with red Marseille tiles.

Although the initial proposal was considered as not in keeping with the character of the area the final revised and approved building drew attention as a modern apartment providing light filled and well furnished, functional apartments. Trelawney Court was featured on the cover of Australian publication *Decoration and Glass* in July-August 1949.

It appears Max Dupain took the published photos, as a search of the Max Dupain and Associates archive, now held in the State Library of NSW shows 13 photos of the building including those used in the article. Many of the interior images record the extensive built in furniture that was part of Reves and Hayes design and demonstrated a common European custom, no doubt familiar to both architect and client.

Marta and Tibor Danos lived at 3 Trelawney Street until their deaths (Tibor Danos in 1989 and Maria in 2019), initially in the maisonette and later Maria Danos moved to a smaller apartment and leased out the maisonette. Most of the Dupain interior photos are of the maisonette apartment indicating the Danos' commissioned particular furniture for their own apartment. Ron Denning, the son of the Danos' indicates some of the furniture in the apartments was provided by Ricketts and Thorp, of Rockdale, well known furniture makers of the time.

Having been displaced from Europe in 1939 Tibor Danos was fixated on obtaining financial security, so having located a vacant block of land he set out to develop a scheme that provided a house for his family and a rental income. He engaged architects that were friends and fellow Hungarians (possibly associates from Budapest) George

## ***Draft Woollahra 2015: Heritage inventory sheet***

Based on the NSW Heritage Office State Heritage Inventory sheet

Reves and Charles Hayes. The Danos family also commissioned Reves to design their holiday house in Blackheath in the 1950s, located at 51 Boreas Street.

Following approval of the scheme in 1947 Tibor Danos faced considerable challenges locating materials. His son recalls he often spoke of the difficulties in locating materials and fittings, particularly the steel framed windows, and that the materials used were mostly pre-war in origin and design. The building also had a number of technical features he was very proud of including a centralised hot water system and a centralised refrigeration compressor, providing cooling to small built in refrigerators located in each apartment (Ron Denning, correspondence March 2021).

After growing up in the maisonette Ron Denning went on to live in a number of the other apartments until 1987. He recalled that in 2016 the property was almost completely original in its internal and external features. Marta Danos bequeathed the building to St Luke's Care and the Garvan Institute when she died. In October 2019 the building was put up for auction and sold for \$7.2 million.

### **Reves and Hayes Architects**

The building at 3 Trelawney Street was designed by the architectural partnership of Reves and Hayes. This appears to have been a short lived partnership formed after the war and dissolving in 1952 when Hayes moves to a larger firm and Reves establishes a solo practice.

Reves and Hayes were both Hungarians who emigrated as a result of World War II. Although neither is well known, their careers can be seen as representative of the significant numbers of European émigré architects, particularly Hungarians, who practiced in Sydney following WWII. Reves completed a number of residential projects in the eastern suburbs and had his work published in the architectural press during the 1950s, but the majority of his work is unknown and now difficult to identify. Hayes did not register with the Architect's Board of Registration until later in his career, remaining an employee in medium sized firms. Hence we know very little about his design work. This is typical of émigré architects many of whom had low profile careers and received little attention from the architectural community.

A recent focus on Australia's modernist architectural heritage and the diversity of its application has led to the re-evaluation of the work of many émigré architects. The direct experience of European modernism and training from European Universities that European architects brought is now acknowledged as a factor for considering their work in a new light. Their work was often welcomed by European clients seeking the familiarity of a European lifestyle, including apartment living. Many of these émigré architects worked in the eastern suburbs where significant numbers of Europeans settled during and after World War II. The combination of Hungarian client and architect in the subject site represents the increasing influence of Europeans on the development of Sydney's suburbs after WWII.

### **George Reves**

George Reves (nee Revesz) (1910–2004) was a Hungarian who migrated to Australia in 1939. Reves graduated with an architectural degree from the Royal Joseph Technical University, Budapest. He worked in Paris for modernist Auguste Perret before returning to Budapest in 1934 to begin his own practice, designing a number of houses and apartment buildings. Following the German annexation of Austria, Reves fled Europe, arriving in Australia.

Reves' wartime experience in Sydney included designing for James Hardie. He registered as an architect in 1945, and his small-scale, largely residential practice drew on his extensive contacts in Sydney's émigré community. Although he ran a small practice two of his houses, both located in the eastern suburbs, were featured in *Architecture in Australia*, in 1955 and 1956.

The National Archives of Australia passenger travel records show that Reves travelled to Los Angeles in 1955 and his work from this period onwards shows significant influence of American modernism, in particular the 1955 Spencer Residence by Richard O. Spencer which was published in *arts & architecture* in 1954.

As was common practice in Europe many of Reves' projects included the design of furniture as part of the overall architectural design. An example is the Schwartz House he designed at 875 New South Head Road, Rose Bay (1957). This project and its furniture were featured in the 2017 exhibition *The Moderns: European Designers in Sydney* at the Museum of Sydney. A chapter about the house and the furniture makers, also émigrés, M Gerstl Cabinet Works is part of the 2017 publication *The Other Moderns*.

Ted Quinton, who interviewed Reves in 1997 for his Bachelor of Architecture dissertation, notes that in the 1960s Reves switched his practice from largely residential work to larger projects, designing and refurbishing factories, motels and hotels, including several interstate projects. This change seems to coincide with the relocation of his

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office from 45 Phillip Street, Sydney to 29 Berry Street, North Sydney where he remained until he retired in 1980 aged 70.

### **Charles Hayes**

Fellow Hungarian Charles Hayes (nee Hajos) (1911- 1995) also graduated from the Royal Joseph Technical University, Budapest with a second class Honors degree in architecture in 1934. From 1934 to 1940 he was employed as an architect in Budapest before emigrating to Australia in 1940.

In Australia Hayes found architectural work with established firm Lipson and Kaad, before joining the Australian Army from 1942 to 1946. Hayes applied for registration in 1946 when the Architects Registration Board had tightened its policies, and was no longer recognising overseas degrees without applicants passing the prescribed examinations. Reves, and a group of other graduates of the same university had applied the year prior and been accepted without the need for further examinations.

Deciding not to sit the examinations, unregistered, he worked in partnership with Reves from 1946 to 1952. This study has located three projects undertaken by the partnership including the flats at 3 Trelawney Street (see comparative analysis).

After leaving the partnership Hayes worked for another Hungarian, Francis Feledy as senior architectural draftsman, playing a major role in the firm's work which consisted primarily of large industrial structures in the newly developing areas of Zetland and Mascot. Hayes is finally registered in 1963 at the age of 54, after 19 years of architectural work in Australia. Emery Balint, another Hungarian and the former Associate Professor of Building at the University of NSW, witnessed Hayes registration papers, noting he had known Hayes for 33 years.

The later part of Hayes' career is unknown. He died in 1995.

### **HISTORICAL THEMES**

<b>Australian Theme</b>	<b>NSW Theme</b>	<b>Local Theme</b>
Peopling Australia	Ethnic influences	The subject building represents the application of European modernism as practiced by migrant architects in Sydney in the immediate post war years.
Building settlements, towns and cities	Accommodation	The building is an example of the development of apartments in Sydney in Eastern Suburbs in the immediate post war years.
Developing Australia's cultural life	Creative endeavour	The subject building is an example of modernist architecture of the late 1940s drawing stylistic elements from both a Moderne and International Style architectural vocabulary. It is also a representative example of the work of European émigré architects.

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HERITAGE SIGNIFICANCE ASSESSMENT	
<b>Historical significance</b> SHR criteria (a)	<p>Trelawney Court is a significant example of an Inter-war flat building designed in the immediate post war period. It displays a combination of Moderne and International Style architectural influences and demonstrates the shift in the Woollahra area towards higher density and increased apartment development post war.</p> <p>Designed by émigré architects for European clients Trelawney Court can also be seen to represent the growing influence of European migrants on the development of Sydney's suburbs post war.</p> <p>Trelawney Court is also significant as an example of the work of architect George Reves who contributed a number of significant modernist houses in the eastern suburbs during the 1950s and 1960s. Trelawney Court, his first project in Australia, demonstrates the evolution of his style as he adapted to the context of Sydney and has particular significance due to its intactness.</p> <p>Trelawney Court is associated with a significant historical phase and as such is of local significance under this criterion. The building does not meet the threshold for State significance under this criterion.</p>
<b>Historical association significance</b> SHR criteria (b)	<p>Trelawney Court has significant associations with architect George Reves, as his first project in Australia, and as one that was published and remains intact. The site also has associations with former owner Arthur Wigram Allen but as Allen never occupied the site, and owned many properties in Sydney this association is not considered significant.</p> <p>Trelawney Court can be seen to have only incidental connections with historically important people and strong associations with people that are not widely recognised as historically important, so does not meet the threshold for listing under this criterion at either State or local level.</p>
<b>Aesthetic significance</b> SHR criteria (c)	<p>Trelawney Court is a significantly intact example of an Inter-war flat building showing elements of both the Moderne and International style. As the work of émigré architects it can be seen to illustrate the transfer of European modernist architectural training to Australia and its application, often for European clients, in a new context. The architects have opted for the building and architectonic elements most congruent with their central European modernist training, while still producing a building that is sympathetic to its context. During the design and building process Reves also developed typical elements into idiosyncratic forms that appear in his later work i.e. the "S" shaped awning that re-appears in 86A Victoria Road Bellevue Hill as a more organic and expressive Niemeyer-esque element.</p> <p>Trelawney Court can be compared with other significant examples of modernist flats of the 1930s and 1940s including Cairo Flats and Glenunga, in Melbourne, both of which are heritage listed as influential examples of International Style modernism.</p> <p>The building displays modernist architectural characteristics including the curved feature awning, use of ashlar stonework feature panels, marked horizontality and suppression of the expression of the pitched roofs and is of aesthetic significance as an intact example of a modernist Inter-war flat building.</p> <p>Trelawney Court is aesthetically distinctive and shows creative and technical innovation and achievement and hence meets the threshold for local listing under this criterion. The building does not meet the threshold for listing at a State level.</p>
<b>Social significance</b> SHR criteria (d)	<p>Trelawney Court does not appear to hold strong or special associations with a particular community or group.</p>

