

# Relevant Extracts from the Woollahra DCP 2015

To accompany Woollahra Draft DCP  
Amendments No.14 and No.16

May 2021

*Annotations:*

Insertions – identified in blue and underlined

~~Deletions – identified in red and scored through~~

Notes in the right hand margin of each section identify the source of the proposed amendments

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## Part B ► General Residential

WOOLLAHRA DEVELOPMENT CONTROL PLAN 2015



# Chapter B1

## Residential Precincts

Part B ► General Residential

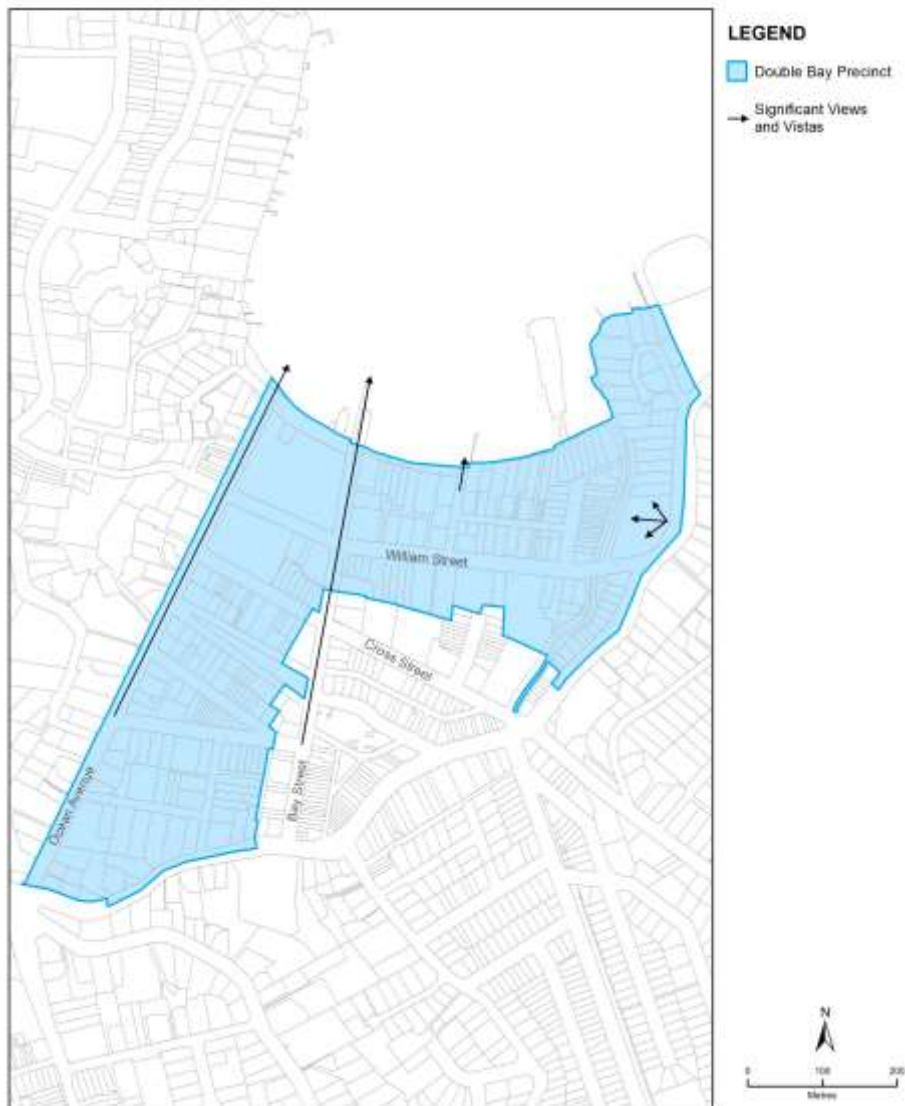
CHAPTER B1 APPROVED ON 27 APRIL 2015  
AND COMMENCED ON 23 MAY 2015

Last amended on 7 December 2020



### B1.3 Double Bay Precinct

MAP 3 Double Bay Precinct



### B1.3.1 Precinct character statement

The Double Bay residential precinct is located to the north and west of the Double Bay centre and includes the Double Bay Public School and 'Steyne Park' between the school and the waterfront. It also includes Council's local history library within Foster Park and a child care centre.

The Double Bay precinct has a strong feeling of community and convenience due to the facilities located within the precinct and the proximity of the adjacent town centre.

The precinct sits within a low lying basin, framing the Double Bay foreshore. The precinct is notable for both the density of its built form and its green landscape character. The tree canopy, formed by both street trees and private plantings, is a prominent element in the municipality's presentation from Sydney Harbour and should be maintained.

The street pattern allows for long views to the harbour, and distant views to surrounding hillsides. Three major streets dominate the precinct: the curvilinear New South Head Road which forms an edge to the precinct to the south; Ocean Avenue, the north-south oriented boulevard that divides Double Bay from the hillside of Darling Point; and the east-west oriented William Street. Due to the topography and location, each of these major streets presents unique settings within the broader common elements of the precinct.

The precinct contains dwelling houses, terraces (attached dwellings) and residential flat buildings, including a number of Inter-War flat buildings that make a significant contribution to the precinct character. The quality of buildings within the precinct represents an evolution and mix of building styles that often maintain a consistent scale across both sides of the street.

### B1.3.2 Desired future character

The precinct is an established area comprising many residential flat buildings. Development will generally be in the form of improvements to the existing residential flat buildings.

There are a significant number of Inter-War flat buildings that contribute to the precinct character and are worthy of retention, especially around William Street, New South Head Road and Gladswood Gardens. Alterations and additions to the Inter-War flat buildings are to retain the character of the original building through appropriate use of materials, and should not significantly alter significant and traditional building elements visible from the street.

New development on sites in the R2 Low Density Residential zones along Guilfoyle Street, Cooper Street and the southern side of William Street are to be well-designed and address the street so that development make a positive contribution to the public domain.

On sloping land, new development should step down the site to reinforce the topography and minimise cut and fill. Attention must also be given to protecting views, particularly views from public spaces down Ocean Avenue, Bay and Beach Streets to the harbour, and views from New South Head Road to the harbour.



### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the rich mixture of architectural styles and building forms;
- b) the topography and the siting of development on New South Head Road, which descends into (and ascends out of) the Double Bay centre;
- c) well established gardens and trees including the avenue plantings in Ocean, Guilfoyle and South Avenues, Bay Street and William Street;
- d) the established tree canopy;
- e) the harbour views and view corridors from public places;
- f) the character of Inter-War flat buildings; and
- g) the heritage significance of the adjoining Transvaal Avenue Heritage Conservation Area.

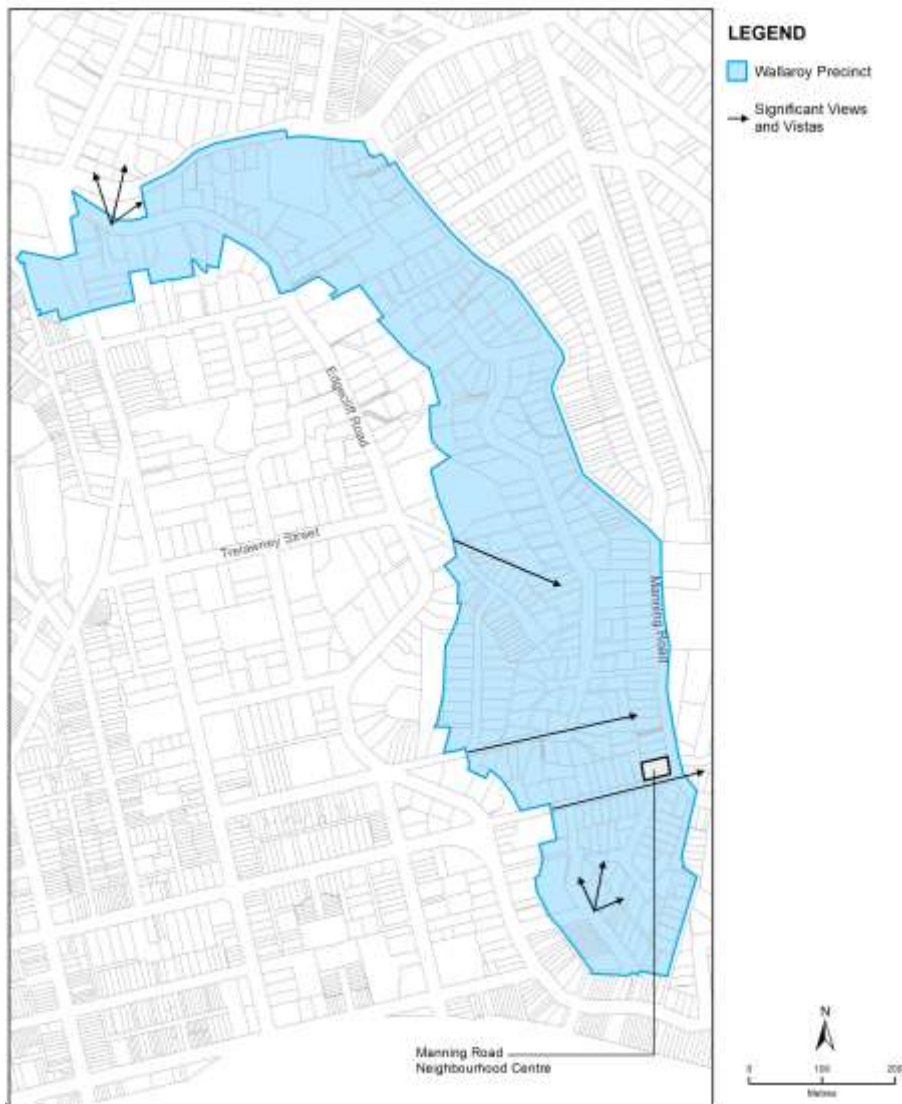
### Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To reinforce a consistent building scale within streets.
- O3 To design and site buildings to respond to the topography and minimise cut and fill.
- O4 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings, incorporating modulation and a varied palette of materials.
- O5 To ensure that rooflines sit within the predominant street tree canopy.
- O6 To maintain the significance of heritage items within the precinct, and the character of the adjoining Transvaal Avenue Heritage Conservation Area.
- ~~O7 To ~~retain encourage the retention of~~ Inter-War flat buildings, particularly significant and traditional building elements visible from the street.~~
- O8 To provide a transition between the higher density buildings of the Double Bay centre and the lower density buildings of the residential area.
- O9 To retain and reinforce the green setting of mature street trees, private trees and garden plantings.
- O10 To protect important iconic and harbour views from the public spaces.
- O11 To maintain on-street parking and minimise kerb crossings, particularly on Bay Street and Ocean Avenue.

**Commented [DCP1]:** Enhance O7 to address the retention of Inter-War flat buildings.

## B1.4 Wallaroy Precinct

MAP 4 Wallaroy Precinct



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### B1.4.1 Precinct character statement

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The Wallaroy precinct is sited along a ridgeline and hillside overlooking Double Bay and Sydney Harbour. The precinct extends from the valley floor at Manning Road to the main arterial road at New South Head Road and the Woollahra Heritage Conservation Area adjacent to Edgecliff Road.

The steeply sloping topography allows for expansive views from the streets as they wind down the hill from Edgecliff Road.

This is a predominantly low density residential precinct. It contains a mix of mainly one and two storey dwelling houses along Wallaroy Road, the eastern part of Attunga Street, Milton Avenue and the western side of Manning Road. There are some two storey houses with garaging underneath in Manning Road and Linden Avenue, establishing a three storey presentation to the street.

Residential flat buildings are located in the northern part of the precinct towards New South Head Road, and in the western and southern parts of the precinct towards Edgecliff Road and Bondi Junction.

### B1.4.2 Desired future character

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Development is to establish a transition from the large subdivisions and residential flat buildings at New South Head Road and Edgecliff Road to the dwelling houses situated on the slopes.

There is a mix of old and new buildings within this precinct. Alterations and additions to the period houses should retain key elements of the original buildings, including sense of the spacious grounds, setbacks and traditional roof forms, as viewed from the street.

New dwellings may have contemporary designs, but should not detract from adjoining period housing or the predominant character of the streetscape immediately surrounding the site. Particular consideration should be given to establishing consistent front and side setbacks, and providing compatible materials, roof forms and street walls.

On sloping sites, development should step down the site to maintain views, protect the privacy and solar access of adjoining and adjacent properties, and minimise cut and fill.

Residential flat buildings are permitted in the northern part of the precinct up to a height of six storeys. Where these sites adjoin properties with a lower height limit, development is to establish a sympathetic transition to the boundaries; this may be through a graduation of building bulk and height, increased setbacks, or both.

Development adjacent to the Woollahra Heritage Conservation Area must suitably respond to the significance of the HCA.

### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the period housing, including large Federation and Inter-War houses set within spacious grounds;
- b) pitched roof or articulated roof forms;
- c) the stepping of development on the hillside;
- d) well established private gardens and trees;
- e) grassed verges and mature street trees;
- f) sandstone garden walls at the street;
- g) the highly visible tree canopy providing a dense green backdrop to views from Sydney Harbour and surrounding lands; ~~and~~
- h) the preservation of view corridors from public places, including view corridors between buildings; ~~and~~
- i) Inter-War flat buildings.

**Commented [DCP2]:** Include Inter-War flat buildings as key elements of the precinct.

### Desired future character objectives

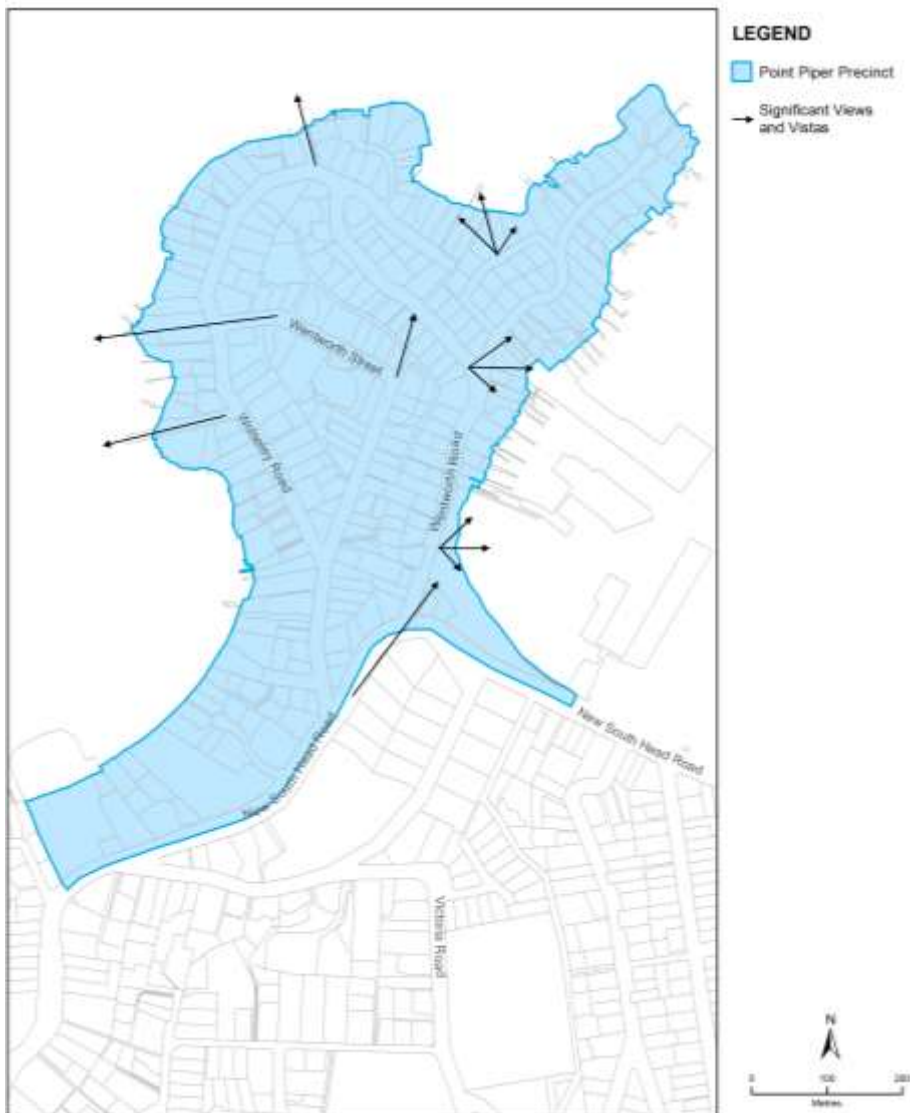
- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To establish a development transition from the large residential flat buildings and lots at New South Head Road and Edgecliff Road to the smaller dwelling houses situated on the slopes.
- O3 To design and site buildings to respond to the topography and minimise cut and fill.
- O4 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings, incorporating modulation and a varied palette of materials.
- O5 To protect iconic, harbour and other significant views from the public spaces of the precinct.
- O6 To promote view corridors between buildings to significant views, particularly harbour views.
- O7 To ensure that development on the western boundary of the precinct does not have an adverse impact on the heritage significance of the adjoining Woollahra Heritage Conservation Area.
- O8 To retain and reinforce the green setting of mature street trees, private trees and garden plantings.