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<p><b>Technical/Research significance</b> SHR criteria (e)</p>	<p>Trelawney Court has some research value for demonstrating the architectural work of Reves and Hayes. Little is known about both architects and of their known projects, many have been altered or demolished. As the building is substantially intact its fabric also provides opportunities to reveal information about past ways of living and design and construction methods from the mid 20<sup>th</sup> century.</p> <p>Due to its high level of intactness, including its interiors, it provides evidence of past customs and ways of life from a historically important time when the influence of European migrants was leading to substantial changes across the eastern suburbs.</p> <p>The site was formerly part of the Elystan estate which appears to have contained extensive gardens and outbuildings. The archaeological remains of these elements may be present on the site and provide research opportunities.</p> <p>Trelawney Court has moderate levels of research significance associated with building up a greater picture of the work of George Reves and is significant at a local level under this criterion. The building does not meet the threshold for State significance under this criterion.</p>
<p><b>Rarity</b> SHR criteria (f)</p>	<p>Trelawney Court is rare as an example of the work of Reves and Hayes, and also more generally Reves, few of whose identified projects remain intact.</p> <p>It is also rare as a 1946 design undertaken by émigré architects, both of whom were just returning to private practice post war, having relocated to Australia from Hungary. Although émigré architects were to have a profound influence on the Woollahra LGA during the second half of the twentieth century, Trelawney Court, including its interiors, can be seen as a rare example of an intact flat building designed by émigré architects in the 1940s in the Woollahra LGA.</p> <p>Reves had a distinctive application of modernism, taking in both European influences and later elements of Californian modernism, and his work can be seen as stylistically individual in the context of the Woollahra Municipality and Sydney more generally. None of his projects are protected by individual heritage listing. An intact example of his work, including interiors and built-in furniture, such as the subject building is rare.</p> <p>As an intact and unusual example of an Inter-war flat building complete with original interiors and built-in furniture, Trelawney Court demonstrates past practices and shows increasingly rare evidence of significant design movements and social changes in the Woollahra area. It meets the threshold for listing at a local level under this criterion. The building does not meet the threshold for listing at a State level under this criterion.</p>

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<b>Representativeness</b> SHR criteria (g)	<p>Trelawney Court, with its interiors, is a fine and intact example of an Inter-war flat building. It has numerous features typical of similar flat buildings of the period including the use of built-in furniture, moulded plaster ceilings, steel frame windows, red bricks, curved balconies and awnings, rendered window surrounds and sandstone feature elements. It draws many of its stylistic elements from a Moderne architectural vocabulary, which was a popular style of the period.</p> <p>It also displays the influence of European modernism and can be seen as representative of the work of émigré architects, who had studied and practiced in central Europe. This became an increasingly important contribution to the development of modern architecture in Sydney after WWII when significant numbers of European architects took up practice in Sydney.</p> <p>Trelawney Court is a good example of the work of architect George Reves. Reves designed a number of significant modernist houses in the eastern suburbs during the 1950s and 1960s, and Trelawney Court displays a number of architectural motifs that he would go on to develop further in his later work including the curved feature awning, use of ashlar stonework feature panels and suppression of the expression of pitched roofs.</p> <p>Trelawney Court is a fine example of its type, displaying the principle characteristics of an important architectural development and is part of a group of buildings, the work of émigré architects, which collectively demonstrate significant historical and social changes. It is significant under this criterion at a local level. The building does not meet the threshold for listing at a State level under this criterion.</p>
<b>Integrity</b>	Substantially intact.



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RECOMMENDATIONS				
Recommendations	<b>Heritage listing</b> <ul style="list-style-type: none"><li>Trelawney Court at 3 Trelawney Street, Woollahra, including its interiors, should be added to the heritage schedule of the Woollahra LEP 2014 as an item of local heritage significance. This is to be based on the attached heritage inventory sheet.</li><li>It is also recommended that Woollahra Council undertake a study of the work of émigré architects in the post war period, in the Council area to gain a fuller understanding of the rarity or representative value of the building and to identify other significant buildings.</li></ul>			
	<b>Ongoing management</b> <ul style="list-style-type: none"><li>It is recommended that the Trelawney Court be managed in line with the principles of the Burra Charter, particularly Article 3.1 which notes: "<i>Conservation is based on a respect for the existing fabric, use, associations and meanings. It requires a cautious approach of changing as much as necessary but as little as possible.</i>"<sup>1</sup> Any future adaptations or upgrades should aim to retain as much original fabric as possible.</li><li>It is considered sympathetic upgrades of kitchens and bathrooms would not impact the building's overall significance, but should aim to retain as much early or original fabric as possible.</li><li>All other extant original and early fabric, including built-in furniture, should be retained and conserved.</li><li>The external appearance of the site when viewed from Trelawney Street, which remains largely original, should also be retained and conserved. It should be noted that the garage and laundry room are not considered to be of heritage significance.</li><li>Due to the limitations of this assessment, which did not include a full inspection of the building, a fabric assessment should be undertaken. The external and internal fabric should be rated for its significance in order to guide future works. This might be best achieved via the preparation of a conservation management document which assesses the significance of the fabric and includes policies for future changes.</li><li>A detailed internal and external photographic record of the building should be made and lodged with Woollahra Council and the Local Historical Association.</li></ul>			
INFORMATION SOURCES				
Type	Author/Client	Title	Year	Repository
Report	Rebecca Hawcroft & Kieran McInerney	Trelawney Court, Heritage Assessment, 15 April 2020	2020	Woollahra Council
Dissertation UNSW	Ted Quinton	Post War Modernism in Sydney, George Reves and Hans Peter Oser	1997	UNSW
Book	ed Rebecca Hawcroft	The Other Moderns: Sydney's Forgotten European Design Legacy	2017	SLNSW
Book	Caroline Butler-Bowdon and Charles Pickett	Homes in the Sky, Apartment Living in Australia	2007	SLNSW
Article	unknown	<i>Trelawney Court</i> , Decoration and Glass, Volume 15, No.2, July-August 1949, Cover and pp.22-23	1949	Trove (NLA)
Article	unknown	<i>City Jewellery Store</i> , Decoration and Glass, Volume 15, No.4, November-December 1949, pp.28-29	1949	Trove (NLA)

<sup>1</sup> The Burra Charter, Australia ICOMOS 2013.

3 Trelawney Street, Woollahra, Heritage Inventory Sheet, March 2021

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Article	unknown	Architecture in Australia, July-September, 1955, cover	1955	SLNSW
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### IMAGES

<b>Image Caption</b>	Trelawney Court viewed from Trelawney Street east; note distinctive "S" shaped first floor concrete awning slab edge- and curved sandstone feature panels. Sandstone flagged path leads to lobby entry.
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<b>Image Year</b>	2019	<b>Image author and Copyright Holder</b>	Bradfield Cleary
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IMAGES			
Image Caption	Trelawney Court viewed from Trelawney Street west; plainer west elevation with extensive steel framed glazing. Concrete driveway leads to garage.		
			
Image Year	2019	Image author and Copyright Holder	Bradfield Cleary

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IMAGES			
Image Caption	The flamboyant curved concrete slab awning of the main façade is reflected in the lobby entry.		
			
Image Year	2020	Image author and Copyright Holder	Kieran McInerney




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IMAGES			
Image Caption	Ceilings are plastered with curved "streamlined" plasterwork to living areas		
			
Image Year	2020	Image author and Copyright Holder	Kieran McInerney

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IMAGES			
Image Caption	The maisonette (apartment 5) has a built in tiled mirror unit with integral "flower shelf" as described Decoration and Glass Vol. 15 No. 2 (July - August 1949) article. A typical example of many original built-in features remaining intact in the building.		
			
Image Year	2020	Image author and Copyright Holder	Rebecca Hawcroft



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IMAGES			
<b>Image Caption</b>	Max Dupain photographed the site around 1950. The images are now held in the State Library collection. Comparisons with current site images show few changes.		
			
<b>Image Year</b>	c.1950	<b>Image author and Copyright Holder</b>	Max Dupain Archives, SLNSW
AUTHOR OF THIS REPORT			
<b>Name</b>			<b>Date</b>
Rebecca Hawcroft and Kieran McInerney			15 April 2020



**Item No:** R4 Recommendation to Council

**Subject:** **POST-EXHIBITION REPORT - DRAFT WOOLLAHRA DEVELOPMENT CONTROL PLAN 2015 (AMENDMENT NO. 15) FOR AIR-CONDITIONING AND OTHER MECHANICAL PLANT EQUIPMENT**

**Authors:** Kelly McKellar, Team Leader Strategic Planning  
Emma Williamson, Strategic Planner

**Approvers:** Anne White, Manager - Strategic Planning  
Nick Economou, Acting Director Planning & Development

**File No:** 21/33798

**Reason for Report:** To report on the public exhibition of Draft Woollahra Development Control Plan 2015 (Amendment No. 15).  
To obtain Council's approval of the Draft DCP which seeks to strengthen the objectives and controls for air-conditioning and other mechanical plant equipment.

**Recommendation:**

THAT Council approve the *Draft Woollahra Development Control Plan 2015 (Amendment No. 15)* as attached at **Annexure 1** of the report to the Environmental Planning Committee meeting of 8 March 2021.

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**1. Background**

On 24 February 2020, Council adopted a Notice of Motion requesting:

- A. *THAT Council undertakes a review of and prepares a report to Council, on measures that can be taken in its planning instruments to prevent the installation of air conditioners, air conditioning condenser units and other mechanical infrastructure on the rooftops of dwellings in the municipality.*
- B. *THAT the review and report include the installation of air conditioners on balconies in the Paddington area.*

The following background information accompanied the Notice of Motion in the meeting agenda:

*Council's current planning instruments are unclear and uncertain as to the installation of air conditioning units, condenser units and other infrastructure on the rooftop of buildings. Placement of this plant equipment on the roof of dwellings in the municipality in many cases constitutes visual pollution of the area, detracts from the streetscape and can lead to increased height and bulk that would not otherwise be permitted and does not contribute to design excellence.*



Staff reviewed the existing planning provisions and identified opportunities in the *Woollahra Development Control Plan 2015* (Woollahra DCP 2015) to strengthen certain objectives and controls to help ensure air-conditioning units and other mechanical plant equipment (MPE) do not compromise design excellence and amenity.