- O9 To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.

**Commented [DCP3]:** Add a new objective to address the retention of Inter-War flat buildings.

## B1.6 Point Piper Precinct

MAP 6 Point Piper Precinct



### B1.6.1 Precinct character statement

The Point Piper precinct is a prominent peninsula on Sydney Harbour between Double Bay and Rose Bay. The location provides extensive views across the harbour and surrounding harbourside suburbs.

The precinct contains a range of housing types and styles including an excellent group of Inter-War flat buildings at Longworth Avenue (substantially retained in their garden settings), large post World War II ~~apartment-flat~~ buildings at Wolseley Road, and more recent substantial harbourside houses on large lots (including battle-axe lots).

**Commented [DCP4]:** Amend terminology for consistency with other sections of the DCP.

However, the streetscapes within the precinct vary in quality, and often front fences, walls and garages fronting the street block harbour views from the footpath.

### B1.6.2 Desired future character

The Point Piper precinct is an established residential area with a mixture of architectural styles and forms. It contains both R2 Low Density and R3 Medium Density Residential zoned land.

In the areas zoned R2, development will generally take the form of dwelling houses set within landscaped garden settings. Development must provide opportunities for view sharing from both public spaces and private properties. In particular, buildings should step down the site, also minimising cut and fill. The design of roofs, garages and fences should also facilitate view sharing opportunities and must not dominate the streetscape.

Development on the low side of the street should also contribute to maintaining a consistent front setback, generally set as a 4 metre setback.

Properties at 10, 12 and 14 Longworth Avenue must establish a single storey presentation to the street and provide for view sharing to surrounding properties.

The western side of the peninsula is predominantly zoned R3 zoning, and development for residential flat buildings and multi dwelling housing is encouraged.

The area between Longworth Avenue and Wunulla Road comprises a number of well maintained Inter-War flat buildings. These buildings make a significant contribution to the streetscape. Alterations and additions to these Inter-War flat buildings are to retain the character of the original building through appropriate use of materials, and should not significantly alter significant and traditional building elements visible from the street.

#### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the rich mixture of architectural styles and forms;
- b) views and glimpses of the harbour between buildings from public spaces;
- c) the stepping of development down the hillside;

- d) well established private gardens and trees;
- e) mature street trees;
- f) stone and brick retaining walls on public and private land; and
- g) Inter-War flat buildings.

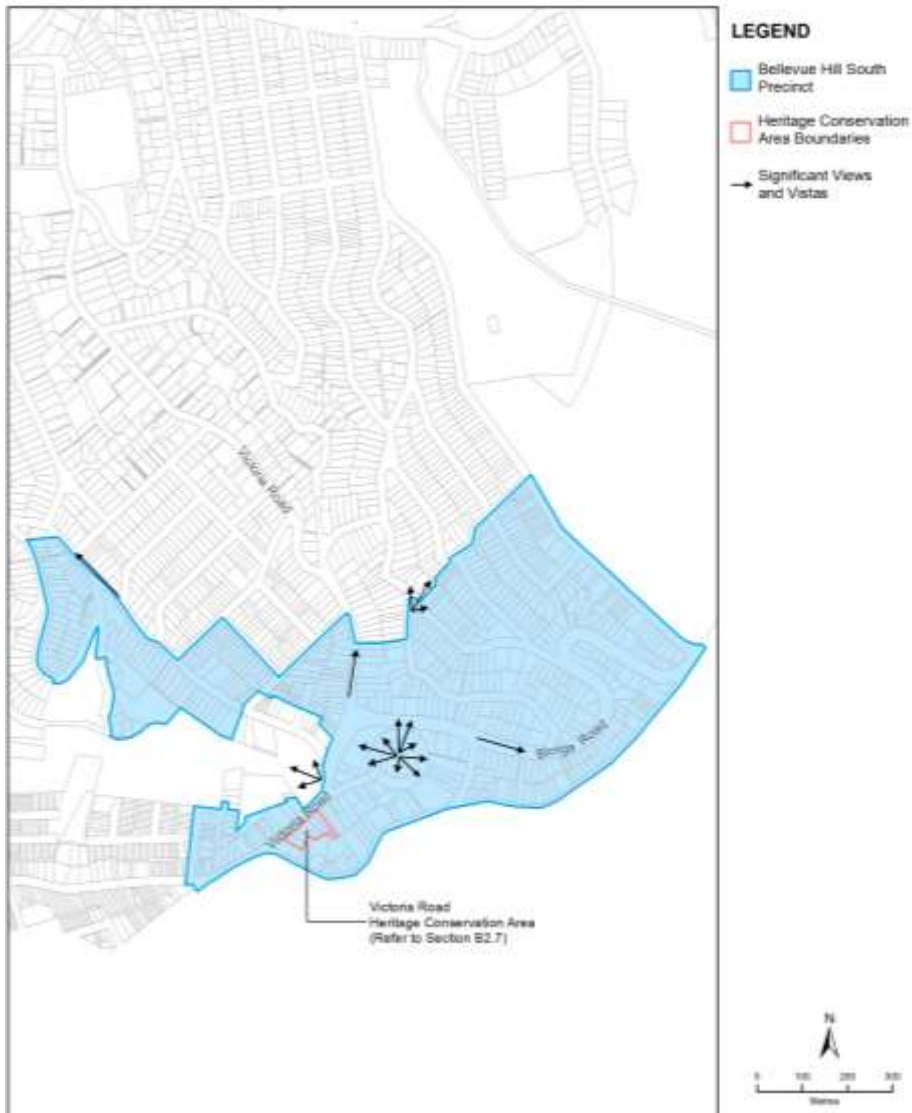
#### Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings, incorporating modulation and a varied palette of materials.
- O3 To ensure that development on the low side of the street maintains a consistent front setback.
- O4 To design and site buildings to respond to the topography and minimise cut and fill.
- O5 To protect iconic and harbour views from the street and other public spaces in the precinct, including views between buildings and over or through front fences.
- O6 To ensure that development facilitates view sharing to adjoining and adjacent private properties.
- O7 To maintain the sense of the historic grand estates by retaining the garden settings and streetscape elements.
- O8 To ~~retain~~ **encourage the retention of the** Inter-War flat buildings, particularly significant and traditional building elements visible from the street.
- O9 To retain and reinforce the stone and brick retaining walls that characterise the sloping streets of the precinct.

**Commented [DCP5]:** Enhance Objective O8 to address the retention of Inter-War flat buildings.

## B1.7 Bellevue Hill South Precinct

**MAP 7** Bellevue Hill South Precinct





### B1.7.1 Precinct character statement

The Bellevue Hill South precinct is sited along the ridgeline and plateau of Bellevue Hill. The precinct contains a wide range of housing types and styles. As with many of the residential areas across the municipality, the built fabric is set within a landscaped setting.

Land within this precinct is zoned R3 Medium Density Residential, but the form and scale of buildings vary from the Inter-War flat buildings and more recent ~~apartment~~ flat buildings to low density dwelling houses and semi-detached dwellings.

**Commented [DCP6]:** Amend terminology for consistency with other sections of the DCP.

The street pattern in this part of Bellevue Hill responds to the nature of the landform, curvilinear in hillside areas, and rectilinear in flat areas. Distant views to the city skyline and the harbour are available from some parts of the precinct.

The precinct contains a number of street types in an identifiable hierarchy, and the precinct is generally divided into two sections based on the road hierarchy.

The main roads include Birriga Road, Old South Head Road, Victoria Road and Bellevue Road. Development along these roads is characterised by Inter-War and contemporary residential flat buildings, interspersed with semi-detached and detached dwelling houses. The housing stock includes original dwellings from the early 20th century and Inter-War period with more substantial contemporary dwelling houses.

Development along the local roads contains a mix of dwelling houses, semi-detached houses, multi-dwelling housing and residential flat buildings. Development on the sloping sites steps down the hillside. The precinct contains a diverse mix of building styles from early 20th century buildings to well-designed contemporary buildings.

The precinct also incorporates, or is adjacent to, significant public parklands and open spaces. The upper part of Cooper Park, the Woollahra Golf Course and Bellevue Park all contribute to the identity of the precinct.

### B1.7.2 Desired future character

New development on the major streets of Birriga Road, Victoria Road and Old South Head Road will generally take the form of residential flat buildings and multi dwelling housing, and maintenance of existing Inter-War flat buildings. New development should be designed to step down sloping sites and provide side boundary setbacks that allow for views between buildings. Development should not detract from the amenity of adjoining and adjacent lower density forms of residential development.

Development along the local roads will provide a mix of housing densities and styles in well designed contemporary buildings, which reinforce the natural topography and provide opportunities for view sharing. This may include multi-dwelling housing, attached dwellings and dwelling houses in the transition area at Boronia Street, Blaxland Road and the northern side of Bundarra Road, and semi-detached dwellings, as well as dwelling houses, in Pringle Place and Buller Street.

Development must provide opportunities for view sharing from both public spaces and private properties. In particular, buildings should step down the site, also minimising cut and fill.

#### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the rich mixture of architectural styles and forms;
- b) the stepping of development down the hillside;
- c) interconnected streets following the contours of the land;
- d) deep soil landscaping within the front and rear setbacks;
- e) mature street trees and grassed verges;
- f) the highly visible tree canopy providing a dense green backdrop to views from Sydney Harbour and surrounding lands; ~~and~~
- g) the preservation of views from public places, including view corridors between buildings; ~~and~~
- h) Inter-War flat buildings.

**Commented [DCP7]:** Insert Inter-War flat buildings as key elements of the precinct.

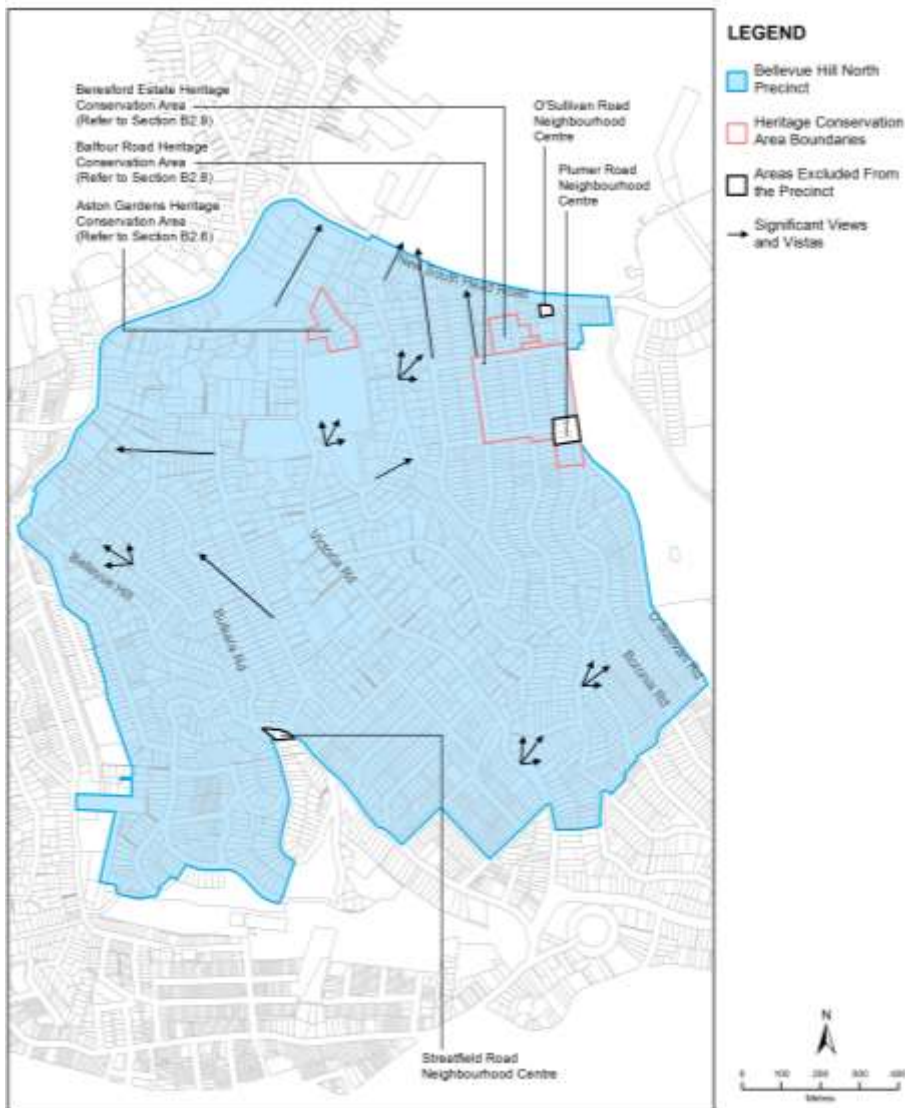
#### Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings, incorporating modulation and a varied palette of materials.
- O3 To establish a transition of development scale from the detached dwelling houses at the northern end of Bellevue Hill to the residential flat buildings that address the major streets - Birriga Road, Old South Head Road and Victoria Road - situated along the precinct ridgeline.
- ~~O4 To retain ensure that alterations and additions to the~~ Inter-War flat buildings ~~and ensure that alterations and additions~~ do not detract from the character of these buildings and their presentation to the street.
- O5 To design and site buildings to respond to the topography and minimise cut and fill.
- O6 To preserve significant views and vistas to surrounding areas from the streets and parks.
- O7 To reinforce the landscape setting and maintain the existing tree canopy.

**Commented [DCP8]:** Enhance objective O4 to address the retention of Inter-War flat buildings.

## B1.8 Bellevue Hill North Precinct

MAP 8 Bellevue Hill North Precinct



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### B1.8.1 Precinct character statement

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The Bellevue Hill North precinct is sited on the slopes and plateau of Bellevue Hill. New South Head Road, the main arterial road, forms the northern edge of the precinct.

The precinct contains three distinct settings:

- ▶ the edge development fronting New South Head Road (between Bellevue Road and Victoria Road) which contains predominantly substantial residential flat buildings set behind sandstone walls, garages and steps;
- ▶ development opposite the Rose Bay promenade on New South Head Road, typically large detached buildings within a landscape setting; and
- ▶ the one to three storey dwelling houses and residential flat buildings set in the winding streets that follow the contours of Bellevue Hill.

As with many of the higher parts of the municipality, significant views and vistas are available from many of the public spaces. This precinct also contains two large private school campuses: Cranbrook School and Scots College.

### B1.8.2 Desired future character

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The Bellevue Hill North precinct is an established residential area with a rich mixture of architectural styles and forms. Development is to be compatible with the existing built fabric, subdivision pattern and other prevailing characteristics in the street, such as setbacks and roof forms.

On sloping sites, development should step down the site to maintain views, protect the privacy and solar access of adjoining and adjacent properties, and minimise cut and fill. The design of roofs and fences should also facilitate view sharing opportunities, and carports and other parking structures must not to dominate the streetscape.

There are pockets of Inter-War flat buildings along Drumalbyn Road that contribute to the precinct character, and the retention of these buildings is encouraged. Alterations and additions to the Inter-War flat buildings are to retain the character of the original building through appropriate use of materials, and should not significantly alter significant and traditional building elements visible from the street.

Development is to retain views of the harbour from public spaces and provide for view sharing from private properties. Development adjacent to the heritage conservation areas must also suitably respond to the significance of the HCA.

### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the rich mixture of residential architectural styles and forms, including dwelling houses and residential flat buildings;
- b) the relationship of development along New South Head Road to the promenade and the harbour;
- c) buildings set within highly visible gardens;
- d) the tree canopy formed by both street and private yard plantings;
- e) mature street trees, grassed verges and sandstone walls;
- f) harbour views available from the streets within the precinct; ~~and~~
- g) the heritage significance of the adjoining Aston Gardens, Beresford Estate and Balfour Road Heritage Conservation Areas; ~~and~~
- h) Inter-War flat buildings.

**Commented [DCP9]:** Insert Inter-War flat buildings as key elements of the precinct.

### Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings incorporating modulation and a varied palette of materials.
- O3 To maintain a transition of development scale from the residential flat buildings that address New South Head Road, to the dwelling houses that dominate the majority of the precinct.
- O4 To reinforce a consistent building scale with streets.
- O5 To ensure that development responds in form and siting to the street and subdivision pattern.
- O6 To design and site buildings to respond to the topography and minimise cut and fill.
- O7 To reinforce the landscape setting and maintain the existing tree canopy which forms a green backdrop when viewed from the harbour and the surrounding districts.
- O8 To retain and reinforce the green setting of mature street trees, private trees and garden plantings and minimise hard stand areas.
- O9 To protect important views from the public spaces of the precinct to the harbour and city skyline, including view corridors between buildings.
- O10 To ensure that development facilitates view sharing to adjoining and adjacent private properties.
- O11 To ensure on-site parking does not dominate the streetscape.