The amendments are contained in the following chapters of Woollahra DCP 2015:

- Chapter B3 – General Development Controls
- Chapter C1 – Paddington Heritage Conservation Area
- Chapter C2 – Woollahra Heritage Conservation Area
- Chapter C3 – Watsons Bay Heritage Conservation Area
- Chapter D3 – General Controls for Neighbourhood and Mixed use Centres
- Chapter G4 – 9a Cooper Park Road, Bellevue Hill

On 2 November 2020, Council's Environmental Planning Committee (EPC) considered a report on the review of proposed amendments to Woollahra DCP 2015 (see **Annexure 3**). Subsequently, on 23 November 2020 Council resolved:

- A. *THAT the report on the review of planning provisions for air-conditioning units and other mechanical plant equipment on rooftops of dwellings be received and noted.*
- B. *THAT Council resolve to exhibit Draft Woollahra Development Control Plan 2015: (Amendment No 15) as contained in **Annexure 1** of the report to the Environmental Planning Committee on 2 November 2020, subject to inserting additional controls to ensure that mechanical plant equipment must be located within the building envelope for principally new development to ensure that noise and/or visual pollution affecting amenity is mitigated.*

## 2. Public exhibition

The *Draft Woollahra Development Control Plan 2015 (Amendment No. 15)* (the Draft DCP) was amended prior to public exhibition consistent with Part B of Council's resolution of 23 November 2020 (see **Annexure 1**).

The Draft DCP and supporting material were placed on public exhibition for 31 days from Wednesday 27 January 2021 to Friday 26 February 2021 (inclusive). Public exhibition was consistent with the requirements of the *Environmental Planning and Assessment Act 1979* (EP&A Act), the *Environmental Planning and Assessment Regulation 2000* (the Regulation) and the *Woollahra Community Participation Plan 2019*.

Public exhibition included the following:

1. Five weekly notices in the Wentworth Courier providing details of the exhibition, appearing on 27 January 2021, 3 February 2021, 10 February 2021, 17 February 2021 and 24 February 2021.
2. A public exhibition webpage for the Draft DCP and supporting material on Your Say Woollahra. This webpage was visited by 74 people during the exhibition period.
3. A notice on Council's website in the Notifications section. This webpage was visited by 14 people during the exhibition period.
4. Display of the Draft DCP and supporting materials at the Customer Service counter of the Woollahra Council Chambers at Double Bay, available during normal business hours.
5. A notification letter or email sent to the following stakeholders:
  - Darling Point Society
  - Double Bay Residents Association
  - HarbourView Neighbourhood Watch and Residents Group
  - Point Piper Residents Association
  - Queen Street and West Woollahra Residents Association
  - Rose Bay Residents Association
  - The Paddington Society
  - The Watsons Bay Association
  - Vacluse West Residents Association.

### 3. Submissions

We received five submissions in relation to the Draft DCP during the public exhibition period from:

*Organisation:*

- The Paddington Society Inc.

*Residents:*

- Alan Johnson
- Jenny Stearn
- James Ritchie
- Janice McCloskey

All the submissions supported the strengthening of controls relating to air-conditioning units and MPE. A redacted copy of submissions is contained in **Annexure 2**.

The submissions raise detailed concerns about the amenity impacts of air-conditioning units and other MPE, particularly with regard to setbacks, noise and proximity to adjoining properties, in particular windows. It is noted that the majority of the submissions focused on the provisions contained in *Chapter C1 – Paddington Heritage Conservation Area*.

A summary of issues raised in the submissions and staff responses are provided in the table below.

Having considered the issues raised in submissions, staff do not recommend making any changes to the Draft DCP as exhibited.

Issue raised in submission	Staff response
<p>1. <i>Chapter C1 Paddington HCA Section 2.4.3 Control C3(b)</i> Two submissions requested that the existing requirement for air-conditioning and other MPE to be located a minimum of 3m from lot boundaries and no less than 5m from bedroom windows be retained.</p> <p>One submission supported removing the 3m setback from lot boundaries. It requested a numerical minimum distance from bedroom windows lesser than the existing 5m requirement in acknowledgement of the site challenges within the HCA.</p>	<p>The purpose of this control is minimise acoustic and visual impacts on adjoining properties by establishing separation distances.</p> <p>The existing separation distances of 3m from lot boundaries and 5m from bedroom windows are not reasonably practical in the Paddington HCA where lot widths are often only 4.6m.</p> <p>Staff are of the opinion that the proposed amendments to <i>Chapter C1</i>, as exhibited, effectively address these amenity impacts through the following provisions:</p> <ul style="list-style-type: none"> <li>• Draft Control C3(d) requires that any air-conditioning or other MPE located externally must be located to minimise noise impacts on adjoining properties. It is noted that Council's standard conditions of consent require that air-conditioning units are "acoustically attenuated such that the noise level measured at any boundary of the site at any time while the unit is operating must not exceed the background noise level".</li> <li>• Draft Controls C3 and C4 require that visual impacts are addressed with regard to location and design solutions.</li> </ul> <p>It is also noted that the construction or installation of an air-conditioning unit is exempt development under Part 2 Subdivision 3 of <i>SEPP (Exempt and Complying Development Codes) 2008</i> (Codes SEPP). The exemption applies to residential development that meets the standards of the Codes SEPP, whether or not it is located in a heritage conservation area. The standards of the Codes SEPP take precedence over Council's planning controls to the extent of any inconsistency.</p>
<p>2. <i>Location of units and MPE</i> Request that air-conditioning units in new residential development be positioned so as not to be visible from the windows of or vent exhaust gases toward adjoining properties.</p>	<p>The Draft DCP, as exhibited, proposes the insertion of objectives and controls to minimise visual and acoustic impacts to adjoining properties. These provisions include amendments to sections B3.7.3, C3.3.9 and D3.10 to help ensure mechanical ventilation is appropriately located and designed.</p> <p>The exhibited controls provide that air-conditioning units must be suitably located, sized, enclosed, concealed, screened and/or otherwise integrated with the building to be visually discreet and unobtrusive when viewed from adjoining properties.</p> <p>Requiring air-conditioning units and other MPE to be located so as not to be visible from an adjoining property cannot be reasonably achieved, particularly on narrow lots.</p>



Issue raised in submission	Staff response
<p>3. <i>Noise impacts</i> Request that the issue of air-conditioner condenser noise within all existing and new development be addressed to protect residential amenity.</p>	<p>The Draft DCP, as exhibited, proposes the insertion of additional objectives and controls to better address acoustic impacts to adjoining properties and amenity.</p> <p>The draft controls, as exhibited, require that air-conditioning units, condensers and other MPE in infill development or substantial additions must be located internally within the building, or where located externally must be located to minimise noise impacts on adjoining properties.</p> <p>It is also noted that Council's standard conditions of consent address acoustic impacts arising from air-conditioning units requiring that air-conditioning units are "acoustically attenuated such that the noise level measured at any boundary of the site at any time while the unit is operating must not exceed the background noise level".</p>
<p>4. <i>Solar Energy Systems</i> Question raised about whether solar energy systems should be included in <i>Chapter B3 General Development Controls</i> section B3.7.3 <i>Site facilities</i>, and <i>Chapter C1 Paddington HCA</i> section C1.5.11 <i>Satellite dishes, aerials, air-conditioning units and other site facilities</i>.</p>	<p>Solar energy systems were not included in the scope of this project. Provisions for solar energy systems, including objectives and controls to minimise their amenity impacts, are contained in Woollahra DCP 2015 <i>Chapter E6 Sustainability</i> section E6.3.</p> <p>Sections B3.73 and C1.5.11 are not intended to address solar energy systems. It would be inconsistent with other parts of the Woollahra DCP 2015 to duplicate information on solar energy systems in these sections.</p>
<p>5. <i>Chapter C1 Paddington HCA</i> Section 2.4.3 Control C3(b) Suggestion that draft control C3(a) is amended after the term 'public domain' to insert the following text "streets, places and lanes in the HCA".</p>	<p>'Public domain' is defined in Woollahra DCP 2015 <i>Chapter A3 Definitions</i> as "all land which is owned by a public authority and includes roads, footpaths, laneways and parks." This term is used extensively throughout Woollahra DCP 2015.</p> <p>The inclusion of the additional words would duplicate part of the definition of public domain which would create unnecessary duplication and ambiguity.</p>
<p>6. <i>Chapter C1 Paddington HCA</i> Section C1.5.11 control C3(c) Suggestion that draft control C3(c) is expanded as follows: c) less than 1.8m above at existing ground level or the ground level above a basement level or part underground level (but not on <del>a roof</del> <u>any roof, balcony, terrace or roof terrace</u>).</p>	<p>The proposed amendments to Chapter C1 Paddington HCA (as exhibited) seek to strengthen provisions addressing amenity impacts on adjoining properties and the public domain.</p> <p>It is noted that the existing control C3(a), which is being retained, requires that air-conditioning units and MPE must be located behind the outer front wall of the building and must not be visible from the public domain.</p> <p>Preventing air-conditioners and MPE from being located on roofs will result in a reduction in visual amenity impacts. However, if the unit or MPE is located at the rear of the property, away from bedrooms and windows, and does not impact on adjoining properties there are limited planning grounds to specifically restrict the location.</p>

Issue raised in submission	Staff response
<p>7. <i>Chapter C1 Paddington HCA Section C1.5.11 C4</i> Question relating to air-conditioning units and MPE being wholly contained within the building envelope.</p>	<p>On 2 November 2020, the EPC recommended that additional controls be inserted into the Draft DCP, prior to exhibition, to ensure that MPE is located within the building envelope for principally new development to ensure that noise and/or visual pollution affecting amenity is mitigated.</p> <p>The intent of this recommendation has been reflected in the exhibited controls. It is noted that the exhibited controls do not stipulate new buildings specifically, as there is some ambiguity as to how this would apply consistently to new DAs or Section 4.55 Modification Applications.</p>
<p>8. <i>Retention of existing controls</i> Request confirmation that the existing controls (not explicitly included in the Draft DCP as exhibited) will be retained in their current form.</p>	<p>Staff recommend that the DCP as exhibited is adopted by Council and staff are not recommending any other changes to the existing controls.</p>
<p>9. <i>Site specific matter</i> Request for Council to investigate a specific matter relating to noise impacts on a residential property from air-conditioning and mechanical plant equipment on an adjoining property.</p>	<p>Council's Compliance Team are aware of the matters raised in this submission. They have advised that investigations are underway in accordance with Council procedures and processes.</p>

#### 4. Finalisation

The process for amending a DCP is set out in the EP&A Act and the Regulation. The *Draft Woollahra Development Control Plan 2015 (Amendment No. 15)* has been prepared and publicly exhibited in accordance with these requirements.

If Council resolves to proceed with the amendment and approves the Draft DCP, it will come into effect on the date that a notice of Council's decision is published on Council's website and in the *Wentworth Courier* (or on a later date specified in the notice).

As noted in the EPC report of 2 November 2021, when the DCP amendment comes into effect, Council staff will amend the *Woollahra DA Guide Section 2.4* to require that MPE must be shown on all plans, elevations and sections.