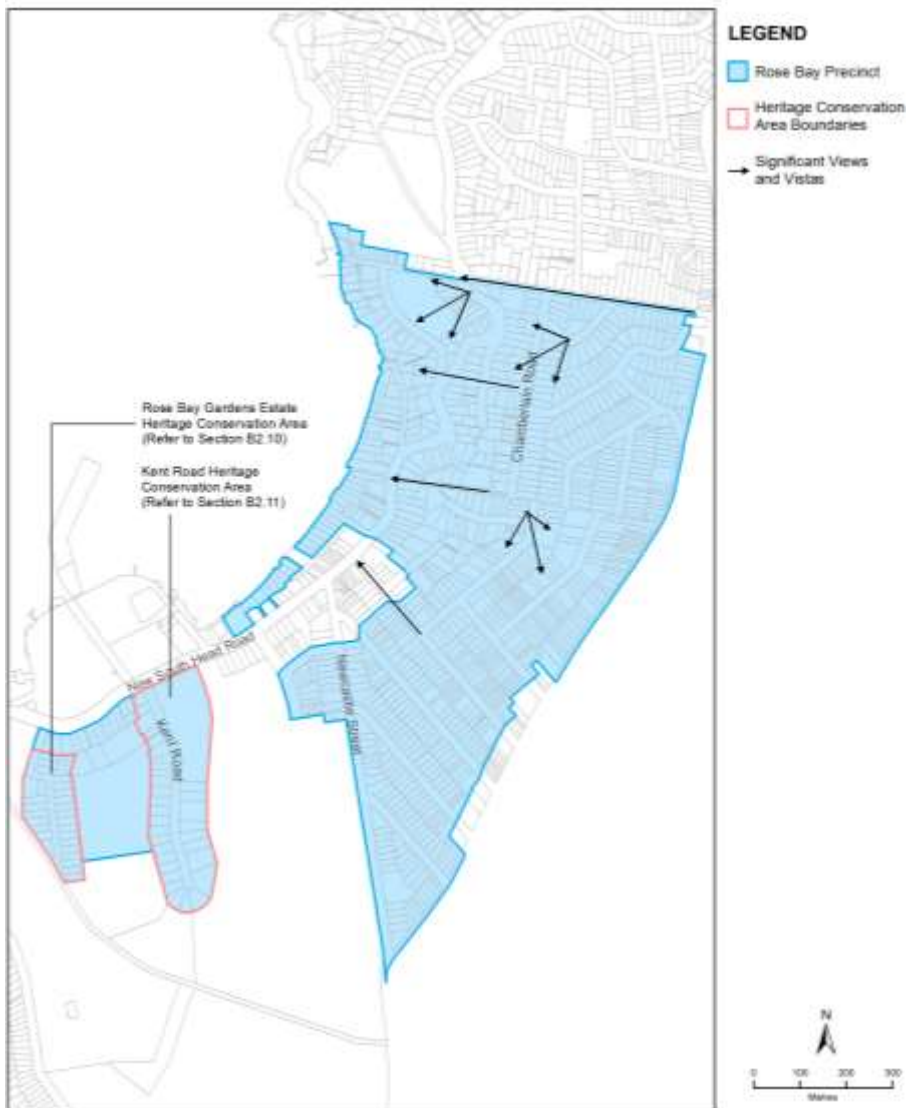
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**O12** To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.

**Commented [DCP10]:** New objective to address the retention of Inter-War flat buildings.

## B1.9 Rose Bay Precinct

**MAP 9** Rose Bay Precinct



### B1.9.1 Precinct character statement

The Rose Bay residential precinct incorporates the hillside at the neck of the eastern suburbs peninsula and the lowest part of the Rose Bay basin (adjacent to the large park and recreational area). The street block system in the low lying areas is generally rectilinear, allowing for regular building lots. On the hillsides, irregular street and block patterns occur reflecting the topography.

Prominent building types within the precinct include Inter-War detached housing and Art Deco ~~apartment~~ flat buildings. More recent development, particularly in Spencer and Carlisle Streets, has seen the subdivision pattern altered to create larger lots for residential flat buildings.

**Commented [DCP11]:** Amend terminology for consistency with other sections of the DCP

The Rose Bay residential precinct is sited between the two main urban connectors of Old South Head Road and New South Head Road. The Rose Bay Centre is located on New South Head Road in the western part of the precinct. The mixed use centres of Rose Bay North and Rose Bay South are located on Old South Head Road. These centres frame the precinct and serve the daily and weekly shopping needs of the local community.

This precinct also includes the Kambala School, Lyne Park and the Royal Sydney Golf Club.

### B1.9.2 Desired future character

This precinct includes land zoned R2 Low Density Residential and R3 Medium Density Residential. Most of the R3 Medium Density Residential land is located near the business centres and the main connector roads. Although much of this R3 zoned land currently contains many dwelling houses, this area is identified for change and will be redeveloped for medium density residential uses such as residential flat buildings, manor houses, multi dwelling housing, multi dwelling housing (terraces) and attached dwellings.

In particular, there is opportunity for redevelopment along Old South Head Road, with a view to providing a greater intensity of development adjacent to this classified road.

The residential areas zoned R2 Low Density Residential will continue to experience an evolution of residential building styles through the introduction of well-designed contemporary dwelling houses, which reinforce the natural topography and provide opportunities for view sharing.

On the hillsides and steeply sloping sites, the built form should step with the land to ensure development reflects the existing topography and minimises the need for excavation.

#### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the rich mixture of residential architectural styles and forms, including dwelling houses and residential flat buildings;
- b) the pattern of rectilinear residential streets within the valley basin, and curvilinear streets in the steeper areas;



- c) dwelling houses set within highly visible gardens;
- d) the visual relief within streetscapes provided by the separation of buildings, the articulation of facades and building forms;
- e) the tree canopy formed by both street and private yard plantings;
- f) sandstone garden walls at the street;
- g) the relationship of residential development to the open spaces (including Lyne Park and the Royal Sydney Golf Club) and the harbour; ~~and~~
- h) the iconic and harbour views available from the streets and other public spaces, including view corridors between buildings; ~~;~~ and
- i) Inter-War flat buildings.

#### Desired future character objectives

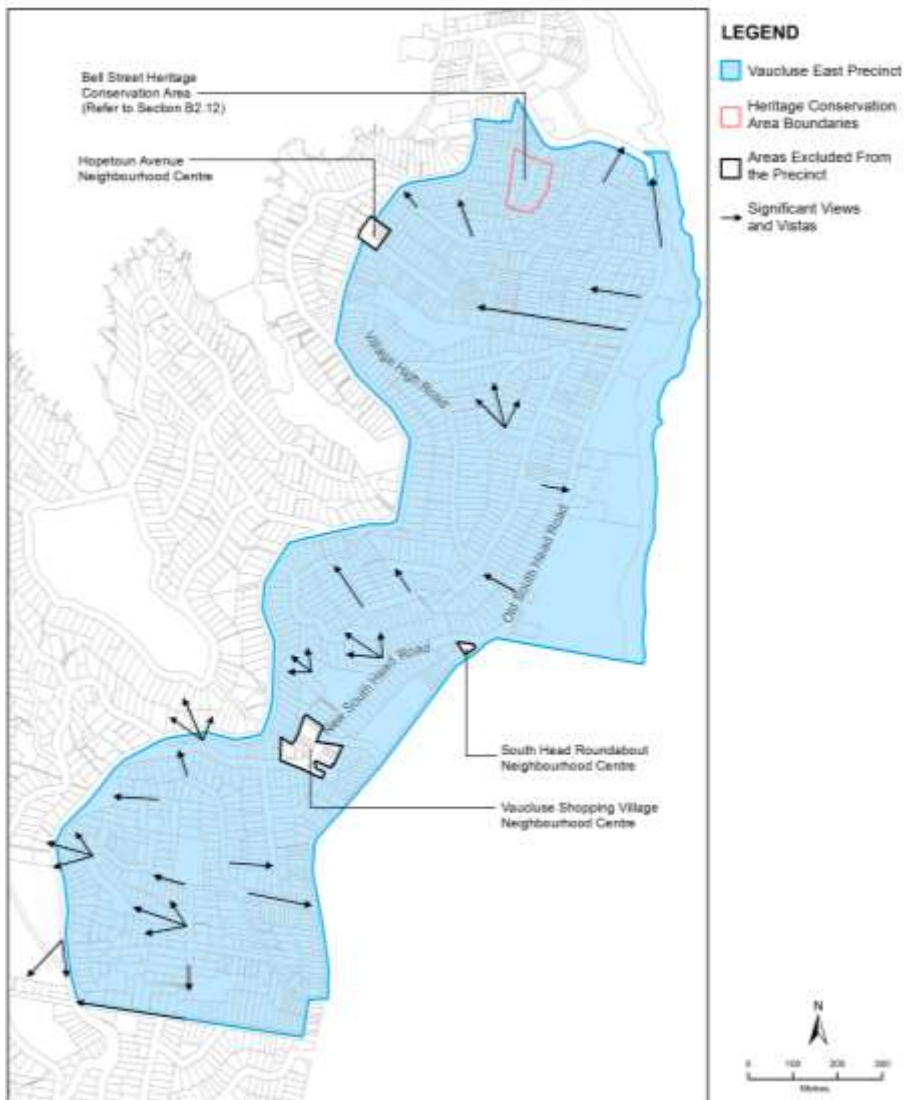
- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To encourage development at a scale which relates to the function and role of the streets they address, i.e. larger scale development on the major streets (Old South Head Road and New South Head Road adjacent to the commercial centre) and a range of housing types on the minor streets.
- O3 To provide for an evolution of building stock from dwelling houses to medium density development in the R3 zoned areas.
- O4 To maintain the evolution of residential building styles through the introduction of well designed contemporary buildings incorporating modulation and a varied palette of materials.
- O5 To reinforce a consistent building scale within streets.
- O6 To design and site buildings to respond to the topography and minimise cut and fill.
- O7 To protect important iconic and harbour views from the public spaces of the precinct.
- O8 To reinforce the landscape setting and maintain the existing tree canopy.
- O9 To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.

**Commented [DCP12]:** Insert Inter-War flat buildings as key elements of the precinct.

**Commented [DCP13]:** New objective to address the retention of Inter-War flat buildings.

## B1.11 Vaucluse East Precinct

MAP 11 Vaucluse East Precinct



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### B1.11.1 Precinct character statement

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The Vaucluse East Precinct comprises an elevated plateau which provides an extensive backdrop and significant scenic presentation to Sydney Harbour along its eastern foreshore.

A spectacular feature of the precinct is the public foreshore land on the eastern side of Old South Head Road which contains the Macquarie Lighthouse, a prominent harbour landmark and parkland. The highest parts of the precinct afford 360° views of both the harbour and ocean. Vantage points include Johnsons Lookout, Samuel Park, Gap Park, Christison Park and Lighthouse Reserve.

The precinct contains a wide range of housing types and styles reflecting important stages in its development. Large areas are characterised by Federation and Inter-War bungalows. Inter-War residential flat buildings are also important contributors to the local character. However, the dominant development type is the dwelling house, located within a garden setting and highlighted by consistent street setbacks and side setbacks that allow for views between buildings.

The precinct's exposed location at the plateau of the peninsula has resulted in a sparser foliage and tree canopy compared with the more protected streets of the Vaucluse West precinct.

### B1.11.2 Desired future character

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The Vaucluse East precinct is to maintain the evolution of low density residential development, generally through the introduction of well-designed contemporary dwelling houses.

Development may be three storeys, but should establish a two storey presentation to the street with a reduced scale on the third floor, which will help reduce building bulk and scale.

On sloping sites, development should step down the site to maintain views, protect the privacy and solar access of adjoining and adjacent properties, and minimise cut and fill.

The built form should not detract from the unique features of the natural landscape, or be of such a scale that it dominates adjoining development, or is visually intrusive when viewed from the streetscape or the harbour.

In particular development is to retain views of the harbour from public spaces and provide for view sharing from private properties; these can be achieved by providing suitable side boundary setbacks and fencing, roof forms and thoughtful distribution of building form across the site.

Within this precinct, some land fronting Old South Head Road is zoned R3 Medium Density Residential, and may provide opportunities for renewal of existing building stock.

### Streetscape character and key elements of the precinct

Development respects and enhances the existing elements of the neighbourhood character that contribute to the precinct including:

- a) the relationship of the precinct to the coastal parklands;
- b) the rich mixture of architectural styles, and their emphasis on their connection to the landform;
- c) buildings set within highly visible gardens;
- d) buildings addressing the street; ~~and~~
- e) the iconic and harbour views available from the streets of the precinct, including view corridors between buildings; ~~and~~
- f) Inter-War flat buildings.

**Commented [DCP14]:** Insert Inter-War flat buildings as key elements of the precinct.

### Desired future character objectives

- O1 To respect and enhance the streetscape character and key elements of the precinct.
- O2 To retain the scenic qualities provided by the dramatic topography and natural vegetation within the precinct.
- O3 To maintain the evolution of low rise residential building styles through the introduction of good contemporary buildings incorporating modulation and a varied palette of materials.
- O4 To minimise building bulk and scale of three storey development by designing development to generally present as a two storey form to the street.
- O5 To design and site buildings to respond to the topography and minimise cut and fill.
- O6 To protect important views from the public spaces of the precinct to the harbour and the city skyline, including view corridors between buildings.
- O7 To reinforce the landscape setting and maintain the existing tree canopy.
- O8 To retain and reinforce the green setting of mature street trees, private trees and garden plantings.
- O9 To retain Inter-War flat buildings, particularly significant and traditional building elements visible from the street.

**Commented [DCP15]:** New objective to address the retention of Inter-War flat buildings.

## Chapter B3 General Development Controls

Part B ► General Residential

CHAPTER B3 APPROVED ON 10 APRIL 2017  
AND COMMENCED ON 19 APRIL 2017

Last amended on 2 January 2019



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### B3.8.7 Inter-War flat buildings

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Inter-War flat buildings were constructed in many parts of the Woollahra LGA. Many of these buildings make an important historic, aesthetic, social and technical contribution to the character of areas and to the historical development of the area.

Inter-War flat buildings are defined as two storeys or more and containing two or more dwellings, constructed in the period circa 1918 to circa 1950.

This definition includes years outside the recognised 'Inter-War period' of 1918 to 1939. This is to recognise a building type and not exclusively buildings constructed between certain years. This building type is distinguishable by common characteristics and styles. There are many examples of residential flat buildings with these characteristics that were constructed after 1939.

There are numerous cohesive groups and one-off examples that demonstrate the key characteristics of architectural styles of the Inter-War period including Art Deco, Mediterranean, Georgian Revival, Spanish Mission, Skyscraper Gothic and Functionalist. Many of the Inter-War flat buildings across the LGA were designed by prominent architects such as Leslie Wilkinson, Emil Sodersten, Aaron Bolot, Eric Clarke Pitt, John R. Brogan and Samuel Lipson.

Externally, many buildings and their settings are substantially intact. Modern day renovation trends that include rendering or bagging face brick, altering window patterns and enclosing balconies have detrimental impacts on the character of these buildings, particularly their aesthetic values, and also on the general streetscape.

#### Streetscape

The streetscape is the connection between the private and public domain. The character of the Inter-War flat building streetscapes is their consistency in architectural style, scale, form, front and side setbacks, finishes and materials. In streets characterised by Inter-War residential building development, the subdivision pattern and regular separation of buildings often provides public views to surrounding areas and landmarks.

#### Landscaped area

The landscaped garden setting is an important element of Inter-War flat buildings and contributes to the character of the building and its setting. The garden setting usually comprises perimeter planting in narrow strips along the front of the buildings and along the side boundary fences framing a small lawn area in front of the buildings.

#### Building form

The predominant plan form of principal buildings is of a stepped nature with bays, indents, verandahs, balconies and other elements to break up the mass of the building and in particular the street front elevation.

Highly characteristic detailing defines each style within the Inter-War period and contributes to the building's character. Each style can be characterised by the following elements:

- Art Deco: Face brickwork, vertical and horizontal brick fins, decorative stepped parapets, symmetry, three dimensional massing, geometric curves.

- 
- Mediterranean: Rendered and lime washed walls, round or Marseille tiles, accents of classical detail such as round arches, timber shutter, ornate fine ironwork railings.
  - Georgian Revival: Symmetry, fine face brickwork, 12 pane windows, repetitive fenestration, semi-circular headed windows, classical columns and pediments.
  - Spanish Mission: Plain rendered or textured stucco with concentrations of ornament, gabled roofs with curved parapets, half-round terra cotta tiles, triple arch windows, 'barley-sugar' columns.
  - Skyscraper Gothic: Medieval motifs, tall tower elements, vertical fins, stepped parapets.
  - Functionalist: Asymmetrical massing of simple geometric shapes, steel-framed windows, contrasting horizontal and vertical motifs, large areas of glass.

### Building height

The height of Inter-War flat buildings is generally consistent within the streetscape. The buildings are usually 2 or 3 storeys, but may be up to 10 or 12 storeys.

### Materials

Materials characteristic of Inter-War flat buildings are:

- walls—brick, render/stucco;
- windows—timber double hung or casement; and
- roofs—glazed terracotta tile.

### Alterations, additions and repairs

Alterations and additions to Inter-War flat buildings should have regard to the existing character of the building and its setting.

Where external elevations and internal common areas are intact, applicants are encouraged to confine alterations to internal areas of individual apartments.

Services and fire upgrades must be carefully planned and detailed. To avoid damage to characteristic internal and external details, repairs to building elements are to retain existing detailing and be equal to the original quality and design of material finishes, fixtures and fittings.

### Roofscapes and chimneys

The roof is an important characteristic of Inter-War flat buildings and is generally a hipped or gabled form with a tiled roof structure and decorative parapet features. It contributes strongly to the overall form, proportions and character of the building.

Chimneys are an important characteristic of pre-1950 residential flat buildings and add to the character of the overall building form and area. For example, chimneys may relate to a centralised incinerator system, reflecting a previous technology that is of historic interest.

Dormer windows to the existing roof forms are inappropriate and out of character with Inter-War flat buildings and are intrusive in the roof form. Skylights are intrusive in roof forms and are restricted to areas that are not visibly prominent.



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### Fences, gates and mailboxes

The front fences of Inter-War flat buildings are usually low scale and constructed of masonry, often incorporating or repeating details used in the building. Gates are generally wrought iron with fine craftsmanship in a design appropriate to the character of the building, and also match external balcony balustrades.

Mailboxes are often timber in a masonry enclosure and located at or near the front fence, or within or near the main entrance to the building.

### Ancillary structures

Ancillary structures for Inter-War flat buildings are those buildings that are not the principal building and include, but are not limited to: carports, garages, garbage areas and laundries.

### External materials, details and finishes

External materials, details and finishes and the way they in which these are used are important elements that contribute to the overall character of a building. Face brickwork is a key characteristic of Inter-War flat buildings. The use of masonry patterns including two-tone brickwork, squints (corner bricks), textured bricks and herringbone brickwork can contribute to aesthetic value to an Inter-War flat building.

### Verandahs and balconies

Existing verandahs and balconies are an important characteristic of Inter-War flat buildings, in addition to being functional and adding visual interest to the exterior by creating shadows. The addition of new balconies can have a highly negative visual impact on the character of the building. Where external elevations are intact and the building displays distinctive characteristic detailing, verandah additions should be limited to building elevations that are not highly visible from the street.

### Security devices

In some cases the original door and window hardware does not provide the necessary level of security for contemporary requirements. Additional security devices can be provided sympathetically whilst retaining original hardware and the character of the building.

### Fire protection upgrading

To comply with BCA and other requirements, it is sometimes necessary to upgrade the building with additional fire protection equipment or measures. Where characteristic internal and external detailing exists, fire protection upgrading should be sympathetically incorporated to minimise adverse impacts to original fabric and characteristic features of the building, such as doors and fireplaces.

### Objectives and controls for alterations and additions to Inter-War flat buildings

Note: The controls below apply in addition to the general residential controls in this chapter. Where there is an inconsistency, the controls below take precedence.

B3.8 Additional controls for development other than dwelling houses

3.8.7 Inter-War flat buildings

Objectives		Controls	
Streetscape			
O1	To ensure that the significant characteristics of Inter-War flat buildings <u>that contribute to the character of the area</u> , <del>in regard to their presentation to the street</del> , are retained and protected.	C1	For Inter-War flat buildings that are heritage items or located in a HCA—No alterations or additions to the significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations, except for restoration or reconstruction.
O2	To conserve the principal street elevations of the Inter-War flat buildings that contribute to the character of the area.	C2	For Inter-War flat buildings that contribute to the character of the area, are not heritage items or located in a HCA—Alterations or additions to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building, and do not dominate the building.
O3	To ensure that the architectural character of Inter-War flat buildings that contribute to the character of the area is not compromised.	C3	The articulated, stepped and faceted plan form of the building is not altered or obscured, particularly at the street elevation.
O4	To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.	C4	Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.
O5	To ensure that alterations and additions to the roofs are <u>discreet</u> <del>discrete</del> and do not detract from the original character, proportions or key elements.	C5	The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.

**Commented [DCP1]:** Amend terminology consistent with Control C2.

**Commented [DCP2]:** Administrative change: replace "discrete" with "discreet".

**B3.8 Additional controls for development other than dwelling houses****▶ 3.8.7 Inter-War flat buildings**

Objectives	Controls
	<p>C6 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building.</p> <p>C7 Skylights are flush with the roof surface.</p> <p>C8 Original chimneys and their details are retained.</p>
<p>O6 To conserve the established garden settings, including significant elements and features.</p>	<p>C9 Characteristic front gardens, and their elements, are retained with minimal alteration.</p> <p>C10 Structures are not erected in the front garden that detract from the feeling of openness, or restrict or impact on the principal elevations of the building (including secondary fences and hedges).</p> <p>C11 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.</p>
<p>O7 To ensure that parking does not detract from the character of the streetscape.</p>	<p>C12 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.</p>
<p>O8 To ensure that external alterations, additions and repairs do not detract from the original character and form of the building.</p>	<p>C13 External alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.</p> <p>C14 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.</p> <p>C15 Privacy screens are discreet and do not impact on the overall character of the building, and are visible from the street.</p> <p>C16 <u>Protruding</u> shade structures, including awnings and canopies, are not located on the principal building elevations.</p>

**Commented [DCP3]:** Amend to allow non-protruding shade structures on the main elevations.

B3.8 Additional controls for development other than dwelling houses	
► 3.8.7 Inter-War flat buildings	
Objectives	Controls
	C17 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.
O9 To ensure that external materials, details and finishes respect and complement the original building.	C18 Materials are similar in type and finish to those on the original building and sympathetically integrate with the fabric of the building.
	C19 Individual materials do not dominate the original materials of the building.
	C20 Original face brickwork, <u>terracotta or decorative concrete panels</u> <del>is</del> <u>must not be</u> painted, rendered or coated.
	C21 Windows are timber double hung or casement with the glazing pane size to be conserved and match the original windows.
	C22 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.
O10 To ensure that works to balconies and verandahs do not detract from the character and form of Inter-War flat buildings.	C23 Original verandas and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.
	C24 New verandahs and balconies <u>are only allowed to the rear or side elevations if they:</u> <ul style="list-style-type: none"> <li>a) respect the character of the existing building; and</li> <li>b) are sympathetically integrated with the character and form of the building.</li> </ul>
	C25 Original fencing, gates and mailboxes are retained and conserved.

**Commented [DCP4]:** Enhance control C20 to identify other materials not to be painted, rendered or coated, consistently with Chapter C2.

**Commented [DCP5]:** Enhance control C24 to allow new verandahs and balconies to the rear and side elevations only.

**B3.8 Additional controls for development other than dwelling houses****▶ 3.8.7 Inter-War flat buildings**

Objectives	Controls
O11 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.	C26 Fences to the front building alignment are a height of between 400mm and 900mm. The height, style, form, materials and finishes match the principal building and the streetscape.
	C27 Gates are constructed in a height, style, form, materials and finishes to match the principal building and streetscape. Aluminium gates are avoided.
	C28 Fencing to side and rear boundaries is in the form of a timber paling fence.
	C29 Mailboxes are constructed in style, form, materials and finishes to match the principal building and streetscape.
	C30 Mailboxes are discreetly located and do not impact on the character of the building.
O12 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.	C31 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, carpets, wall details, light fittings, internal doors and the like.
O13 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.	C32 Original door and window hardware is retained, where practical. New additional security elements are in character with the building.
	C33 Security bars are: a) fitted internally; b) respect the existing glazing patterns; and c) painted in a dark recessive colour.

## B3.8 Additional controls for development other than dwelling houses

### ► 3.8.7 Inter-War flat buildings

Objectives	Controls
	<p>C34 Security intercom systems are discreetly located and in a style and materials complimentary to the character of the building.</p> <p>C35 Alarm bell boxes and the like, are not attached to the principal building elevations.</p>
<p>O14 To ensure that additions and alterations for fire upgrading and safety are <u>discreet</u> <del>discrete</del>, and retain and respect the original and significant building fabric.</p>	<p>C36 New or upgraded services are discreetly and sensitively located to minimise visual impact.</p> <p>C37 New or upgraded services, such as rising mains and wiring, are located within existing ducts, behind cornices or bulkheads or within external lightwells that are not visually prominent.</p> <p>C38 Wiring or other services are housed in concealed conduits.</p> <p>C39 Original timber staircases are retained and smoke isolated, if necessary.</p> <p>C40 Where the height of the original stair balustrades is <u>to be modified for fire safety</u> <del>the modification is discreet and sympathetically integrated with the existing stair balustrade</del>.</p> <p>C41 Stair treads applied to existing stairs are <del>discrete</del> <u>discreet</u>.</p> <p>C42 New lifts are designed and located so that the addition:           <ul style="list-style-type: none"> <li>a) is located outside the principal building form, if practical; and</li> <li>b) does not require significant alterations to existing common areas.</li> </ul> </p> <p>C43 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.</p>

Commented [DCP6]: Administrative change: replaced "discrete" with "discreet".

Commented [DCP7]: Enhance control C40 to capture height of balustrade modified under the National Construction Code, not fire safety.

Commented [DCP8]: Administrative change: replace "discrete" with "discreet".

**B3.8 Additional controls for development other than dwelling houses****▶ 3.8.7 Inter-War flat buildings**

Objectives	Controls
	<p>C44 Existing original fanlights and other openings are retained and sealed from behind, if necessary.</p> <p>C45 Emergency and exit lighting is incorporated into existing original light fittings, where practical.</p> <p>C46 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.</p>
O15 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.	<p>C47 Ancillary development, such as garages and laundries, constructed at the same time as the building are retained. Any modifications are sympathetic to the original building.</p> <p>C48 New ancillary development:</p> <ul style="list-style-type: none"> <li>a) is smaller in scale than the principal building;</li> <li>b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;</li> <li>c) is constructed in a style, form, materials and finishes that <del>match</del> <u>complement</u> the principal building;</li> <li>d) is single storey with a maximum clear internal height of 2.4m; and</li> <li>e) is sympathetic in scale and style to traditional forms of ancillary structures.</li> </ul>

**Commented [DCP9]:** Enhance control C48 to ensure new work complements but not necessarily matches the principal building.

### B3.8 Additional controls for development other than dwelling houses

#### ► 3.8.7 Inter-War flat buildings

Objectives	Controls
O16 To promote restoration and reconstruction works to restore significance.	C49 <u>Previous unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced by reinstating original forms and matching fabric or with new works sympathetic to the age and style of the building.</u> <del>Unsympathetic additions and modifications to the building, and its grounds, are removed and replaced with sympathetic works, or reinstatement of original forms and matching fabric.</del>

**Commented [DCP10]:** Enhance control C49 to encourage the removal of unsympathetic additions.





## Part C ► Heritage Conservation Areas

WOOLLAHRA DEVELOPMENT CONTROL PLAN 2015



# Chapter C1

## Paddington Heritage Conservation Area

Part C ► Heritage Conservation Areas

CHAPTER C1 APPROVED ON 27 APRIL 2015  
AND COMMENCED ON 23 MAY 2015

Last amended on 12 April 2021



## C1.2 Understanding the context

### C1.2.1 The significance of the Paddington Heritage Conservation Area

Paddington is a unique urban area which possesses historical, aesthetic, technical and social significance at a National and State level. An important factor in the significance of Paddington is its exceptional unity, encompassing scale, character, history, architecture and urban form.

The built environment of Paddington is an excellent example of the process of 19th century inner city urbanisation of Sydney which was largely completed by 1890. The predominant Victorian built form is an excellent representative example of the phenomena of land speculation and a 'boom' building period between 1870 and 1895.

The terraces of Paddington clearly trace the evolution of the imported English Georgian and Regency terrace models into the distinct Australian style evident in the Victorian era terraces.

Paddington retains many significant types of buildings that represent all phases of the suburb's historical development. These building types range from modest, small-scale, single storey timber and masonry cottages, to remnant examples of former gentry mansions, boom style middle-class terrace houses, apartment blocks and contemporary infill development, all of which are set in a varied network of streets, lanes and pedestrian accessways which reflect the phases of subdivision and development.

Paddington has a multitude of important historical and social associations. It is linked with the early transport routes along South Head Road (Oxford Street) and Point Piper Road (Jersey Road), the construction of Victoria Barracks in the 1840s, the gentry estates, prominent figures of the early colony, the speculative building boom between 1870 and 1890, and the development of Australian tennis at the White City site. Its historical and social associations extend to the periods of occupancy by immigrant groups and minority groups including the Chinese market gardeners, the Jewish community around the turn of the century, the European immigrants in the 1950s and an alternative artistic and intellectual population in the 1960s and 1970s. Today Paddington has a high level of social esteem and is regarded as one of Sydney's most desirable inner-city urban areas. The changing sociology of Paddington demonstrates phenomenal variations in status and changes in community attitudes to the 19th century suburb.

Paddington has important associations with the evolution of the conservation movement in Australia, in particular with the actions by the National Trust and the Paddington Society, which ensured its conservation at a time of redevelopment threat in the 1960s. It is significant as the first suburb classified by the National Trust, a community based, non-government organisation committed to promoting and conserving Australia's heritage.

Paddington has a unique aesthetic significance due to the superimposition of the built form on a sloping topography which overlooks Sydney Harbour and its foreshores. The coherent and extensive Victorian built form comprising groups of terrace buildings on narrow allotments which step down hills, turn corners or sit in ranks along tree lined streets produces a singularly recognisable image.

Inter-War flat buildings are also present in Paddington. Many of these buildings make an important historic, aesthetic, social and representative contribution to the character and illustrate the historical evolution of development of the area.

Paddington provides vast opportunity for research, education and interpretation through the physical layout of its road network, its subdivision pattern and the varied form of buildings.

These buildings provide an excellent record of past technologies and domestic lifestyles through features such as original external and internal building fabric, detailing and room layouts. Terrace houses, semi-detached dwellings, flat buildings and freestanding houses all show the evolving attitudes towards families and the home from the early 19th to the late 20th century.

**Commented [DCP1]:** Enhance the Statement of Significance to identify that Inter-War flat buildings form part of the evolution of the historical development of Paddington.

### C1.2.2 Building types in Paddington

The built environment of Paddington reveals the historic development of the area. Building types and styles exemplify stages of development and support the overall cultural significance of the area.

Examples of the 1840 to 1870 phase of development include small workers' cottages and boldfaced terraces from the original Paddington village, and grand mansions from the large gentry estates built along the ridgelines, such as Juniper Hall. Rows of Victorian boom style terraces were built between 1870 and 1910 on the subdivisions of the early land grants and large estates.

Later development which occurred on further subdivisions, vacant blocks, or on redeveloped sites includes Federation era terraces, Inter-War ~~apartment flat~~ buildings, 1960s and 1970s high rise style units, and more recently some excellent examples of contemporary infill.

**Commented [DCP2]:** Administrative change: amend terminology for consistency with other sections of the DCP.

The building types most commonly found in Paddington include multi-storey and single-storey terrace house rows, single-storey timber and masonry houses, freestanding houses, mixed commercial and residential buildings, commercial and industrial buildings, pubs and contemporary infill buildings. To ensure that development proposals recognise and respect the particular characteristics of particular building types, Section C1.3 of this chapter sets out specific objectives and controls for these and other building types.

### C1.2.3 Character elements

The character elements represent the distinguishing features of the area that are to be retained. Applications to change the character elements will be assessed against the desired future character controls.

#### Introduction

Paddington has a valuable historic and predominantly 19th century residential character, which is represented by late-Victorian terrace houses, modest workers' cottages, including single-storey timber and masonry houses, and former mansions. It also contains a mix of shops and pubs.

**Commented [DCP3]:** Administrative grammatical change.

residential flat buildings, commercial buildings and a few surviving light industrial and warehouse buildings, with many being adapted to residential uses.

**Commented [DCP4]:** Amend character elements to reflect the importance of Inter-War flat buildings in Paddington that are distinctive features of the area to be retained.