#### 5. Conclusion

The *Draft Woollahra Development Control Plan 2015 (Amendment No. 15)* responds to an adopted Notice of Motion from 24 February 2020. It seeks to amend objectives and controls to help ensure streetscape character and public and private amenity are not adversely impacted by the location and design of air-conditioning units and other MPE.

The Draft DCP was publicly exhibited from 27 January 2021 to 26 February 2021. Five submissions were received, which supported strengthening the existing controls but raising detailed concerns about amenity impacts of air-conditioning units and other MPE.

Having considered the matters raised in the submissions, staff are satisfied that the exhibited controls are appropriate, and no amendments are recommended. It is recommended that Council resolves to adopt the Draft DCP as contained in **Annexure 1**.

**Annexures**

1. Draft Woollahra Development Control Plan 2015 (Amendment No. 15) [↓](#) 
2. Submissions Received (redacted) [↓](#) 
3. Environmental Planning Committee report - 2 November 2020 (annexures removed) [↓](#) 



## Woollahra Development Control Plan 2015 (Amendment 15)

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Prepared Date:	November 2020
Adopted:	TBC
Commenced:	TBC
Division/Department:	Strategic Planning
HPE CM Record Number:	20/100195

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## Woollahra Development Control Plan 2015 (Amendment No 15)

### Part 1 Preliminary

#### 1.1 Background

Air-conditioning and other mechanical plant equipment are common site facilities in residential development. Split system air-conditioning units are often installed as an addition to an existing dwelling house or apartment in an existing residential flat building (RFB). It is noted that some larger residential buildings (such as seniors living development) incorporate a heating, ventilation and air conditioning or HVAC system which includes MPE either internally (in a plant room or the like), and/or externally.

On 24 February 2020 Council adopted the following notice of motion (NOM):

- A. *THAT Council undertakes a review of and prepares a report to Council, on measures that can be taken in its planning instruments to prevent the installation of air conditioners, air-conditioning condenser units and other mechanical infrastructure on the rooftops of dwellings in the municipality.*
- B. *THAT the review and report include the installation of air conditioners on balconies in the Paddington area.*

The following background information accompanied the NOM on the meeting agenda:

*Council's current planning instruments are unclear and uncertain as to the installation of air-conditioning units, condenser units and other infrastructure on the rooftop of buildings. Placement of this plant equipment on the roof of dwellings in the municipality in many cases constitutes visual pollution of the area, detracts from the streetscape and can lead to increased height and bulk that would not otherwise be permitted and does not contribute to design excellence.*

Similar concerns were raised by the Woollahra Local Planning Panel on 3 October 2019 which determined that plant equipment on the rooftop of a proposed seniors housing development compromised design excellence. The DA was approved subject to deletion of the plant equipment on the roof.

Mechanical plant equipment includes lift overruns, air-conditioning units and condensers, heating, ventilation, and other mechanical systems are common facilities in residential development. However, they must be suitably located and designed so they do not detract from public domain, heritage significance, streetscape character and private amenity.

This draft DCP seeks to amend the *Woollahra Development Control Plan 2015* (Woollahra DCP 2015) to update and strengthen the sections on site facilities, and in particular the provisions that apply to the installation of mechanical plant equipment on dwellings.



## 1.2 Name of plan

This plan is the *Woollahra Development Control Plan 2015 (Amendment No 15)*.

## 1.3 Objectives of the plan

The objectives of the plan are to:

- a) Strengthen the objectives and controls for air-conditioning and other mechanical plant equipment to help protect streetscape character and public and private amenity.
- b) Ensure that roofs are not cluttered by intrusive site facilities.
- c) Reduce ambiguity or uncertainty about how the provisions for air-conditioning and other mechanical plant equipment apply.
- d) Ensure mechanical plant equipment does not adversely impact the heritage significance of Paddington, Woollahra and Watsons Bay Heritage Conservation Areas.
- e) Ensure mechanical plant equipment does not adversely impact the streetscapes or amenity of Neighbourhood and Mixed Use Centres.

## 1.4 Land to which this plan applies

This plan applies to land within the Woollahra local government area and identified on the map in **Figure 1** where the following chapters of the Woollahra DCP 2015 apply:

- Chapter B3 - General Development Controls
- Chapter C1 - Paddington Heritage Conservation Area
- Chapter C2 - Woollahra Heritage Conservation Area
- Chapter C3 - Watsons Bay Heritage Conservation Area
- Chapter D3 - General Controls for Neighbourhood and Mixed Use Centres
- Chapter G4 - 9a Cooper Park Road, Bellevue Hill

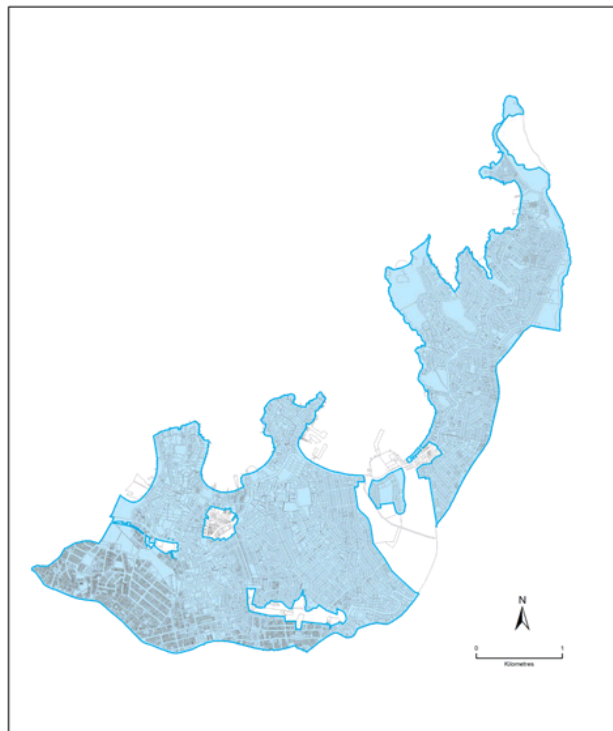


Figure 1: Land to which this draft plan applies

#### 1.5 Relationship of this plan to the Act, Regulation and other plans or environmental planning instruments

This plan has been prepared under Division 3.6 of the *Environmental Planning and Assessment Act 1979* and Part 3 of the *Environmental Planning and Assessment Regulation 2000*.

*Woollahra Local Environmental Plan 2014* (Woollahra LEP 2014) applies to the land to which this plan applies. In the event of an inconsistency between this plan and the Woollahra LEP 2014, the Woollahra LEP 2014 prevails.

#### 1.6 Approval and commencement of this plan

This plan was approved by Woollahra Council on TBC and came into effect on TBC.

#### 1.7 How this plan amends Woollahra DCP 2015

This plan amends Woollahra DCP 2015 in the manner set out in Part 2 of this plan.

## Part 2 Amendments to Woollahra Development Control Plan 2015

This plan amends Woollahra DCP 2015 in the following manner:

Insertions – identified in blue and underlined

Deletions – ~~identified in red and strikethrough~~

### Chapter A1 Introduction

#### 2.1 Amendments to clause A1.1.9 Savings and transitional provisions relating to development applications

##### 2.1.1 Insert at the end of the clause

This DCP (as commenced on TBC) continues to apply to development applications, applications to modify consents under section 4.55 of the EP&A Act and applications for review of determination under Division 8.2 Reviews of the EP&A Act that were made prior to but not determined before the commencement of Amendment No 15 to this DCP.

#### 2.2 Amendments to clause A1.4 List of amendments

##### 2.2.1 Insert at the end of the clause

Amendment	Date of approval and Commencement	Description of amendment
<u>No 15</u>	<u>Date approved – TBC</u> <u>Date commenced - TBC</u>	<u>Amend Chapter A1 by inserting additional savings and transitional provisions.</u>  <u>Amend Part B Chapter B3; Part C Chapters C1, C2 and C3; Part D Chapter D3 and Part G Chapter G4 by modifying and amending various sections, controls and objectives to strengthen controls for air-conditioning and other mechanical plant equipment to help protect streetscape character and amenity.</u>

### Chapter B3 General Development Controls

#### 2.3 Amendments to section B3.7.3 Site facilities

##### 2.3.1 Amend the introduction to include specific references to mechanical plant equipment

Some site facilities including lift overruns, air-conditioning, mechanical ventilation, mail boxes, clothes drying areas and laundry facilities are essential or common features in contemporary residential development. Others such as radio aerials and satellite dishes are less frequently required.

**Commented [DCP1]:** This proposed amendment seeks to increase references to mechanical plant equipment (MPE) to enhance prominence.

The introduction identifies common types of MPE (i.e. lift overruns, air-conditioning and mechanical ventilation) but also seeks to ensure that the use of the term MPE is taken to cover a broad range of mechanical systems for a building.

The potential impacts of site facilities on the overall appearance of developments and the local streetscape must be considered. In particular, consideration must be given to the location, size and design of site facilities including, mechanical plant equipment such as lift overruns, air-conditioning units and condensers, heating, ventilation, and other mechanical systems that maintain or support the operations of a building.

2.3.2 Insert new objectives after objective O6 and renumber objectives accordingly

O7 To discourage the provision of mechanical plant equipment on the roofs of buildings to minimise clutter and visual impacts created by intrusive site facilities.

O8 To minimise visual and acoustic impacts on adjoining properties.

2.3.3 Delete existing controls C7, C8, and C9 and C10 and replace with the new controls

~~C7—Mechanical plant equipment (including lift overruns) are not visible from the streetscape or public domain.~~

~~C8—Mechanical plant equipment (including lift overruns) do not unreasonably impact on the visual or acoustic amenity of adjoining properties. The impact on neighbours is less than the impact on the occupants of the site where the air-conditioning unit is located.~~

~~C9—Mechanical plant equipment (including lift overruns) are suitably enclosed or screened to minimise noise impacts to adjoining properties.~~

C7 Mechanical plant equipment (including lift overruns and air conditioners) must be located internally within the principal building in a suitably designed plant room or the like.

C8 Mechanical plant equipment (including lift overruns and air conditioners) must be wholly contained within the permissible building envelope and must not be located externally or on the roof unless Council is satisfied that it:

- a) cannot be reasonably located elsewhere; and
- b) is thoughtfully located, sized, enclosed, concealed and integrated into the building design (including when viewed from above) and roof form so it:
  - i. is not visible from the streetscape or public domain;
  - ii. is consistent with the overall building design, roof form, and materials;
  - iii. is visually discreet and unobtrusive when viewed from adjoining properties; and
  - iv. minimises acoustic impacts to adjoining properties.