To protect the heritage significance of Paddington it is important to retain and conserve the many building types that represent the significant phases of the suburb's historical development. These are important buildings and many have original outbuildings, fences and garden settings that are important elements to preserve.

Other townscape features such as significant trees and historical sandstone kerbs and gutters also contribute to the significance of the Paddington HCA.

It is particularly important to conserve the significant fabric and layout of the original front building section which contains the main rooms. This section, including its roof, is referred to as the "principal building form", and commonly faces the street front, with a secondary section behind. The main rooms often contain the most significant details such as plaster work, timber joinery and fireplace surrounds.

Many terrace houses have a small setback from the street. This area, referred to as the "street front zone", provides an important setting for buildings. The setting for freestanding buildings, including timber cottages, is established with their front, side and rear setbacks.

Additions and alterations to existing buildings and the construction of new buildings should be designed with respect to the architectural character of the building and the context of the significant streetscapes of the Paddington HCA. Retention of original fabric and detail is key.

Reconstruction and reinstatement of missing details and building elements is important and encouraged. This includes the removal of inappropriate building elements.

Even small changes to buildings in Paddington require careful consideration. This is critical when changes are visible from the street or from other public spaces.

Alterations to the rear of properties require detailed consideration so as not to alter the proportion, scale and the cohesion in groups of buildings. Due to the topography and the subdivision patterns, rear elevations are often highly visible from the public domain.

In Paddington, the aim should always be to establish a cohesive relationship between new work and the existing building fabric. Contemporary design must respond appropriately to relevant aspects of the historical context.

#### Natural and built character elements

The existing distinguishing natural and built character elements of the Paddington HCA include:

- A topographical form which is shaped into a natural amphitheatre facing north over flatlands and former swamps allowing views to Rushcutters Bay, Sydney Harbour and westwards to the city. This land form also enables internal views of secondary ridges and gullies.
- A variable and intricate street, lane and pedestrian network. The western side of Paddington, originally the Paddington Village, is characterised by short, angled narrow roads with closed vistas and dogleg junctions influenced by the boundaries of early land grants. Dense rows of cottages and terrace housing often have zero setback.

Later street patterns in the eastern half of Paddington were laid out in the Victorian building boom period. The subdivisions are more strictly ordered with alternating wide streets and rear lanes and are set out on a rectangular grid. Development on corner sites is usually sensitive to the pivotal position they occupy in both streetscapes. Streets provide long vistas. Road surfaces are asphalt and kerbing and guttering is a mix of sandstone and concrete.

- A strong pedestrian character which is reflected in the multitude of passageways, rear and side interconnecting lanes, narrow streets and intermix of residential and non-residential uses. Footpath pavement material is a mixture of asphalt, fly ash concrete and modern concrete.
- A land use character which is predominantly residential but which also contains a mix of shops and pubs (often located on corners), some commercial buildings, and a few remaining light industrial and warehouse style buildings.
- Evidence of the evolution of building styles which reflect historical patterns of growth and land use.
- Terrace housing which forms continuous facades along the streets and steps down the hillside.
- Modest housing forms such as single-storey timber and masonry cottages.
- Variable building heights between terrace groups, one-off buildings and different building types, including timber and masonry cottages.
- Terrace housing, predominantly in distinguishable groups, which displays similar character in terms of form but variation in architectural styles, surface decorative details, verandahs and balcony design, window, door, roof forms and chimney treatments.
- A strong contrast between the formal and frequently more decorative front of the terrace to the street and the simple and utilitarian back of the terrace.
- A street front which in many terraces is characterised by a cast iron palisade fence returning to form side party fencing, a small front garden and path, recessed verandah on the ground floor and balcony on the upper level enclosed by a cast iron balustrade. Other terraces have only a small setback from the street, no front garden, and a cast iron fence to the verandah. Some terraces are built to the front boundary and have an upper floor balcony which cantilevers the footpath. Many Victorian boom style terraces terminate with a street front parapet.
- Some laneways which retain culturally significant fabric including paling fencing, pedestrian gates, brick lavatories and backyard planting.
- A restricted palette of materials including stone, painted stucco, cast iron and tessellated tiles, corrugated roof materials and slate, nearly universal to all street frontages.
- A perceived homogeneity of a Victorian era terrace built form which on close examination is made up of a diversity of building types reflecting the historical development of Paddington.
- A variety of open space and landscape features which are represented in:
  - flatland parks and playing fields - Trumper Oval, Weigall Sportsground, White City;
  - escarpment areas - Trumper Park;
  - public open space created by street closures;
  - early municipal street tree plantings;
  - pocket parks often created on gap sites within the terrace streetscape;



- remnant established gardens from earlier gentry estates such as the former Scottish Hospital grounds;
- private open space within institutions - Sydney Grammar's Weigall Grounds, White City; and
- private gardens which contribute significantly to the townscape quality of streets and laneways.

#### C1.2.4 Desired future character

The desired future character is a vision statement about the future image and function of the Paddington HCA. Applications will be assessed, among other matters, against their ability to satisfy those outcomes relevant to the development proposal.

This chapter seeks to achieve a desired future character for the Paddington HCA which:

- a) retains the unique national heritage significance of Paddington and recognises it as a rare and distinctive urban area;
- b) reinforces the area as a special residential precinct;
- c) retains and promotes evidence of the historical development of the area and enables interpretation of that historical development;
- d) retains the cohesive character evident in the low scale, high density built form;
- e) retains distinctive features such as parapets, chimneys, mixture of roofs, complex of roads, laneways and alleyways, consistency of colours, subdivision patterns and buildings which follow the landform and the distinctive patterns of terrace house groups;
- f) continues to cater for varied uses and building types within the residential area;
- g) retains the diversity of building types including multi-storey and single-storey terrace house rows, modest scale timber and masonry cottages, semi-detached dwellings, dwelling houses, commercial buildings, pubs, former industrial buildings, places of public worship, [Inter-War flat buildings](#) and public buildings;
- h) enables people to walk or cycle to shops, public transport, schools, parks and entertainment facilities in a safe, pleasant and healthy environment;
- i) provides attractive and vibrant shopping areas for locals and tourists;
- j) provides for sharing of views and vistas; and
- k) exhibits contemporary design excellence.

As Paddington is a living place and will be subject to change over time, Council seeks to encourage new development of a high design standard which respects the significance of the area.

The statement below on contemporary design emphasises the role that modern day design plays in the evolution of Paddington. Issues of contemporary design are relevant to development in the public and private domains.

**Commented [DCP5]:** Amend to reflect the importance of Inter-War flat buildings in Paddington.

### C1.3.1 Single storey buildings

Single storey buildings include timber, stone, brick and weatherboard cottages, terraces, semi-detached houses and single storey shops.

Architectural styles include Georgian, Victorian and Federation. The scale of buildings generally range from the typical small and narrow fronted buildings to medium to large houses ranging in date from 1840s to 1920s.

Single storey buildings, in particular the timber cottages, are significant because of their rarity. Many single storey buildings are also significant because of their historical association with the evolution of the early Paddington village and the artisan community that developed at the junction of Glenmore Road and New South Head Road.

Additions to these single storey buildings need to be carefully considered (see Figure 1). Refer to Figures 2 and 3 for examples of intrusive and non-intrusive extensions.

#### Objectives

- O1 To retain and conserve single storey buildings.
- O2 To conserve the settings of single storey buildings.
- O3 To ensure that the scale and form of single storey buildings are retained and that alterations and additions do not dominate the building.

O4 To retain and enhance the distinctive shared characteristics of the rear elevations of pairs or groups.

**Commented [DCP1]:** Insert an additional objective O4 to ensure the relationship between coherent pairs or groups is retained.

#### General Controls

These controls apply to all alterations and additions to single storey buildings, including courtyard housing additions:

- C1 Principal building forms and original external materials are to be retained.
- C2 Retain or reinstate façade details and open verandahs where physical or documentary evidence exists demonstrating an earlier state.
- C3 Where alterations are required to meet the National Construction Code requirements, materials must be consistent with traditional materials and finishes.
- C4 Additional storeys are not permitted to the principal building form where the existing roof height will be increased, and changes to the existing roof pitch and eaves height will occur.
- C5 Roof space within the principal building form may be used where there will be no change to the existing roof height, roof pitch, eaves height or ceiling below. No change to the rear roof plane is permitted to the principal building form with the exception of a compliant dormer and skylight.

Note: Control C5 is included to ensure that the rear roof of the principal building is not raised to incorporate a higher extension or higher link structure to courtyard housing.

- C6 The addition of dormers or skylights in the rear roof slope of the principal building form is to comply with controls in Section 1.5.1 Dormers and skylights.
- C7 Ground floor additions and courtyard housing additions to the rear of a single storey building must not compromise the form of the principal building.
- C8 Existing setbacks from the front and side boundaries for the principal building form are to be retained.
- C9 Additions at the rear of buildings must not extend beyond the predominant rear building setbacks at any level of a group or row of buildings.
- C10 Additions of an appropriate form and scale are permitted at the rear of the principal building form if:
  - a) the addition is a ground floor rear addition attached to the principal building below the existing eave or employs a courtyard housing style addition (refer to controls below); and
  - b) for additions other than courtyard housing additions, the addition incorporates a skillion roof. Reverse skillion roofs are not permitted.
- C11 Additions to single storey semi-detached and terrace groups must not compromise the architectural character of the pair, or the group of houses.

#### *Courtyard housing additions*

Courtyard housing is not an infill development or a garage or a loft over a garage or a studio. Controls for infill development are included in C1.3.13. Controls for a loft over a garage or studio are included in C1.5.7.

- C12 A courtyard housing addition may be permitted if:
  - a) it would not have an adverse impact on the heritage significance of the existing building, adjoining properties, or the group of buildings, where the building forms part of a group;
  - b) ~~it~~ does not disrupt a coherent pattern of pairs or groups;
  - c) ~~it~~ it is not visible, directly or obliquely, from any part of the street to which the property's street front zone abuts and from the front yard within the street front zone;
  - d) ~~it~~ it will have a negligible impact on the amenity of neighbouring properties in terms of loss of sunlight, ventilation and privacy;
  - e) ~~it~~ it will not adversely affect the setting of the existing building; and
  - f) ~~it~~ it is subsidiary to the existing building and will not dominate the existing building in terms of bulk and scale.
- C13 A courtyard housing addition must be single storey and must not be able to be seen over the roof of the principal building.

**Commented [DCP2]:** Insert additional sub-clause b) to ensure the relationship between coherent pairs or groups is retained. Renumber the following provisions.

C14 A courtyard housing addition must be wholly located at the rear of the existing principal building. Additions that wrap around the principal building are not appropriate.

C15 Where a courtyard housing addition is appropriate:

- a) a narrow, non-habitable linking structure may be provided between the principal building form and the courtyard housing addition;
- b) the linking structure must be single storey, with a maximum height of 2.4m or below the eaves of the principal building form, whichever is the lower;
- c) the width of the linking structure must be a maximum of 1.5m internally;
- d) the linking structure must be a narrow, non-habitable lightweight construction to differentiate the new work from the original. Lightweight construction should comprise appropriate materials, roof form and overall design. Appropriate materials include glass, steel and timber. Very minor masonry material may be included;
- e) it must include a usable courtyard, provided that a compliant rear building alignment can be achieved and the bulk and scale of the addition does not result in adverse privacy and overshadowing impacts on adjoining properties;
- f) the inclusion of a courtyard must comply with the controls and minimum requirements in Section C1.4.8 Private open space, swimming pools, courtyards and landscaping; and
- g) the height of the courtyard housing **addition** must not exceed the ridge height of the principal building form (chimneys not included).

Note: see Figure 3B for reference.

C16 The roof of the courtyard housing addition must:

- a) be an appropriate response to the traditional roof form and pitch of the principal building. Skillion roofs must comprise a single roof plane. Curved roofs, flat roofs, mansard roofs, parapet roofs and reverse skillion roofs are not permitted; and
- b) match the pitch of roofs where an unchanged established pattern of rear roofs exists or, where an unchanged pattern does not exist, must be a minimum pitch of 6 degrees.

C17 Provided that C12 and C15 are satisfied, a contemporary design for the courtyard housing may be used.

C18 An attic is permitted within the roof space of the courtyard housing addition, provided that:

- a) satisfactory floor to ceiling height standards are achieved;
- b) the form and pitch of the courtyard housing addition roof matches the form and pitch of the roof of the principal building;
- c) only one dormer is permitted (in either the front or rear roof plane). Where the width of the addition is greater than 6m, a second dormer may be permitted **in the same roof plane**, provided **that** each dormer is identical in type, size and no greater than 1.2m maximum width overall. The top of the dormer must be set below the main ridge by at least 300mm. The inclusion of a dormer must comply with the controls in Section C1.4.11 Acoustic and visual privacy; and
- d) no more than 2 skylights (compliant with the controls for Skylights in C1.5.1 Dormers and Skylights) are located within the entire roof plane.

**Commented [DCP3]:** Enhance wording of existing control to make it consistent with other provisions by including the word 'addition'.

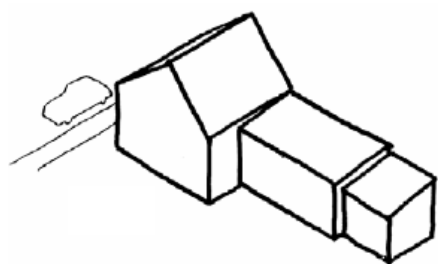
**Commented [DCP4]:** Clarify wording of this control to ensure a second dormer is permitted only in the same roof plane.

C19 Roofing materials must comply with C1.5.8.

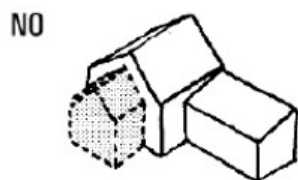
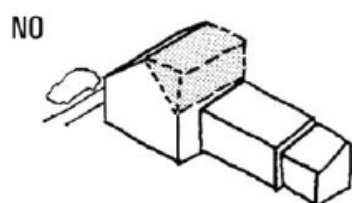
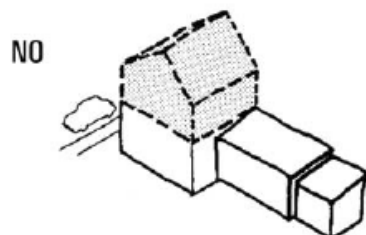
[Refer to objectives and controls in C1.4 General controls for all development and C1.5 Specific policy for building and site elements.](#)

**Commented [DCP5]:** For ease of cross-referencing, insert new note referencing other relevant sections of Chapter C1.

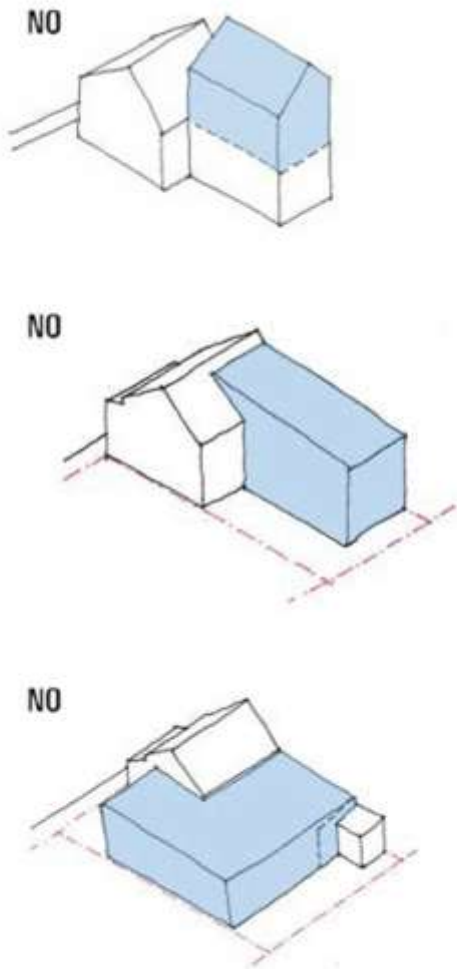
**FIGURE 1** Generic version of a single storey terrace