Note: Noise emissions from mechanical plant equipment must not exceed the background noise levels when measured at the boundary of the development site. The provisions of the *Protection of the Environment Operations Act 1997* apply.

C9 Screening will only be considered where the screening is suitably located, integrated with the building design and materials and will have no impact on views or result in overshadowing of adjoining properties.

Note: Screening alone may not be an acceptable solution for ensuring that mechanical plant equipment is not visible from the streetscape or the public domain.

**Commented [DCP2]:** This proposed amendment strengthens the objectives by specifically addressing roofs and impacts on adjoining properties. These objectives also align with the proposed controls.

**Commented [DCP3]:** These new controls discourage MPEs on roofs whilst satisfying the requirement under the EP&A Act that the consent authority is to be flexible in applying the provisions of a DCP.

The proposed controls provide more detail about the considerations for achieving good design outcomes and amenity.

## Chapter C1 Paddington Heritage Conservation Area

### 2.4 Amendments to section C1.5.11 Satellite dishes, aerials, air-conditioning units and other site facilities

#### 2.4.1 Amend paragraph 1 of the introduction to include specific reference to air-conditioning units and external condensers

Paddington's roovescape is an integral component of its overall significance. The introduction of unsympathetic and uncharacteristic elements such as satellite dishes, ~~and~~ aerials and air-conditioning units and external condensers can have a detrimental impact on the aesthetic significance of individual buildings and on the area generally.

The fixing of these structures on roofs and chimneys can also contribute to physical damage and possible loss of original fabric and detail.

Note: Solar energy systems such as photovoltaic electricity generating systems, solar hot water systems, or solar air heating systems are addressed in Chapter E6, Section 6.3 Solar energy systems.

#### 2.4.2 Insert new objective after objective O3

O4 To minimise visual and acoustic impacts on adjoining properties.

#### 2.4.3 Amend title and controls C2, C3, C4 and C5

~~External condenser and air~~ Air conditioning units, condensers and other mechanical plant equipment

C2 Air conditioning units, condensers, and units, and other mechanical plant equipment in ~~infill development or substantial additions~~ must be located internally within the building.

C3 Any part of an air conditioning unit, condenser, and units, and any other mechanical plant equipment located externally ~~must be located:~~

- behind the outer front wall of the building and not be visible from the public domain;
- ~~a minimum of 3m from all other property boundaries (including party walls) and not less than 5m from a bedroom window in an adjoining residential property; and~~
- less than 1.8m above ~~at~~ existing ground level or ~~the ground level above~~ a basement level or part underground level (but not on a roof)
- to minimise noise impacts on adjoining properties.

C4 Air conditioning units, condensers, and units, and other mechanical plant equipment ~~must be wholly contained within the permissible building envelope and~~ not be visible from an adjoining property whilst being suitably located, designed, sized, enclosed, concealed, screened and/or otherwise integrated with the building.

C5 External conduits must not exceed 3m in length and must ~~not~~ be visible from the public domain.

**Commented [DCP4]:** This proposed amendment enhances prominence and clarifies that these provisions apply to air-conditioning units and external condensers.

**Commented [DCP5]:** This proposed amendment strengthens the objectives to address impacts on adjoining properties. This objective aligns with the controls.

**Commented [DCP6]:** These proposed amendments seek to better address acoustic impacts to adjoining properties and public amenity whilst still allowing some flexibility. The proposed amendments provide for flexibility while still ensuring impacts to adjoining properties are minimised, and provides detail about the solutions for achieving good design outcomes and amenity.

## Chapter C2 Woollahra Heritage Conservation Area

### 2.5 Amendments to section C2.5.13 Site facilities and aerial devices

#### 2.5.1 Amend paragraph 1 of the introduction to include specific reference to air-conditioning units and external condensers

The roofs of the Woollahra HCA are integral components of its character and heritage significance. The introduction of unsympathetic and uncharacteristic site facilities such as air-conditioning units and condensers, and aerial devices can have an adverse impact on the aesthetic significance of individual buildings and precincts and the area as a whole. Fixing these structures onto roofs and chimneys can also damage the original fabric and detail.

The location and design of site facilities such as mail boxes, external storage facilities, clothes drying areas and laundry facilities can have an adverse impact on the appearance and character of the area and must be carefully considered.

**Commented [DCP7]:** This amendment seeks to introduce specific references to "air-conditioning units and external condensers" to enhance prominence.

#### 2.5.2 Amend objective O3 and insert new objective after objective O7

O3 To ensure that satellite dishes, aerals and similar devices, air-conditioning units, external condensers, and other site facilities do not detrimentally impact on the character and significance of individual buildings and the streetscape.

O7 To minimise visual and acoustic impacts on adjoining properties.

**Commented [DCP8]:** These amendments seek to make it clear that the objective applies to a broad range of site facilities and strengthen the objectives to address impacts on adjoining properties. This objective aligns with the controls.

#### 2.5.3 Amend control C2 and insert new controls C3, C4, C5 and C6

C2 Satellite dishes, solar water heaters, solar electricity generators, ~~air-conditioning units and ducts~~, aerals and similar devices:

- a) ~~are to be sized and designed to minimise their visual impact and impact on the amenity of the adjoining properties and neighbouring lands;~~
- b) a) must not be located on any part of the roof or chimney which is visible from the street frontage or the public domain and are visually unobtrusive to adjoining properties; and
- c) b) must not have a detrimental impact on the architectural and heritage character of the building to which they are attached; and
- c) are to be suitably located, designed, sized, enclosed, concealed, screened, and/or otherwise integrated with the building to be visually discreet and unobtrusive, and to minimise impacts on adjoining properties.

C3 Air conditioning units, condensers and other mechanical plant equipment in infill development or substantial additions must be located internally within the building.

C4 Any part of an air conditioning unit, condenser and any other mechanical plant equipment located externally must be located:

- a) behind the outer front wall of the building and not be visible from the public domain;
- b) less than 1.8m above existing ground level or a basement level or part underground level (but not on a roof)
- c) to minimise noise impacts on adjoining properties.

C5 Air conditioning units, condensers and other mechanical plant equipment must be wholly contained within the permissible building envelope and not be visible from an

**Commented [DCP9]:** This amendment seeks to improve clarity and strengthening the control by providing more detail about the solutions for achieving good design outcomes and amenity.

The new controls discourage MPEs on roofs whilst satisfying the requirement under the EP&A Act that the consent authority is to be flexible in applying the provisions of a DCP.

The proposed controls provide more detail about the considerations for achieving good design outcomes and amenity.



adjoining property whilst being suitably located, designed, sized, enclosed, concealed, screened and/or otherwise integrated with the building.

C6 External conduits must not exceed 3m in length and must not be visible from the public domain.

## Chapter C3 Watsons Bay Heritage Conservation Area

### 2.6 Amendments to section C3.3.9 Site facilities and aerial devices

#### 2.6.1 Amend the introduction to include specific references to mechanical plant equipment

The roofscape of Watsons Bay is an integral component of its overall significance.

The introduction of unsympathetic and uncharacteristic site facilities ~~and aerial devices~~ elements such as lift overruns, air-conditioning, mechanical ventilation, telecommunication facilities, satellite dishes, solar heating devices and aerials can have a detrimental impact on the aesthetic significance of individual buildings and on the conservation area generally.

The fixing of these structures on roofs and chimneys can also contribute to physical damage and possible loss of original fabric and detail.

In particular, consideration must be given to the location, size and design of site facilities including, mechanical plant equipment such as lift overruns, air-conditioning units and condensers, heating, ventilation, and other mechanical systems that maintain or support the operations of a building.

The location and design of site facilities such as mail boxes, garbage storage areas, external storage facilities, clothes drying areas and laundry facilities can impact upon the appearance and overall character of the area and must be carefully considered.

#### 2.6.2 Insert new objectives after existing objective O3

O4 To ensure that roofs are not cluttered by intrusive site facilities.

O5 To minimise visual and acoustic impacts on adjoining properties.

#### 2.6.3 Insert new controls after existing control C2 and renumber controls accordingly

C3 Air conditioning units, condensers, and units, and other mechanical plant equipment in infill development or substantial additions must be located internally within the building.

C4 Mechanical plant equipment is wholly contained within the permissible building envelope and must not be located externally or on the roof unless Council is satisfied that it:

- a) Cannot be reasonably located elsewhere; and
- b) is thoughtfully located, sized, enclosed, concealed and integrated into the building design (including when viewed from above) and roof form so it:
  - i. is not visible from the streetscape or public domain;
  - ii. is consistent with the overall building form and materials;
  - iii. is visually discreet and unobtrusive when viewed from adjoining properties;
- and
- iv. minimises acoustic impacts to adjoining properties.

**Commented [DCP10]:** This amendment seeks to make it clear that this section applies to these types of site facilities.

**Commented [DCP11]:** This proposed amendment inserted new objectives that specially address clutter on roofs and impacts on adjoining properties. These objectives also align with the proposed controls.

Objective O4 is also consistent with the precinct controls for views and vistas which include provisions that the roofs are to remain uncluttered by intrusive structures so as to not detract from views to and from elevated areas of the public domain.

**Commented [DCP12]:** These amendments establish controls for mechanical plant equipment and address visual and acoustic impacts in relation to amenity. These controls are consistent with the screening control proposed for DCP Chapter B3.

Note: Noise emissions from mechanical plant equipment must not exceed the background noise levels when measured at the boundary of the development site. The provisions of the *Protection of the Environment Operations Act 1997* apply.

C5 Screening will only be considered where the screening is suitably located, integrated with the building design and materials and will have no impact on views or result in overshadowing of adjoining properties.

Note: Screening alone may not be an acceptable solution for ensuring that mechanical plant equipment is not visible from the streetscape or the public domain.

## Chapter D3 General Controls for Neighbourhood and Mixed Use Centres

### 2.7 Amendments to section D3.10 Site facilities

#### 2.7.1 Amend the introduction to include specific references to mechanical plant equipment

Site facilities include lift overruns, air-conditioning, mechanical ventilation, mail boxes, storage areas, garbage collection areas, clothes drying areas and laundry facilities, aerials and the like.

The potential impacts of site facilities on the overall appearance of developments and the local streetscape need to be considered. In particular, consideration must be given to the location, size and design of site facilities including, mechanical plant equipment such as lift overruns, air-conditioning units and condensers, heating, ventilation, and other mechanical systems that maintain or support the operations of a building.