**FIGURE 2A** Intrusive additions

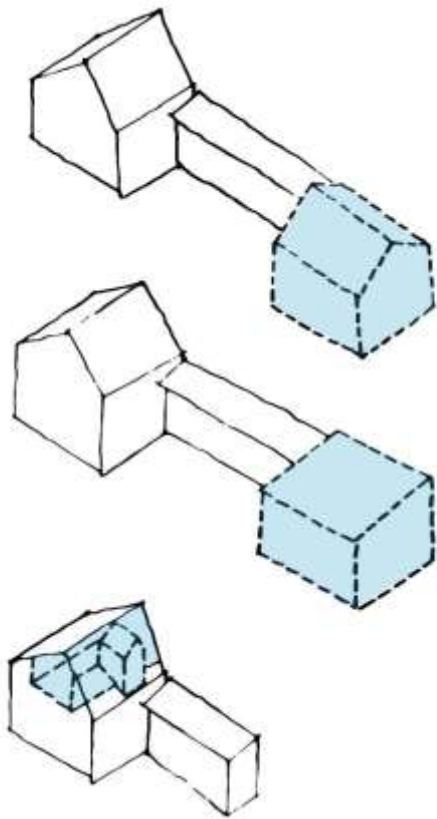


**FIGURE 2B** Intrusive additions



**Commented [DCP6]:** All figure numbers will be reviewed post-exhibition for accuracy.

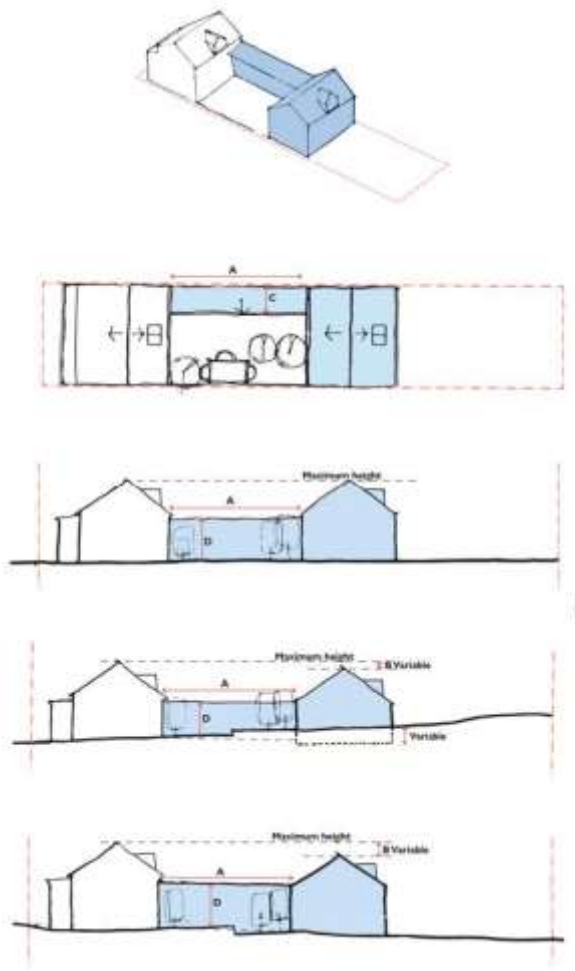
**FIGURE 3A** Non-intrusive development



**Commented [DCP7]:** All figure numbers will be reviewed post-exhibition for accuracy.

**FIGURE 3B** Non-intrusive development. Example of a courtyard housing addition with the same pitch, form and orientation as the principal building form.

**Commented [DCP8]:** All figure numbers will be reviewed post-exhibition for accuracy.





**Measurement A:** dimension must provide a usable courtyard and must comply with the controls and minimum requirements in Section C1.4.8 - Private open space, swimming pools, courtyards and landscaping - provided that a compliant rear building alignment can be achieved.

**Measurement B:** dimension must provide an addition that is single storey, may be equal to or lower than the ridge height of the principal building form (not including chimneys), and must not be able to be seen over the roof of the principal building.

**Measurement C:** dimension must be a maximum of 1.5m internally.

**Measurement D:** dimension must be a maximum of 2.4m or below the eaves of the principal building form, whichever is lower.

The diagrams in Figures 1, 2A, 2B, 3A and 3B must be read in conjunction with relevant controls which set out detailed additional requirements. The diagrams do not show examples that reflect all the relevant controls.

**Commented [DCP9]:** All figure numbers will be reviewed post-exhibition for accuracy.

### C1.3.2 Timber buildings

Timber buildings within the Paddington Heritage Conservation Area include single storey Victorian workers' cottages, two storey Victorian workers' houses, Early Victorian single storey cottages, Late Victorian terraces and semi-attached timber houses.

All forms of timber buildings contribute to the diverse character of Paddington streetscapes and the aesthetic value of the conservation area. Timber buildings are also significant because of their rarity and historical association with the evolution of the Paddington Heritage Conservation Area.

The vast majority of timber buildings in Paddington are single storey workers' cottages constructed between 1840 and 1870. These buildings were built to accommodate local artisans and working class families who played an important role in the development of the Paddington village.

Timber buildings are vulnerable to change and many have been modified over time, are in a deteriorated condition or suffer from structural instability. Despite these changes timber buildings in Paddington continue to make an important contribution to the character of the conservation area and should be conserved.

#### Objectives

- O1 To retain and conserve timber buildings and their setting.
- O2 To retain, restore and conserve the special characteristics and details of timber buildings.
- O3 To restore and reconstruct missing elements of the principal building form within the street front zone.
- O4 To retain and conserve significant side and rear forms of timber buildings.
- O5 To retain, restore and promote the significance, contribution and relationship of a timber building within the context of the conservation area.

O6 To ensure that additions and alterations for fire and access upgrading are discreet, and retain and respect the original and significant building fabric.

**Commented [DCP6]:** Add a new objective to address the protection of timber buildings from fire upgrading and access.

#### Controls

- C1 Additional storeys are not permitted to the principal building form of timber buildings.
- C2 When works are proposed to the principal building form or original significant elevations visible from the street or lane, Council strongly encourages, and may require, restoration or reconstruction of missing elements appropriate to the architectural style of the building or reversal of uncharacteristic elements where:
  - a) ~~original fender has been stripped from an external wall surface;~~
  - b) balconies or verandahs have been enclosed and details such as balustrade panels, rails, columns, friezes and fringes have been removed;

**Commented [DCP7]:** Delete this control as rendered surfaces can not be found on timber buildings.

- c) original door or window types and patterns have been removed;
- d) roof cladding is in a unsympathetic material;
- e) details are missing from chimneys; and
- f) inappropriate reconstruction of period detail and elements has occurred.

Note: Reconstruction and restoration may be guided by traditional models and physical or documentary evidence of an earlier state of the building or architectural style.

- C3 Existing setbacks from the front and side boundaries of the principal building form are to be retained.
- C4 Alterations and additions to the rear of buildings must not dominate or compete with the form, height, proportions or scale of the timber building.
- C5 Where structural stabilisation of a timber building is necessary, a sympathetic structural solution that ensures the conservation of as much original external and internal fabric as possible is required.
- C6 Where alterations to timber buildings are required to meet the provisions of the Building Code of Australia, materials must be consistent with traditional materials and finishes.
- ~~C7~~ No parking is permitted under or within the principal building form of a dwelling.
- ~~C8~~ Fire upgrade and access works must be done sympathetically and avoid removal of significant fabric.
- ~~C79~~ Refer to relevant objectives and controls in section 1.3 – Building types, section 1.4 – General policy for existing buildings and infill development and section 1.5 – Specific policy for building and site elements.

**Commented [DCP8]:** Insert a new control to protect timber buildings from demolition in order to facilitate onsite parking.

**Commented [DCP9]:** Insert a new control to address the protection of fabric from fire upgrade and access works.

### C1.3.4 Multi-storey terrace style housing

Multi-storey terrace housing includes mostly two and three storey terraces, some containing additional basement and attic levels. This housing was traditionally built in uniform rows; occasionally containing distinct subgroups or individual buildings within groups.

The lot width and configuration is the main determinant of the terrace house size, scale and arrangement pattern, with the three storey terraces generally occurring on the larger lots.

Architectural styles and the periods of construction vary and include Georgian, Victorian and Federation.

Predominantly terraces have front verandahs and balconies built to address the street, and party walls which separate the dwellings.

Groups of terrace houses occasionally contain subgroups of varying building widths and detailing, or may be terminated by an individual end terrace (see Section 1.3.3 Corner buildings) or mixed residential/corner shops and commercial buildings (see Sections 1.3.3 and 1.3.8 ).

#### Objectives

- O1 To retain and conserve the principal building forms of rows, pairs and groups of terraces.
- O2 To retain significant rear and side forms.
- O3 To retain the rear forms of unaltered pairs and groups of terraces.
- O4 To retain the shared distinctive characteristics of pairs and groups of buildings.
- O5 To retain, restore and promote the significance, contribution and relationship of a building within the context of a pair or a group of buildings.

~~O6 To ensure that side additions to existing buildings are designed and located to achieve a cohesive relationship between the existing buildings, and which retains and enhances the cultural significance of the heritage conservation area.~~

~~O7 To ensure that side additions respect the scale and setting of adjacent contributory buildings.~~

~~O8 To protect the amenity of adjoining or adjacent residential uses.~~

**Commented [DCP10]:** Strengthen O1, O4 and O5 to ensure the relationship between coherent pairs or groups is retained.

**Commented [DCP11]:** Delete provisions for side additions as they duplicate existing Objectives O3, O4 and O5 in (amended) C1.4.2 Side elevations and side additions.

#### Controls

##### All multi storey terrace style development

- C1 Refer to objectives and controls in Section C1.4 General controls for all development and Section C1.5 Specific policy for building and site elements.

## ~~Side additions between buildings~~

### ~~Character~~

#### ~~C2 — Side additions must:~~

- a) ~~maintain the significant features and qualities that combine to represent the character of the neighbourhood and area; —~~
- b) ~~make a positive contribution to the character of the neighbourhood and area; and~~
- c) ~~maintain a contextual relationship between the existing building to which it is attached, the adjoining buildings and the streetscape in which it will be located by maintaining the development pattern.~~

### ~~Scale~~

#### ~~C3 — Side additions must not overwhelm the context and should be subservient to and consistent with the predominant scale of the building to which it is attached, significant development adjoining the site and in the group/row in terms of:~~

- a) ~~maximum height pattern (measured to the uppermost ridge of the principal building to which it is attached [or the base of the parapet where existing], not including chimneys); and~~
- b) ~~massing (building volume and size). —~~

#### ~~C4 — Additional storeys are not permitted within the side addition.~~

### ~~Form~~

#### ~~C5 — Side additions must be consistent with the predominant built form (volume and configuration) of the building to which it is attached and significant development adjoining the site and in its immediate area in terms of aspects including, but not limited to: —~~

- a) ~~roof forms and pitch; —~~
- b) ~~three dimensional modelling of neighbouring buildings; —~~
- c) ~~modulation and articulation;~~
- d) ~~relationship of solids and voids; —~~
- e) ~~fenestration patterns; and —~~
- f) ~~relationship of floor to ceiling heights and horizontal alignment of features (especially ground and first floor levels of the existing buildings to which it is attached). —~~

~~Refer also to Section 1.4.4 Roofs and roof forms, Section 1.4.5 Building height, bulk, form and scale, and Section 1.4.6 Site coverage, setbacks and levels.~~

**Commented [DCP12]:** Move these provisions into (amended) C1.4.2 *Side elevations and side additions* so they can apply to other typologies of buildings (not only multi-storey terraces).

This will also ensure consistency with the overall structure of this Chapter that is organised with C1.3 “Building Types” and C1.4 “General controls for all development.”

**Commented [DCP13]:** Delete control C4 as it directly contradicts C3 (a) which may allow side additions to multi-storey terrace style housing.

### ~~Siting~~

- ~~C6 Side additions must adopt the established orientation pattern of the existing building to which it is attached.~~
- ~~C7 Where there is a uniform building front setback, the side addition must be set back behind the front wall of the principal building form (not including the balcony) to which it is attached and adjoining buildings.~~
- ~~C8 Where building front setbacks vary, the side addition must be set back behind the front wall of the principal building form (not including the balcony) to which it is attached.~~
- ~~C9 If the side addition occurs on a corner site, the controls in C1.4.2 apply.~~
- ~~C10 Rear and side setbacks (including side passages) must align with existing patterns, where visible from the public domain.~~
- ~~C11 Side additions must be sited to:~~
- ~~a) include sufficient deep soil landscaped area; and~~
  - ~~b) have no adverse impact on significant trees on the site or adjoining land, including public land.~~

~~Refer also to Section 1.4.8 Private open space, swimming pools, courtyards and landscaping.~~

### ~~Materials, finishes, textures and colours~~

- ~~C12 Materials, finishes, textures and colours must be appropriate to the historic context. They must be similar to the characteristic materials, finishes, textures and colours of the existing building to which it is attached and existing contributory buildings within the streetscape.~~
- ~~C13 Contemporary materials are permitted where their proportions, detailing, quantities and location on the building are in keeping with the character elements (refer to C1.2.3) and the desired future character of the heritage conservation area (refer to C1.2.4).~~

~~Refer also to Section 1.5.8 Materials, finishes and details and Section 1.5.9 Exterior colours.~~

- ~~C14 Side additions must:~~
- ~~a) use render, masonry and/or timber;~~
  - ~~b) avoid large expanses of glass and reflective wall cladding;~~
  - ~~c) if visible from the street or public domain, use roof cladding which matches the existing building to which it is attached;~~
  - ~~d) not have solid masonry front boundary walls; and~~
  - ~~e) use colour schemes which respect the character of the neighbourhood.~~

**Note:**

For side additions between buildings, a draft site and context analysis is to be submitted to Council for comment as part of a predevelopment application meeting between Council representatives and the applicant. —

The following information is to be submitted for comment prior to the lodgement of the development application:

- design options explored and the applicant's preferred design proposal;
- a statement outlining the proposed measures to minimise the adverse impact of the side addition on neighbouring lands, including the public domain;
- the philosophy of how the design elements relate to the proposal's context in terms of — architectural form, materials and character; and —
- the historic context and impact sections of a draft statement of heritage impact.

For development applications, applicants are required to provide the following information, not limited to:

- design options and final preferred design;
- a detailed site and context analysis;
- profiles of adjoining development;
- RLs for the subject site and adjoining properties;
- an accurate survey (including accurate RLs, and the accurate location of eaves/gutters, chimneys and other structures on adjoining properties);
- the structural relationship with the existing building and any adjoining properties (including shared party walls, footings and chimneys); and
- the final version of the statement of heritage impact.

Other required documentation to be submitted with the development application can be found in the Development Application Guide.

### C1.3.6 Residential flat buildings, manor houses, multi dwelling housing and multi dwelling housing (terraces)

Residential flat buildings and multi dwelling housing in Paddington generally consist of small two, three and four storey buildings dating from the 1930s to 1950s, taller buildings dating from the 1960s to 1970s, and the infill buildings of the 1990s. This includes some public housing built during the 1950s.

Early building materials include brick and terracotta with the later buildings constructed from masonry, concrete and glass.

Some of these buildings, because of their scale, bulk and materials, are intrusive elements in the general context of Paddington, and therefore are not contributory buildings.

Inter-War flat buildings illustrate the Inter-War development of Paddington. They make an important historic, aesthetic, social and representative contribution to the character of Paddington.

#### General

#### Objectives

~~O1 To retain contributory examples of residential flat buildings and multi dwelling housing.~~

~~O2~~ To mitigate the effects of intrusive residential flat building, manor house, multi dwelling housing (terraces) and multi dwelling housing development.

~~O3~~ To encourage redevelopment or modification of intrusive development.

O3 To ensure that parking does not detract from the character of the streetscape.

#### Controls

C1 Redevelopment or modification of intrusive development must be to a design that is appropriate to the relevant aspects of the historic context.

C2 Alterations and additions that reverse unsympathetic works is encouraged.

C3 Alterations and additions to intrusive development must be an appropriate response to the historic streetscape and mitigate intrusiveness.

#### Inter-War flat buildings

#### Objectives

O1 To conserve and maintain Inter-War flat buildings and multi dwelling housing in Paddington by ensuring these buildings and their significant characteristics are retained and protected.

O2 To conserve the principal street elevations and the character of Inter-War flat buildings.

**Commented [DCP10]:** Insert new paragraph to reflect the importance of Inter-War flat buildings in Paddington.

**Commented [DCP11]:** Amend Clause 1.3.6 so that there are general controls for all flat buildings and more detailed controls for Inter-War flat buildings consistent with B3.8.7.

**Commented [DCP12]:** Delete objective O1 as this is replaced by proposed O1 of Inter-War flat buildings objectives.

**Commented [DCP13]:** Insert new objective (consistent with B3.8.7) to ensure that parking does not detract from the streetscape.

**Commented [DCP14]:** Insert new control C2 to encourage the reversal of unsympathetic works.

**Commented [DCP15]:** Insert new control C3 to encourage an appropriate response of intrusive development to the HCA.

**Commented [DCP16]:** Insert new set of objectives and controls for Inter-War flat buildings consistent with B3.8.7.



- 
- O3 To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.
- O4 To ensure that alterations and additions to the roofs are discreet and do not detract from the original character, proportions or key elements.
- O5 To conserve the established garden settings, including significant elements and features.
- O6 To ensure that external materials, details and finishes respect and complement the original building.
- O7 To ensure that works to balconies and verandahs do not detract from the character and form of Inter-War flat buildings.
- O8 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.
- O9 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.
- O10 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.
- O11 To ensure that fire safety and access upgrading are discreet, and retain and respect the original and significant building fabric.
- O12 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.
- O13 To promote restoration and reconstruction works to restore significance.