#### 2.7.2 Amend objective O7 and insert new objectives O8 and O9

O7 To ensure that mechanical plant equipment including lift overruns, air-conditioning units, including and external condensers, do not have adverse streetscape or amenity impacts.

O8 To discourage the provision of mechanical plant equipment on the roofs of buildings to minimise visual impact of these services.

O9 To minimise visual and acoustic impacts on adjoining properties.

#### 2.7.3 Delete existing controls C9 and C10 and replace with new controls C9, C10 and C11

~~C9—Air-conditioning units are suitably located, enclosed or screened so the units are not visible from the streetscape or from adjoining or nearby properties.~~

~~C10—Air-conditioning units do not have an unreasonable impact on the visual or acoustic amenity of adjoining or nearby properties. The impact on neighbours is less than the impact on the occupants of the site where the air-conditioning unit is located.~~

C9 Mechanical plant equipment (including lift overruns and air conditioners) must be located internally within the principal building in a suitably designed plant room or the like.

C10 Mechanical plant equipment (including lift overruns and air conditioners) must be wholly contained within the permissible building envelope and must not be located externally or on the roof unless Council is satisfied that it:

**Commented [DCP13]:** This amendment introduces specific references to mechanical plant equipment (MPE) such as lift overruns, air-conditioning, mechanical ventilation so that it is clear that this section applies to these types of site facilities.

The introduction identifies common types of MPE (i.e. lift overruns, air-conditioning and mechanical ventilation) but also seeks to ensure that the use of the term MPE is taken to cover a broad range of mechanical systems for a building.

**Commented [DCP14]:** The amendment to objective O7 ensures that it applies to mechanical plant equipment broadly and not just air-conditioning units and condensers.

The proposed new objectives strengthen the objectives to specifically address roofs and impacts on adjoining properties. These objectives align with the proposed controls.

**Commented [DCP15]:** These new controls discourage MPEs on roofs whilst satisfying the requirement under the EP&A Act that the consent authority is to be flexible in applying the provisions of a DCP.

The proposed controls provide more detail about the considerations for achieving good design outcomes and amenity.

- a) cannot be reasonably located elsewhere; and
- b) is thoughtfully located, sized, enclosed, concealed and integrated into the building design (including when viewed from above) and roof form so it:
  - i. is not visible from the streetscape or public domain;
  - ii. is consistent with the overall building design, roof form, and materials;
  - iii. is visually discreet and unobtrusive when viewed from adjoining properties; and
  - iv. minimises acoustic impacts to adjoining properties.

Note: Noise emissions from ~~air-conditioning units~~ mechanical plant equipment must not exceed the background noise levels when measured at the boundary of the development site. The provisions of the *Protection of the Environment Operations Act 1997* apply.

C11 Screening will only be considered where the screening is suitably located, integrated with the building design and materials and will have no impact on views or result in overshadowing of adjoining properties.

Note: Screening alone may not be an acceptable solution for ensuring that mechanical plant equipment is not visible from the streetscape or the public domain.

## Chapter G4 9A Cooper Park Road, Bellevue Hill

### 2.8 Amendments to section G4.2 Design and siting of development

2.8.1 ~~Delete existing control C6 and replace with C6 and C7 and renumber controls accordingly~~

~~C6—Air-conditioning plant or other service equipment can be located on roofs with appropriate noise/acoustic attenuation.~~

C6 Mechanical plant equipment (including lift overruns and air conditioners) must be located internally within the principal building in a suitably designed plant room or the like.

C7 Air-conditioning plant or other mechanical plant equipment may be located only be located externally or on roofs if Council is satisfied that it:

- a) cannot be reasonably located elsewhere; and
- b) is suitably located, sized, enclosed, concealed and integrated into the building design (including when viewed from above) and roof form so it is:
  - i. visually discreet and unobtrusive to prevent visual impacts on the streetscape, public domain, and adjoining properties; and
  - ii. has acoustic attenuation to minimise noise impacts to adjoining properties.

**Commented [DCP16]:** These new controls discourage MPES on roofs whilst satisfying the requirement under the EP&A Act that the consent authority is to be flexible in applying the provisions of a DCP.

The proposed controls provide more detail about the considerations for achieving good design outcomes and amenity.

**From:** [Your Say Woollahra](#)  
**To:** [REDACTED]  
**Subject:** AWJ completed Make an online submission  
**Date:** Wednesday, 3 February 2021 11:52:06 AM

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AWJ just submitted the survey Make an online submission with the responses below.

**Would you like to make a submission to the draft Woollahra DCP 2015 (Amendment No. 15)?**

Yes

**Your email**

[REDACTED]

**Your name**

Alan Johnson

**How would you like to make your submission?**

Type your submission here

**Please type your submission here.**

Chapter C1 Paddington. Section 2.4.3, C3 paragraph b should be kept in, where it states mechanical plant equipment should be a minimum of 3 metres from other properties and no less than 5 metres from bedroom windows. When living close to Oxford Street commercial buildings, owners don't care about residents behind their property they are only after profits and making money. Now, most people that renovate or rebuild use private certifiers and it becomes a battle to have people comply with what they are suppose to have built or renovate as private certifiers just sign off on everything and don't check the work. It then becomes a council matter and you fight for years to get justice.

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**From:** [REDACTED]  
**Subject:** rockstar completed Make an online submission  
**Date:** Tuesday, 23 February 2021 1:29:41 PM

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rockstar just submitted the survey Make an online submission with the responses below.

**Would you like to make a submission to the draft Woollahra DCP 2015 (Amendment No. 15)?**

Yes

**Your email**

[REDACTED]

**Your name**

Jenny Stearn

**How would you like to make your submission?**

Type your submission here

**Please type your submission here.**

The council MUST address the problem of Air Conditioner condenser motor noise with EVERY new development. And, if possible for all existing buildings. For: The ongoing amenity of existing and current residents who are becoming more and more above the street height. Also for foot traffic associated with the many commercial premises, both existing and newly incoming. It is becoming a problem for all people as Double Bay has such a unique outside areas with open space. Hoping the feelings of well being continue to be protected. Most sincerely. Jenny Stearn. [REDACTED]

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**From:** [Your Say Woollahra](#)  
**To:** [REDACTED]  
**Subject:** jamesritchie completed Make an online submission  
**Date:** Thursday, 25 February 2021 10:10:49 AM

---

jamesritchie just submitted the survey Make an online submission with the responses below.

**Would you like to make a submission to the draft Woollahra DCP 2015 (Amendment No. 15)?**

Yes

**Your email**

[REDACTED]

**Your name**

James Ritchie

**How would you like to make your submission?**

Type your submission here

**Please type your submission here.**

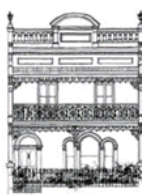
With respect to air conditioning units where a new residential development, as opposed to an existing building, is proposed the units should be positioned so as to minimise the impact on adjoining properties. The units should be placed 3 metres from the boundary and not positioned so as to be directly facing existing windows in adjoining properties. The units should not be visible from the windows of adjacent properties and should not vent exhaust gases and noise towards them.

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THE PADDINGTON SOCIETY Inc.  
For Community and Heritage  
Est 1964

The General Manager  
Woollahra Municipal Council  
PO Box 61, Double Bay NSW 1360

26 February 2021

**For the attention of Kelly McKellar**

**SC5628 Submissions - Draft WDCP 2015 (Amendment No.15)**  
**Air Conditioning & Mechanical Plant etc - Proposed DCP Amendments**

Thank you for advising us of the above Amendment proposals.  
On behalf of the Paddington Society I note the following re the draft;  
we have restricted our comments to Chapters B3 and C1: (page numbers refer to the pdf pages):

**p6: Objectives of the plan: 1.3:**

The Society welcomes strengthening the objectives and controls as set out in **1.3 a), b), c), d) and e)** particularly regarding air conditioning units and condenser units.

**p8 & p9: Chapter B3 General Development Controls: B3.7.3 Site facilities 2.3.1, 2.3.2 and 2.3.3:**

Should Solar energy systems be included in the lists on these pages? even if only to alert users that there will be future sections in another part of the DCP. It seems disproportionate in 2.3.1 to refer to mail boxes, radio aerials, satellite dishes etc (referred to elsewhere) but not to Solar energy systems?

**p10: Chapter C1 Paddington Heritage Conservation Area: section C1.5.11 Satellite dishes etc...**

**2.4.1** After para 3 of the introduction, would it be helpful to repeat the explanation in the introduction to Chapter E6, Section 6.3 Solar energy systems, and/or refer to the relevant Infrastructure SEPP. This would clarify the standards for Exempt & Complying development and when a DA is required.

**C3 a)** After "and not be visible from the public domain" add "**of streets, places and lanes in the HCA**". Frequently lanes are not considered to be significant parts of the public domain.


**C3 b)** Agree to removing the 3m minimum from property boundaries, but suggest retaining **C3 b)** and setting a lesser minimum distance (agree that 5m can be problematic) from a bedroom window in an adjoining residential property.

**C3 c)** Suggest changing "(but not on a roof)" to "(but not on **any roof, balcony, terrace or roof terrace**)" We sometimes see condenser units located on the roof of a single storey link between the principal building form and an addition. This change would deal with sites with front terraces above a lower ground level and also sloping sites with balconies, terraces and roof terraces over garages.

**C4** "... must be wholly contained within the permissible building envelope" Is this confusing or even practicable? It seems to imply that (even for a single dwelling) the condenser unit can't be located anywhere in the rear courtyard, even when discreetly and suitably enclosed within the courtyard? Is this an accidental carry-over from C8 on p9 ?

**We assume that the objectives and controls not presently listed for amendment will be retained, particularly the existing C6, which is an important over-arching condition.**

Yours sincerely

**Will Mrongovius, President The Paddington Society** - per Esther Hayter 

Juniper Hall •  • Telephone  • ABN 99 885 076 141

yoursay.woollahra.nsw.gov.au

DRAFT 2015: AMENDED CONTROLS FOR AIR-CONDITIONING AND OTHER MECHANICAL  
PLANT EQUIPMENT

Thank you for allowing me the opportunity to make this submission.

After residing in my semi detached home for 50 years without incident, difficult noise problems have arisen over the last 2 years with the owner of the other half of the semi detached dwelling ( [REDACTED] ) following renovations to their property. This owner (who also appears to be a property developer) has installed mechanical equipment, namely a pool heater, against my fence – 1 metre from every living area of my property ( [REDACTED] ). The noise from this heater thumps throughout my property. In addition, there is an air conditioning system, which sometimes runs 24/7, which produces a hum permeating throughout my property day and night. My suspicions are that the air conditioner discharges into the shared roofspace of the 2 semis – an area which shares a wall with my master bedroom.