#### Controls

- C1 Significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations are to be retained, except for restoration or reconstruction.
- C2 Changes to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building.
- C3 Alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.
- C4 Additions are limited to undercroft areas, roof spaces and the provision of balconies.
- C5 Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.
- C6 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.
- C7 Existing original fanlights and other openings are retained and sealed from behind, if necessary.
- C8 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.
-

C9 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.

C10 New additional security elements are in character with the building. Security bars are:

- a) fitted internally;
- b) respect the existing glazing patterns; and
- c) painted in a dark recessive colour.

C11 Original verandas and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.

C12 New verandahs and balconies are allowed to the rear or side elevations only if they:

- a) respect the character of the existing building; and
- b) are sympathetically integrated with the character and form of the building.

C13 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.

C14 Materials are similar in type and finish to those on the original building or sympathetically integrate with the fabric of the building.

C15 Original face brickwork, terracotta or decorative concrete panels must not be painted, rendered or coated.

C16 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building. Skylights are flush with the roof surface.

C17 Original chimneys and their details are retained.

C18 Privacy screens are discreet and do not impact on the overall character of the building.

C19 Protruding shade structures, including awnings and canopies, are not located on the principal building elevations.

C20 The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.

C21 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, wall details, light fittings, internal doors and the like.

C22 New lifts are designed and located so that the addition:

- a) is located outside the principal building form, if practical; and
- b) does not require significant alterations to existing common areas.

C23 Previous unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced by reinstating original forms and matching fabric or with new works sympathetic to the age and style of the building.

~~C17~~ C24 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.

**Commented [DCP17]:** Existing control C17 integrated into the new set of controls as C24.

C25 Alarm bell boxes and the like, are not attached to the principal building elevations.

C26 New or upgraded services are discreetly and sensitively located to minimise visual impact. They are located within existing ducts, behind cornices or bulkheads or within external lightwells that are not visually prominent. Wiring or other services are housed in concealed conduits.

C27 Original timber staircases are retained and smoke isolated, if necessary.

C28 Where the height of the original stair balustrades is modified —the modification is discreet and sympathetically integrated with the existing stair balustrade.

C29 Stair treads applied to existing stairs are discreet.

C30 Emergency and exit lighting is incorporated into existing original light fittings, where practical.

C31 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.

C32 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.

C33 Original fencing, gates and mailboxes are retained and conserved.

C34 New ancillary development:

- a) is smaller in scale than the principal building;
- b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;
- c) is constructed in a style, form, materials and finishes that complement the principal building;
- d) is single storey with a maximum clear internal height of 2.4m; and
- e) is sympathetic in scale and style to traditional forms of ancillary structures.

C35 Characteristic front gardens, and their elements, are retained with minimal alteration.

C36 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.

C37 New fences and gates to the front building alignment must complement the streetscape and the existing building.

C38 Mailboxes are discreetly located and do not impact on the character of the building.

~~C2 Alterations may be made to the external finishes of residential flat buildings and manor houses, if appropriate to the building type.~~

**Commented [DCP18]:** Control deleted as it is replaced by proposed C2 of Inter-War flat buildings controls.

~~C3 Alterations are permitted that reverse any unsympathetic works to residential flat buildings, manor houses, multi dwelling housing (terraces) and multi dwelling housing.~~

**Commented [DCP19]:** Control deleted as it is replaced by proposed C1 of the General controls.

~~C4 Alterations and additions must not adversely affect the form or character of contributory buildings.~~

**Commented [DCP20]:** Control deleted as it is replaced by proposed C3 and C5 of the Inter-War flat building controls.

~~C6 Alterations or additions to the original forms, details or materials of the principal elevations of contributory buildings are not permitted.~~

**Commented [DCP21]:** Control deleted as it is replaced by proposed C5 and C6 of the Inter-War flat buildings controls.

~~C7 Alterations and additions to an individual unit must not adversely affect the cohesiveness of the principal building form of the building.~~

**Commented [DCP22]:** Control deleted as it is replaced by proposed C3 and C4.

~~C8 Alterations to windows and external doors of contributory buildings are not permitted except where they would not be visually prominent, such as to rear ground floor flats or below street level.~~

**Commented [DCP23]:** Control deleted as it is replaced by proposed C6 and C9.

~~C9 Enclosure of balconies and verandahs of contributory buildings is not permitted.~~

**Commented [DCP24]:** Control deleted as it is replaced by proposed C11.

~~C10 Alterations to improve accessibility (including lifts, ramps and stairs) must retain the original character and design of the building and setting.~~

**Commented [DCP25]:** Control deleted as it is replaced by proposed C13.

~~C11 Skylights are not permitted where visible from the public domain.~~

**Commented [DCP26]:** Control deleted as it is replaced by proposed C16.

~~C12 Dormer windows are not permitted.~~

**Commented [DCP27]:** Control deleted as it is replaced by proposed C16.

~~C13 Ancillary development must be no higher than one storey and should be constructed of materials in the style and character of the principal building.~~

**Commented [DCP28]:** Control deleted as it is replaced by proposed C34.

~~C14 Ancillary development should be located behind the principal building form.~~

**Commented [DCP29]:** Renumber existing control C14 as proposed C34.

~~C15 Shade structures including awnings and canopies are not permitted to the street front elevation of the building.~~

**Commented [DCP30]:** This control is deleted as it is replaced by proposed C19.

~~C16 Privacy screens must be discreet, must not be visible from the street and must not adversely affect the overall character of the building.~~

**Commented [DCP31]:** This control is deleted as it is replaced by proposed C18.

~~C18 Existing ground level landscaped spaces must not be reduced in area, or screen the principal elevation of the building.~~

**Commented [DCP32]:** This control is deleted as it is replaced by proposed C36.

Note: Refer also to Section 1.2.5 Contemporary design in Paddington and Section 1.3.14 Intrusive buildings.

### C1.3.13 Infill development (new development)

The term ‘infill development’ is defined as the erection of a building that is:

- constructed on an existing vacant registered allotment of land; and
- does not include side, rear or front alterations and additions to an existing building.

Note:

Demolition is generally not supported. All proposals for demolition of a building must be approved via a thorough planning process that includes an assessment of the contribution the building is making to the Paddington Heritage Conservation Area, a fabric analysis and an assessment of the impact that the loss of the building may have on the significance of the heritage conservation area.

Infill development provides the chance for the continuing enrichment of Paddington by adding new built form which is an expression of contemporary life.

Opportunities for infill buildings may occur where existing buildings have been demolished or where vacant allotments exist or have been created. Demolition and subdivision will require assessment through the development application process.

As the opportunities for infill development are rare, designs for such sites are required to demonstrate an appropriate response to context and an approach which enhances the character of Paddington and its cultural significance.

Infill development should not be a ‘faux’ representation of a historical architectural style. Rather, Council requires a contemporary design approach which respects:

- the historic context;
- siting; and
- architectural forms (including roof form, roof pitch, height, scale, massing, alignment, modulation, articulation and materials);

and achieves a cohesive relationship between the existing and new urban fabric.

Note:

A Pre-DA Meeting is recommended between Council representatives and the applicant for infill development proposals.

The following information is to be submitted for comment for discussion at the Pre-DA Meeting:

- a draft site and context analysis;
- design options explored and the applicant’s preferred infill design proposal;
- a statement outlining the proposed measures to minimise the adverse impact of the infill development on neighbouring lands, including the public domain;
- the philosophy of how the design elements relate to the proposal’s context in terms of architectural form, materials and character; and
- the historic context and impact sections of a draft statement of heritage impact.

For development applications, applicants are required to provide the following information, not limited to:

- ▶ design options and final preferred design;
- ▶ a detailed site and context analysis;
- ▶ profiles of adjoining development;
- ▶ RLs for the subject site and adjoining properties;
- ▶ an accurate survey for the subject site (including levels of adjoining buildings and their architectural elements);
- ▶ a schedule of materials, finishes and colours. Where contemporary materials are proposed, a statement must be provided that outlines how the contemporary materials are in keeping with the character elements and desired future character of the heritage conservation area, particularly in terms of solid-to-void ratios, detailing and proportions, textures and finishes;
- ▶ the structural relationship with adjoining properties (including shared party walls, footings and chimneys); and
- ▶ the final version of the statement of heritage impact.

Other required documentation to be submitted with the development application can be found in the Development Application Guide.

### Objectives

- O1 To encourage development on infill sites which reflects contemporary values and employs contemporary design, and through a design idiom, materials and construction technique provides an appropriate response to relevant aspects of the historical context of Paddington.
- O2 To ensure new development on infill sites is designed and located to achieve a cohesive relationship between new and existing urban fabric, and which retains and enhances the cultural significance of the heritage conservation area.
- O3 To ensure infill development respects the scale and setting of adjacent contributory buildings.
- O4 To protect the amenity of adjoining or adjacent residential uses.

O5 To ensure that infill development does not prevent the maintenance and conservation of elements that contribute to the significance of the heritage conservation area.

**Commented [DCP14]:** Insert new objective O5 which aims to maintain and conserve elements that contribute to the significance of the heritage conservation area.

### Controls

#### General

- C1 Infill development is to comply with all relevant objectives and controls listed elsewhere in this chapter of the DCP. These objectives and controls are contained in sections including (but not limited to) C1.4 and C1.5.

- C2 If development is for a dual occupancy, the additional controls for dual occupancies in Part B, Chapter B3 General Development Controls of this DCP also apply (refer to Section B3.8 Additional controls for development other than dwelling houses).

#### Character

- C3 Infill development must:

- a) maintain the significant features and qualities that combine to represent the character of the neighbourhood and area; ~~and~~  
b) not adversely affect the maintenance of elements that contribute to the significance of the heritage conservation area, for example sandstone walls; and  
~~c) -b)~~ make a positive contribution to the character of the neighbourhood and area.

**Commented [DCP15]:** Insert new sub-clause b) to maintain and conserve elements that contribute to the significance of the heritage conservation area, for example sandstone walls.

#### Scale

- C4 Infill development must not overwhelm its context and should be consistent with the predominant scale of significant contributory development adjoining the site or within the group/row. The scale of infill development must respect and take cues from the lowest adjoining contributory 19<sup>th</sup> or 20<sup>th</sup> century development in terms of:
- a) maximum height pattern (measured to the uppermost ridge of the principal buildings [or the base of the parapet where existing], not including chimneys); and
  - b) massing (building volume and size). On sloping streets, the stepped transitional height pattern must be achieved.
- Refer also to Section 1.4.5 Building height, bulk, form and scale.

#### Form

- C5 Infill development must be consistent with the predominant built form (volume and configuration) of significant contributory development adjoining the site and in its immediate area in terms of aspects including, but not limited to:
- a) roof forms and pitch;
  - b) three dimensional modelling of neighbouring buildings;
  - c) modulation and articulation;
  - d) relationship of solids and voids;
  - e) fenestration patterns; and
  - f) relationship of floor to ceiling heights and horizontal alignment of features (especially ground and first floor levels of existing buildings on sloping sites and streets).
- Refer also to Section 1.4.4 Roofs and roof forms, Section 1.4.5 Building height, bulk, form and scale, and Section 1.4.6 Site coverage, setbacks and levels.

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*Siting*

- C6 Infill development must adopt the established orientation pattern of the streetscape.
- C7 Where neighbouring buildings are orientated to face the street, infill development is to adopt the existing pattern of orientation.
- C8 Orientation across the site is not permitted unless there is a dominant pre-existing pattern in the street.
- C9 Where there is a uniform building front setback, the infill development must align with the existing setbacks of adjoining buildings.
- C10 Where building front setbacks vary, the following apply:
- a) If there is a dominant pattern and the infill development adjoins that pattern, the infill development must align with that pattern.
  - b) If there is no dominant pattern, the infill development must align with the existing adjoining development whose scale is more compatible with the proposed infill development. The pattern of setbacks must respect and take cues from the nearest contributory 19th or 20th century development and ensure that infill is recessive and does not visually dominate the streetscape.
  - c) If there is an existing stepped pattern, the infill development must be consistent with the pattern and proportion of the step.
  - d) If the infill development occurs on a corner site, the infill development must be sited on the street property boundaries to define the corner.
- C11 Rear and side setbacks (including side passages) must align with existing patterns, where visible from the public domain.
- C12 Infill development must be sited to:
- a) include sufficient deep soil landscaped area; and
  - b) have no adverse impact on significant trees on the site or adjoining land, including public land.
- Refer also to Section 1.4.8 Private open space, swimming pools, courtyards and landscaping.

*Materials, finishes, textures and colours*

- C13 Materials, finishes, textures and colours must be appropriate to the historic context. They must be similar to the characteristic materials, finishes, textures and colours of the existing contributory buildings within the streetscape.
- C14 Traditional materials may be used.
- C15 Contemporary materials may be permitted for infill development but only where their proportions, detailing, quantities and location on the building are in keeping with the character elements (refer to C1.2.3), the desired future character (refer to C1.2.4) and the heritage significance of the conservation area.
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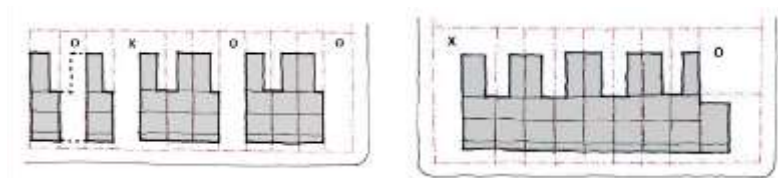


Note: for C13-C15:

Table 2 below sets out appropriate materials and finishes permissible for infill development. Refer also to Section 1.5.9 Exterior colours.

C16 Infill development must:

- use render, masonry and/or timber;
- avoid large expanses of glass, reflective and metal wall cladding;
- use roof cladding which conforms with contributing neighbouring development;
- not have solid masonry front boundary walls; and
- use colour schemes which respect the character of the neighbourhood.



O = Acceptable infill site X = Unacceptable infill site

**TABLE 2** Materials and details for infill development

Building component	External building materials
<b>Roofs</b>	
Permitted	<ul style="list-style-type: none"> <li>Traditional roof materials including natural slate such as Welsh slate and South Australian slate, corrugated galvanised iron in short lengths and associated galvanised details and fixings, or unglazed terracotta tiles.</li> <li>Pre-painted corrugated steel in light to mid grey tones, similar in appearance to traditional corrugated iron.</li> <li>Contemporary corrugated profile sheeting in appropriate colours and subject to low reflectivity.</li> </ul>
Intrusive - not permitted	<ul style="list-style-type: none"> <li>Concrete roof tiles.</li> <li>Non-traditional metal roof profiles.</li> <li>Glass (other than permitted in skylights).</li> </ul>

Building component	External building materials
<b>Walls</b>	
Permitted	<ul style="list-style-type: none"> <li>▶ Traditional wall materials including sandstone blocks, timber weatherboard and brick.</li> <li>▶ Corrugated galvanised iron, zinc coated corrugated steel ripple iron for small expanses only. Must be in appropriate colours and subject to low reflectivity.</li> <li>▶ Rendered brick, with or without inscribed ashlar coursing where appropriate.</li> <li>▶ Fibrous cement sheeting with a rendered and painted finish - for rear additions but only if window reveals of minimum 100mm external depth are achieved.</li> </ul>
Intrusive - not permitted	<ul style="list-style-type: none"> <li>▶ Smooth, textured or profiled face brick and exposed concrete blocks.</li> <li>▶ Stripped sandstock brickwork.</li> <li>▶ Circular pattern render (mock Spanish).</li> <li>▶ Glazed walls and glass bricks.</li> <li>▶ Metal wall cladding.</li> <li>▶ Metal mesh or perforated metal screens.</li> </ul>
<b>Windows</b>	
Permitted	<ul style="list-style-type: none"> <li>▶ Timber frames.</li> <li>▶ Steel frames on rear ground floor only.</li> <li>▶ Metal frames for ground floor shops and commercial premises where appropriate.</li> <li>▶ Plain clear glass.</li> <li>▶ Coloured and patterned glass for replacement in appropriate situations.</li> <li>▶ Fine metal frames in neutral tones.</li> </ul>
Intrusive - not permitted	<ul style="list-style-type: none"> <li>▶ Window walls.</li> <li>▶ Bubble glass.</li> <li>▶ Glass blocks.</li> <li>▶ Timber or metal frames not reflecting traditional proportions.</li> <li>▶ Roller shutter security and sunscreen windows.</li> <li>▶ Horizontally sliding windows.</li> <li>▶ Aluminium framed windows in the front elevation and at the upper levels at the rear</li> </ul>