Following unsuccessful attempts to negotiate directly with my neighbour, I have been endeavouring to establish from Council whether : (a) permission was given for the placement of these two pieces of equipment; and (b) whether Council has in fact sent a Sound Engineer to monitor the noise levels from these pieces of machinery.

Lack of communication from Council to inform me of attempts they have made to address my concerns in these matters has been very frustrating.

My recommendations, in accordance with this submission are:

- A. Council should communicate at every stage with the complainant.
- B. A more rigorous testing procedure by, for instance, Council's Sound Engineer, during which all offending pieces of machinery are running to ascertain the level of disturbance.
- C. Council to consult with the neighbouring property owner who has lodged the complaint, to clarify and understand the nature of the offending noise and to actually experience the noise level from the complaining neighbour's property.

Thank you for allowing me to contribute DCP Amendment no 15.

Janice McCloskey  
[REDACTED]

Woollahra Municipal Council  
Environmental Planning Committee Agenda

2 November 2020

**Item No:** R6 Recommendation to Council  
**Subject:** **DRAFT DCP CONTROLS TO ADDRESS AIR-CONDITIONING UNITS & MECHANICAL PLANT EQUIPMENT ON THE ROOFTOPS OF DWELLINGS**  
**Authors:** Jacquelyne Della Bosca, Executive Planner  
Kelly McKellar, Acting Team Leader Strategic Planner  
**Approvers:** Anne White, Manager - Strategic Planning  
Nick Economou, Acting Director Planning & Development  
**File No:** 20/91261  
**Reason for Report:** To respond to a Notice of Motion adopted by Council on 24 February 2020 requesting a review of the planning controls for air-conditioners, air-conditioning condenser units and other mechanical infrastructure on the rooftops of dwellings.  
To obtain Council's approval to exhibit a draft development control plan to amend the Woollahra Development Control Plan 2015.

**Recommendation:**

- A. THAT the report on the review of planning provisions for air-conditioning units and other mechanical plant equipment on rooftops of dwellings be received and noted.
- B. THAT Council resolve to exhibit *Draft Woollahra Development Control Plan 2015: (Amendment No 15)* as contained in **Annexure 1** of the report to the Environmental Planning Committee on 2 November 2020.

**1. Summary**

This report responds to a Notice of Motion adopted by Council on 24 February 2020 requesting staff to review planning controls for air-conditioners, air-conditioning condenser units and other mechanical infrastructure on dwelling rooftops.

Staff have reviewed our existing planning provisions and identified opportunities to strengthen controls to help ensure that air-conditioning systems and other mechanical plant equipment (MPE) do not compromise design excellence and amenity.

**2. Background**

Air-conditioning and other MPE are common site facilities in residential development and are often installed on an existing dwelling house or apartment in an existing residential flat building (RFB). It is noted that some larger residential buildings (such as seniors living development) incorporate a heating, ventilation and air conditioning or HVAC system which includes MPE either internally (in a plant room or the like), and/or externally.

On 24 February 2020, Council adopted the following Notice of Motion:

- A. *THAT Council undertakes a review of and prepares a report to Council, on measures that can be taken in its planning instruments to prevent the installation of air conditioners, air-conditioning condenser units and other mechanical infrastructure on the rooftops of dwellings in the municipality.*
- B. *THAT the review and report include the installation of air conditioners on balconies in the Paddington area.*

The following background information accompanied the Notice of Motion on the meeting agenda:

*Council's current planning instruments are unclear and uncertain as to the installation of air-conditioning units, condenser units and other infrastructure on the rooftop of buildings. Placement of this plant equipment on the roof of dwellings in the municipality in many cases constitutes visual pollution of the area, detracts from the streetscape and can lead to increased height and bulk that would not otherwise be permitted and does not contribute to design excellence.*



At its meeting of 3 October 2019 the Woollahra Local Planning Panel (LPP) raised concerns about the location of plant equipment in a proposed seniors housing DA649/2017/2. The Woollahra LPP found that locating plant equipment on the rooftop compromised design excellence. Accordingly, the development application (DA) was approved with the following condition:

*In order to ensure design excellence (Part B3.1.3 of WDCP 2015) of the roof, all reference to the proposed plant equipment on the roof is to be deleted. As such no approval is granted for any plant equipment or access arrangements to the roof.*

Related to this matter, staff note that Council approved the Woollahra DCP 2015 (Amendment No. 4) on 26 November 2018 which strengthened provisions relating to roof terraces, lifts and lift overruns. Staff are seeking to enhance these controls with a view to strengthening the controls provisions for MPE in residential development.

### **3. Current planning controls**

#### **3.1. State Environmental Planning Policy No. 65 – Design Quality of Residential Apartment Development (SEPP 65)**

SEPP 65 is the State-wide planning policy that applies to development for RFBs, shop top housing or mixed use development of three or more storeys and containing four or more dwellings. The *Apartment Design Guide* (ADG) provides design criteria and general guidance about how development can achieve the SEPP's nine design quality principles.

There are no mandatory provisions in the ADG for air conditioners or MPE that override local planning controls. However, development must give consideration to the following design guidance:

- **Public domain interface:** The ADG promotes high-quality design that enhances the visual amenity of the public domain. Relevant to note is the following design guidance provided for *Objective 3C-2 Amenity of the public domain is retained and enhanced*:

Design Guidance

*Substations, pump rooms, garbage storage areas and other service requirements should be located in basement car parks or out of view*  
(NSW Apartment Design Guide, p53)

- A. **Acoustic Privacy:** The ADG seeks to minimise where possible noise impacts on residents. Relevant to note is the following design guidance for *Objective 4H-1 Noise transfer is minimised through the siting of buildings and building layout*

Design Guidance

*Noise sources such as garage doors, driveways, service areas, plant rooms, building services, mechanical equipment, active communal open spaces and circulation areas should be located at least 3m away from bedrooms.*  
(NSW Apartment Design Guide, p. 103)

- B. **Roof design:** The ADG promotes high-quality roof design that provides a positive addition to the character of an area and its skyline. Relevant to note is the following design guidance provided for *Objective 4N-1 Roof treatments are integrated into the building design and positively respond to the street*:

Design Guidance

*Roof treatments should be integrated with the building design. Design solutions may include:*

- *roof design proportionate to the overall building size,*
- *scale and form*
- *roof materials compliment the building*
- *service elements are integrated.*

(NSW Apartment Design Guide, p.113)

### 3.2. SEPP (Exempt and Complying Development Codes) 2008 (Codes SEPP)

The Codes SEPP is a statewide planning policy that takes precedence over Council's planning controls to the extent of any consistency. It includes exempt development provisions for air-conditioning units and complying development provisions for mechanical ventilation.

#### A. Air-conditioning unit as exempt development

The construction or installation of an air-conditioning unit is exempt development under *Part 2 Exempt Development Codes Subdivision 3* provided all the standards are met.

The key standards<sup>4</sup> for air-conditioning units in residential development are that it must:

<sup>4</sup> The list does not represent all the standards for exempt development. A full copy of the Code can be viewed at the NSW Legislation website at <https://www.legislation.nsw.gov.au/view/html/inforce/current/epi-2008-0572>



- (a) *not be located on the wall or roof of a building that faces the primary road, or forward of the building line to the primary road, and*
- (b) *be located at least 450mm from each lot boundary, and*
- (c) *subject to paragraph (g), be attached to the external wall of a building or ground mounted, and*
- (d) *be not higher than 1.8m above ground level (existing), and*
- (e) *not involve work that reduces the structural integrity of the building, and*
- (f) *not reduce the existing fire resistance level of a wall, and*
- (f1) *be designed so as not to operate—*
  - (i) *during peak time—at a noise level that exceeds 5 dB(A) above the ambient background noise level measured at any property boundary, or*
  - (ii) *during off peak time—at a noise level that is audible in habitable rooms of adjoining residences, and*
- (g) *if it is constructed or installed on or in a heritage item or a draft heritage item—be ground mounted, and*
- (h) *if it is constructed or installed on or in a heritage item or a draft heritage item or in a heritage conservation area or a draft heritage conservation area—be installed at or behind the rear building line.*

Relevant to Council's Notice of Motion, staff note the following provisions:

- an air-conditioning unit located on a roof is not permitted as exempt development
- an air-conditioning unit higher than 1.8m above ground level is not permitted as exempt development
- in a heritage conservation area (HCA) an air-conditioning unit may be permitted as exempt development if it is at the rear of the building and is less than 1.8m above ground level.

#### **B. Mechanical ventilation systems as complying development**

The construction or installation of a mechanical ventilation system for commercial or industrial development is complying development under *Part 5 Commercial and Industrial Alterations Code, Subdivision 4* provides it meets the relevant standards.

These provisions apply to mechanical ventilation only, i.e. systems that extract or supply air into a building. They do not apply more broadly to air-conditioning or other HVAC systems that are typically installed in mixed use and multi-storey residential development.

#### **3.3. Woollahra Local Environmental Plan 2014 (Woollahra LEP 2014)**

The WLEP 2014 establishes the maximum height of buildings for the LGA. The state-wide definition of **building height (or height of building)** is:

- (a) *in relation to the height of a building in metres—the vertical distance from ground level (existing) to the highest point of the building, or*
- (b) *in relation to the RL of a building—the vertical distance from the Australian Height Datum to the highest point of the building,*

*including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.*



All building elements, including air-conditioning units and other plant equipment must be designed to comply with the maximum permitted building height.

### **3.4. Woollahra Development Control Plan 2015 (Woollahra DCP 2015)**

The Woollahra DCP 2015 establishes the detailed planning and design guidelines for development across the LGA. The controls guide the bulk, scale and form of development so that it is compatible with the site conditions and the desired future character.

The main planning provisions that apply to MPE and air-conditioning units for dwellings are established in the following chapters of the Woollahra DCP 2015:

- Chapter B3 General Development Controls
- Chapter C1 Paddington Heritage Conservation Area
- Chapter C2 Woollahra Heritage Conservation Area
- Chapter C3 Watsons Bay Heritage Conservation Area
- Chapter D3 - General Controls for Neighbourhood and Mixed Use Centres
- Chapter G4 -9A Cooper Park Road, Bellevue Hill.

Each of these DCP chapters are discussed separately below.

#### **A. Chapter B3 - General Development Controls**

The controls for residential development in Chapter B3 apply to the residential zoned land in the municipality, with the exception of the Paddington, Woollahra and Watsons Bay Heritage Conservation Areas (HCA).

The main planning provisions that apply to air-conditioning units and MPE are contained in the following sections:

- B3.7.3 Site facilities
- B3.5.1 Streetscape character
- B3.5.3 Public and private views
- B3.5.4 Acoustic and visual privacy and controls.

Site facilities, MPE including lift overruns, air-conditioning units and external condensers, may be located on a roof provided they do not have adverse streetscape or amenity impacts. Key provisions require that they must:

- not be visible from the streetscape or public domain
- not unreasonably impact on the visual or acoustic amenity of adjoining properties
- suitably enclosed or screened to minimise noise impacts to adjoining properties.

#### **B. Chapter C1 Paddington Heritage Conservation Area**

In the Paddington HCA the main objectives and controls for air-conditioning units and plant equipment are established in section C1.5.11 Satellite dishes, aerials, air-conditioning units and other site facilities. The controls seek to ensure that site facilities do not detrimentally impact on the character and significance of individual buildings and the streetscape.

The DCP controls for air-conditioning and condensers in the Paddington HCA are more restrictive than controls for air-conditioning and condensers that apply to other parts of the Municipality, including the Woollahra HCA. The Paddington HCA controls reflect the significance of the HCA, the low scale terrace housing character and uniformity of building forms across the HCA.

**C. Chapter C2 Woollahra Heritage Conservation Area**

The main planning provisions that apply to MPE and air-conditioning units in the Woollahra HCA are established in section C2.5.13 Site facilities and aerial devices. Under this section air-conditioning units and ducts may be located on a roof provided it:

- retains the character of the original roofscape of the Woollahra HCA,
- protects the original fabric and details of roofs and chimneys,
- does not detrimentally impact on the character and significance of buildings or streetscape,
- is thoughtfully integrated into the development and are unobtrusive,
- is sized and designed to minimise their visual impact and impact on amenity,
- is not located on any part of the roof or chimney which is visible from the street frontage or the public domain and are visually unobtrusive to adjoining properties, and
- does not detrimentally impact on the architectural and heritage character of the building.

Under the existing controls for the Woollahra HCA, an external condenser could be located on a roof but only under specific circumstances. For example, if it was installed behind the parapet on the principal building form of a terrace so that it is not visible from the streetscape and does not impact on the heritage significance of the building or the streetscape. Council's DA and Heritage Officers identify that this a practical and suitable outcome in this HCA.

**D. Chapter C3 Watsons Bay Heritage Conservation Area.**

The Watsons Bay HCA contains important views and vistas and is characterised by a series of significant visual gateways due mainly to its topography and dramatic landscape. The roofscape of Watsons Bay is an integral component of its overall significance. A number of precincts in the HCA have controls for views and vistas to ensure that roofs are not cluttered by intrusive structures and services and do not detract from views to or from elevated areas.

The planning provisions that specifically apply to site facilities are established in sections C3.3.9 and C3.5.9 Site facilities and aerial devices. These provisions seek to retain the character of the significant roofscapes, ensure that site facilities are unobtrusive and do not adversely affect original roofs and chimneys and the character of buildings and the streetscapes. However, the provisions do not refer to MPE or air-conditioning.

**E. Chapter D3 - General Controls for Neighbourhood and Mixed Use Centres**

Chapter D3 applies to the 12 centres zoned either B1 Neighbourhood Centre or B4 Mixed Use under the Woollahra LEP. These centres predominantly consist of a mix of small scale shops and commercial premises at street level with residential dwellings above.

Under section D3.10 Site facilities, air-conditioning units, including external condensers, should not have adverse streetscape or amenity impacts. The provisions in this chapter are similar to the controls in Chapter B3 section B3.7.3. However, a key difference is that the controls in Chapter D3 do not apply more broadly to other MPE.

**F. Chapter G4 -9A Cooper Park Road, Bellevue Hill**

Chapter G4 contains site specific controls for 9A Cooper Park Road, Bellevue Hill, which also address air-conditioning unit and service equipment in section G4.2 Design and siting. These prevail over the controls in section B3.7.3 in the event of any inconsistency.

It is relevant to note that a DA has been approved on the site and construction has commenced. Accordingly, any amended controls would only apply if a modification application was lodged and the changes substantially related to roof areas and air-conditioning and plant equipment.

#### 4. Comparable controls from other Sydney Councils

In considering opportunities to strengthen our current controls we looked at other council DCPs including Waverley, Randwick, North Sydney, Mosman, Marrickville, Ku-ring-gai, City of Sydney, Canada Bay, and Northern Beaches (Manly, Pittwater and Warringah). Most of these Councils take a similar approach to us, and allow building services on rooftops provided they are suitably integrated with the building, visually screened, and are not readily visible from the public domain and surrounding properties.

The Waverley, Marrickville and Northern Beaches (Pittwater) DCPs also include the following additional provisions which seek to discourage air-conditioning units and other MPE on roofs. The table below summarises these controls.

Council	Provision
<b>Waverley DCP 2012</b>	Part C Residential Development: Sections 3.21 and 4.13 Building services  <i>To minimise visual impact by encouraging building services to be located in the basement of buildings, where practicable</i>
<b>Marrickville DCP 2011</b>	Part 2 Generic provisions: Section 2.6 Acoustic and Visual Privacy  <i>Where an air-conditioning unit cannot be located within a building, it must be concealed in a structure that has been designed or located to minimise any visual impacts and reduce noise to a level acceptable when heard from any habitable room of an adjoining/adjacent dwelling. Where an air-conditioning unit cannot be located in a building or concealed in a structure, it must be located in the rear wall of the building and be a minimum of 3 metres from any boundary of the property.</i>
<b>Pittwater DCP 2014 (Northern Beaches Council)</b>	Design Criteria for Residential Development: Section C1.25 Plant, Equipment Boxes and Lift Over-Run  <i>Where provided, plant and equipment boxes, air-conditioning units and lift overruns are to be integrated internally into the design fabric of the built form of the building. Council does not encourage air-conditioning units on the roof of residential flat buildings and multi dwelling housing.</i>

#### 5. Proposed amendments to the Woollahra DCP 2015

Based on our review, staff recommend that the Woollahra DCP 2015 is amended to:

- discourage the placement of MPE on roofs
- ensure that where it is unavoidable, the air-conditioning or plant equipment is suitably located and designed so that it does not create visual clutter, is not visible from the street/ public domain and does not impact on amenity.

This approach discourages development on roofs but also provides more flexibility than the Waverley, Marrickville and Northern Beaches DCPs. It is necessary to provide some flexibility as there will be circumstances where it is not reasonable to locate the MPE internally or on other parts of the building or site. For example:

- The MPE requires air intake and outflow rates that cannot be readily achieved if located in a basement.
- A site may need to respond to potential issues such as flood prone area, and MPE may not be safely placed in a basement.

In all circumstances, the primary objective for MPE is to ensure that it is suitably located so that it does not compromise streetscape, roofscape and amenity outcomes. Attached at **Annexure 1** is a draft DCP which details the proposed controls to multiple chapters in Woollahra DCP 2015. These proposed controls were prepared in collaboration with Council's DA and Heritage Officers. Comments in the right hand column, contain a brief explanation of the proposed provisions.

The table below summarises the proposed amendments.

Chapter and section	Summary of proposed amendments
Chapter B3 - General Development Controls <i>Section B3.7.3 Site facilities</i>	Insert new control to discourage MPE on roofs but allow for a variation to this under specified circumstances provided that it does not result in adverse impacts on the streetscape or amenity.
Chapter C1 - Paddington HCA <i>Section C1.5.11 Satellite dishes, aerials, air-conditioning units and other site facilities</i>	Minor amendments to fine-tune existing objectives, and delete or modify controls that are difficult to reasonably achieve on the small and narrow lots characteristic of the Paddington HCA.  The proposed changes are consistent with the existing objectives and do not compromise streetscape or private amenity.
Chapter C2 - Woollahra HCA <i>Section C2.5.13 Site facilities and aerial devices</i>	Minor amendments to fine-tune existing objectives and controls.  <i>Note: The existing provisions are suitable and practical in addressing heritage, streetscape and private amenity impacts. Controls to further restrict or prevent the installation of air conditioners and condenser units are not supported and may be unreasonable given the small lot sizes and character of existing building forms in this HCA.</i>
Chapter C3 - Watsons Bay HCA <i>Sections C3.3.9 and C3.5.9 Site facilities and aerial devices</i>	Insert controls for MPE (which includes air-conditioning and external condensers) to address streetscape and private amenity impacts.
Chapter D3 General Controls for Neighbourhood and Mixed Use Centres <i>Section D3.10 Site facilities</i>	Insert control to identify that MPE should not be located on roofs, but allow for variations under specified circumstances. This will increase consistency with Chapter B3 when assessing DAs with similar streetscape and amenity impacts.
Chapter G4 -9A Cooper Park Road, Bellevue Hill <i>Section G4.2 Design and siting of development</i>	Introduce control to require consideration of the visual impacts of air-conditioning and MPE.

*Note: Council staff will amend the Woollahra DA Guide: Section 2.4 Plans, Elevations and Sections to identify that MPE must be shown on all plans, elevations and sections. This may help to remove any ambiguity about the need to show the location and treatment of plant equipment on plans and may also increase awareness of the need to integrate MPE into the overall building design.*

## 6. Next steps

If Council decides to support amending the Woollahra DCP 2015, the next step is exhibit the draft development control plan. The process for amending a DCP is set out in the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2000*, and the *Woollahra Community Participation Plan 2019*.

The draft DCP must be publicly exhibited for a minimum of 28 days. Public notice will be given in the Wentworth Courier and on Council's public website each week of the exhibition. The outcome of public exhibition will be reported to a future meeting of the Environmental Planning Committee.


## 7. Conclusion

In response to the Notice of Motion adopted on 24 February 2020, staff have reviewed the planning controls for air-conditioning and other MPE on residential rooftops.

Based on this review, staff have identified opportunities to strengthen the existing objectives and controls in the Woollahra DCP 2015. The proposed amendments seek to provide a control set that is reasonable, provides for practical design solutions, and ensures that air-conditioning and other MPE does not detract from the public domain, streetscape or impact on private amenity.

Staff recommend that Council resolve to exhibit the *Draft Woollahra Development Control Plan 2015 (Amendment No 15)* as contained in **Annexure 1**.

## Annexures

1. Draft Woollahra DCP 2015 (Amendment No 15) for air-conditioning and mechanical plant equipment [↓](#) 





## Political Donations: Matters to be considered by Councillors at Council and/or Committee Meetings