Building component	External building materials
<b>Doors</b>	
Permitted	<ul style="list-style-type: none"> <li>► Timber-framed panelled doors.</li> <li>► Glazed timber-framed doors.</li> <li>► Glazed steel-framed doors.</li> <li>► Glazed doors with film/frosted detailing.</li> </ul>
Intrusive - not permitted	<ul style="list-style-type: none"> <li>► Fully glazed doors to the street front elevation of residential properties.</li> <li>► Hollow core and timber doors with detail and panels inappropriate to the architectural style of the building.</li> <li>► Aluminium framed doors within the front elevation and at the upper levels at the rear.</li> <li>► Roller shutter doors to residential houses, retail and commercial premises.</li> </ul>
<b>Shutters</b>	
	<ul style="list-style-type: none"> <li>► Traditionally detailed timber louvered shutters are applicable for windows and French doors on some building types.</li> </ul>
<b>Verandahs</b>	
Permitted	<ul style="list-style-type: none"> <li>► Traditional flooring materials including stone flagging, marble, tessellated tiles, terrazzo, slate, timber.</li> <li>► Polished concrete and large form modern tiles.</li> <li>► Traditional post materials including stone, cast iron or timber.</li> <li>► Materials similar to traditional materials but without elaborate detailing.</li> </ul>
Intrusive - not permitted	<ul style="list-style-type: none"> <li>► Pebble-crete.</li> <li>► Polycarbonate or similar type material for roofs.</li> <li>► Glass roofs to street elevations.</li> <li>► Concrete roof tiles.</li> <li>► Non-traditional metal roof profiles.</li> </ul>

Building component	External building materials
<b>Balconies</b>	
Permitted	<ul style="list-style-type: none"> <li>▶ Traditional materials including corrugated iron roofing, slate roofing, timber framing, timber floors, timber balustrades/handrails, cast iron balustrades/handrails or modern-day equivalents.</li> <li>▶ Pre-painted corrugated steel in light to mid grey tones, similar in appearance to traditional corrugated iron.</li> <li>▶ Copper sheeting, zinc sheeting (traditional standing seam profile).</li> <li>▶ Contemporary corrugated profile sheeting in appropriate colours and subject to low reflectivity.</li> <li>▶ Masonry and metal, other than perforated metal or mesh.</li> </ul>
Intrusive - not permitted	<ul style="list-style-type: none"> <li>▶ Smooth, textured or profiled face brick and exposed concrete blocks.</li> <li>▶ Corrugated and other profiled metal sheeting balustrading.</li> <li>▶ Wire balustrading.</li> <li>▶ Fibrous cement sheeting balustrading.</li> <li>▶ Glass balustrading.</li> <li>▶ Perforated metal or mesh screens.</li> </ul>
<b>Front Fences</b>	
Permitted	<ul style="list-style-type: none"> <li>▶ Traditional fences but with consideration to building style and context, including rendered masonry with ashlar coursing, timber (picket or paling), iron palisade on sandstone, brick or rendered bases, brick and timber, or brick with iron inserts.</li> <li>▶ Contemporary interpretation of traditional fence details and materials such as iron palisade and timber.</li> </ul>
Intrusive - not permitted	<ul style="list-style-type: none"> <li>▶ Smooth, textured or profiled face brick, exposed cement blocks, Ti Tree (brush), or sheet metal fences.</li> <li>▶ Angled vertical blade palisade fencing.</li> <li>▶ Full height brick fences.</li> <li>▶ Materials and forms that are inappropriate to the style of the building.</li> </ul>

### C1.4.2 ~~Side elevations and side additions to streets and lanes~~

Side elevations of Victorian terrace houses are often built to the street boundary with a strong gabled form reflecting the pitch of the main roof and a lower skillion section at the rear. Side elevations or secondary elevations are less detailed than the main street front elevations.

Due to the high visibility from streets and laneways, changes to side elevations and additions require an approach that retains the architectural form and character of the building.

Some sites have the opportunity to develop additions to the sides or adjacent to the principal building form between a row of buildings. Where these are on the same registered land parcel, and where they do not affect 'night soil' or right of way passageways, they may be developed in accordance with the following provisions below. Significant 'night soil' or right of way passageways are to be retained in place and interpreted without additional structures other than fencing.

Note: Side elevations are to a street or lane, whilst side additions adjoin other buildings.

Refer also to corner terrace style houses in Section 1.3.3 Corner buildings and other relevant sections in C1.3 Building types.

#### Objectives

- O1 To retain and conserve the architectural character of side elevations of contributory buildings.
- O2 To ensure that side additions are of sympathetic design and construction to the original building.
- O3 To ensure that side additions to existing buildings are designed and located to achieve a cohesive relationship between the existing buildings, and ~~which retains~~ retain and ~~enhances~~ enhance the ~~cultural~~ significance of the heritage conservation area.
- O4 To ensure that side additions respect the scale and setting of adjacent contributory buildings.
- O5 To protect the amenity of adjoining or adjacent residential uses.

#### Controls

##### *Side elevations - street and lane*

- C1 Original side elevations of contributory buildings including original fabric, side entrance doors, windows, balconies and other details are to be retained and conserved.
- C2 Minor alterations to a side elevation of the principal building form or the secondary wing will be permitted if they do not ~~significantly~~ impact on the architectural form and character.

**Commented [DCP16]:** Amend this heading to include side additions.

The aim of this amendment is to ensure that existing Side additions provisions currently in C1.3.4 *Multi-storey terrace style housing* apply to any building type in C1.3.

This will also ensure consistency with the overall structure of the DCP that is organised with C1.3 "Building Types" and C1.4 "General controls for all development."

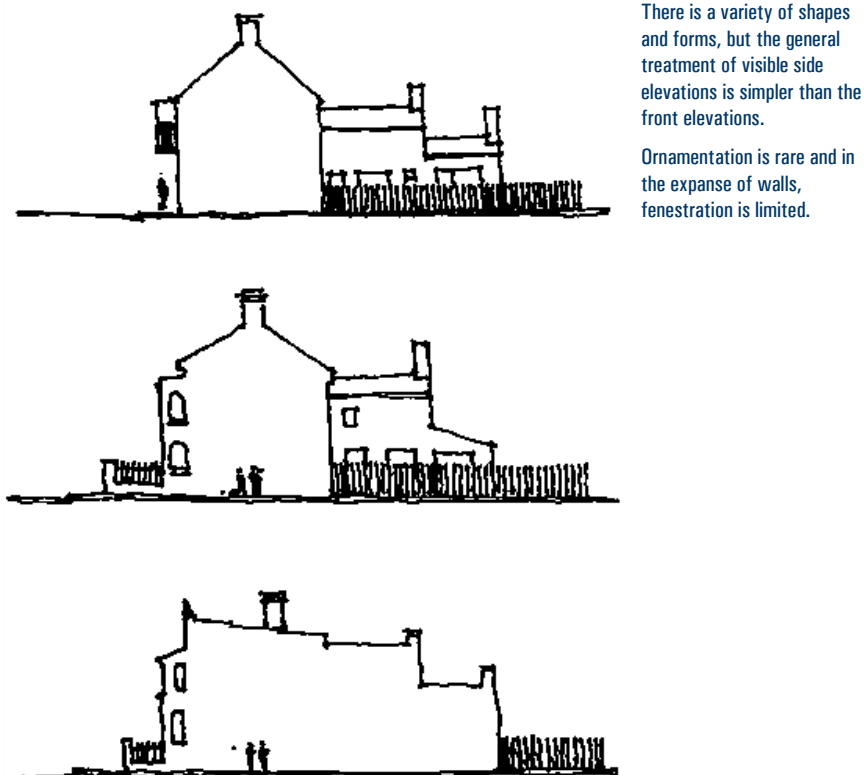
**Commented [DCP17]:** Rationalise the introductory text from 1.3.4 *Multi-storey terrace style housing* so that existing provisions for side additions apply to all building types.

**Commented [DCP18]:** Enhance sentence wording and remove the word 'cultural' to simplify the objective.

**Commented [DCP19]:** Amend control C2 to ensure minor alterations to side elevations do not impact on the architectural form and character of a contributory building.

- C3 Changes to the roof pitch of the principal building form of contributory buildings are not permitted.

**FIGURE 7** Side elevations



*Side additions - street and lane*

- C4 Additions must be consistent with traditional patterns and proportions of openings and the materials and detailing of the existing building.
- C5 The overall length of any addition is to be less than, and appear as a form secondary to, the existing building.
- C6 The addition of balconies is not permitted when the building is built to the side street boundary.
- C7 Additions must retain the profile of existing traditional party walls and their associated parapets.

- C8 Additions shall reflect the existing setbacks.
- C9 Where there is a uniform building front setback, the side addition must be set back behind the front wall of the principal building form (not including the balcony) to which it is attached and adjoining buildings.
- C10 Where building front setbacks vary, the side addition must be set back behind the front wall of the principal building form (not including the balcony) to which it is attached.
- C11 Side boundary fencing shall reference traditional height, forms and materials.

Side additions between buildings

C15 Side additions must:

- a) maintain the significant features and qualities that combine to represent the character of the neighbourhood and area;
- b) make a positive contribution to the character of the neighbourhood and area; and
- c) maintain a contextual relationship between the existing building to which it is attached, the adjoining buildings and the streetscape in which it will be located by maintaining the development pattern.

C16 Side additions must not overwhelm the context and should be subservient to and consistent with the predominant scale of the building to which it is attached, significant development adjoining the site and in the group/row in terms of:

- a) maximum height pattern (measured to below the gutter line of the principal building form to which it is attached [or the base of the parapet where existing], not including chimneys); and
- b) massing (building volume and size).

~~C4 Additional storeys are not permitted within the side addition.~~

C17 Side additions must be consistent with the predominant built form (volume and configuration) of the building to which it is attached and significant development adjoining the site and in its immediate area in terms of aspects including, but not limited to:

- a) roof forms and pitch;
- b) three dimensional modelling of neighbouring buildings;
- c) modulation and articulation;
- d) relationship of solids and voids;
- e) fenestration patterns; and
- f) relationship of floor to ceiling heights and horizontal alignment of features (especially ground and first floor levels of the existing buildings to which it is attached).

Refer also to Section 1.4.4 Roofs and roof forms, Section 1.4.5 Building height, bulk, form and scale, and Section 1.4.6 Site coverage, setbacks and levels.

**Commented [DCP20]:** Move these controls with some minor changes consistent with consolidating the provisions in C1.3.4 Multi-storey terrace style housing with (amended) C1.4.2 Side elevations and side additions.

**Commented [DCP21]:** Delete control C4 as it directly contradicts C2 (a) which may allow side additions to multi-storey terrace style housing. Renumber following controls.

C18 Side additions must adopt the established orientation pattern of the existing building to which it is attached.

C19 Where there is a uniform building front setback, the side addition must be set back behind the front wall of the principal building form (not including the balcony) to which it is attached and adjoining buildings.

C20 Where building front setbacks vary, the side addition must be set back behind the front wall of the principal building form (not including the balcony) to which it is attached.

C21 If the side addition occurs on a corner site, the controls in C1.3.3 apply.

C22 Rear and side setbacks (including side passages) must align with existing patterns, where visible from the public domain.

C23 Side additions must be sited to:

- a) include sufficient deep soil landscaped area; and
- b) have no adverse impact on significant trees on the site or adjoining land, including public land.

Refer also to Section 1.4.8 Private open space, swimming pools, courtyards and landscaping.

C24 Materials, finishes, textures and colours must be appropriate to the historic context. They must be similar to the characteristic materials, finishes, textures and colours of the existing building to which it is attached and existing contributory buildings within the streetscape.

C25 Contemporary materials are permitted where their proportions, detailing, quantities and location on the building are in keeping with the character elements (refer to C1.2.3) and the desired future character of the heritage conservation area (refer to C1.2.4).

Refer also to Section 1.5.8 Materials, finishes and details and Section 1.5.9 Exterior colours.

C26 Side additions must:

- a) use render, masonry and/or timber;
- b) avoid large expanses of glass and reflective wall cladding;
- c) if visible from the street or public domain, use roof cladding which matches the existing building to which it is attached;
- d) not have solid masonry front boundary walls; and
- e) use colour schemes which respect the character of the neighbourhood.

Note:

For side additions between buildings, a draft site and context analysis is to be submitted to Council for comment as part of a predevelopment application meeting between Council representatives and the applicant.



The following information is to be submitted for comment prior to the lodgement of the development application:

- design options explored and the applicant's preferred design proposal;
- a statement outlining the proposed measures to minimise the adverse impact of the side addition on neighbouring lands, including the public domain;
- the philosophy of how the design elements relate to the proposal's context in terms of architectural form, materials and character; and
- the historic context and impact sections of a draft statement of heritage impact.

For development applications, applicants are required to provide the following information, not limited to:

- design options and final preferred design;
- a detailed site and context analysis;
- profiles of adjoining development;
- RLs for the subject site and adjoining properties;
- an accurate survey (including accurate RLs, and the accurate location of eaves/gutters, chimneys and other structures on adjoining properties);
- the structural relationship with the existing building and any adjoining properties (including shared party walls, footings and chimneys); and
- the final version of the statement of heritage impact.

Other required documentation to be submitted with the development application can be found in the Development Application Guide.

### C1.4.3 Rear elevations, rear additions, significant outbuildings and yards

There is a distinct visual contrast between the front and the rear of houses.

In a typical Victorian terrace, the highly decorative front contrasts with the restrained and utilitarian finish at the rear. Traditional rear additions are smaller in scale than the main house, with simple forms punctuated with vertically proportioned window openings. The rear of the Victorian style double storey terrace is often characterised by a one or two storey structure, commonly under a single pitched or skillion roof which maintains a side breezeway. The simple pitched or skillion roof form on rear elevations is visible, unlike the front elevation roof which may be screened by a parapet. Street corner buildings sometimes employ a parapet to both front and side elevations. Frequently rear elevations are paired with a neighbouring property.

There is a distinct typology of rear building forms within Paddington. Due to the elevated siting and topography of Paddington, many rear forms of buildings are highly visible.

Some rear building forms survive in unaltered groups of houses and contribute significantly to the character of the heritage conservation area.

An unaltered group is defined as a building or group of buildings that has retained its original form and character, there may be some minor changes to windows and doors or the loss of some original detail, but notwithstanding the original form and character of the group is generally retained.

Traditionally the rear yard of 19th century housing was utilitarian in use and character, usually enclosed by a paling fence with a gate leading to a laneway. Many groups of houses such as terrace houses had a rear passageway for servicing outdoor rear yard brick toilet structures. The remaining 'night soil passageways' and rear yard outdoor toilet structures are a significant element in Paddington. Remnant stable structures are rare.

#### Objectives

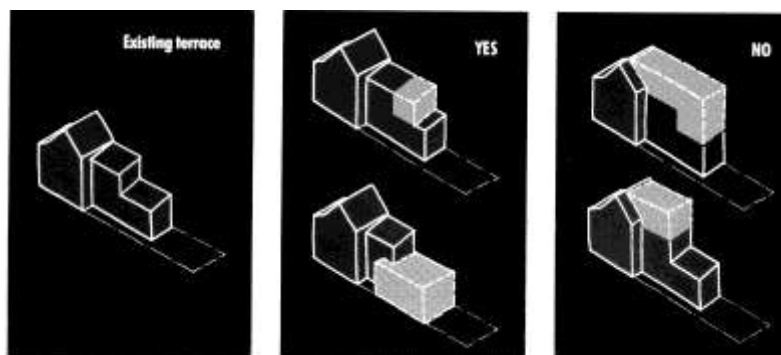
- O1 To retain the forms and character of traditional rear elevations of contributory buildings, particularly where they exist in unaltered groups.
- O2 To ensure that rear alterations and additions are of sympathetic design and construction.
- O3 To ensure that the distinctive shared characteristics of groups of contributory buildings are retained and enhanced.
- O4 To enable sympathetic contemporary design and use of contemporary materials in appropriate circumstances.
- O5 To ensure that significant outbuildings are retained and conserved.

FIGURE 8 Rear elevations



Where a coherent group of rear elevations exist, any development should occur within the existing envelopes. New development which ignores its context will not be permitted.

FIGURE 9 Rear additions



Rear extensions should respect the traditional hierarchy of scale and form. Greater freedom is permitted of the architectural treatment of ground floor extensions than for visible upper floor additions.

## Controls

### Rear additions

~~C1 The height of an alteration and addition to the rear of a double storey or higher building must be below the gutter line of the main roof of the existing building.~~

**C21** Alterations and additions to a building which comprises one of a group, or pair, must be designed with regard to the overall balance of the group, or pair, in terms of height, alignment, form, scale, breezeway pattern and architectural character and detail.

**C32** The roof of an extension or the new roof for an existing component must be of traditional form appropriate to the building type.

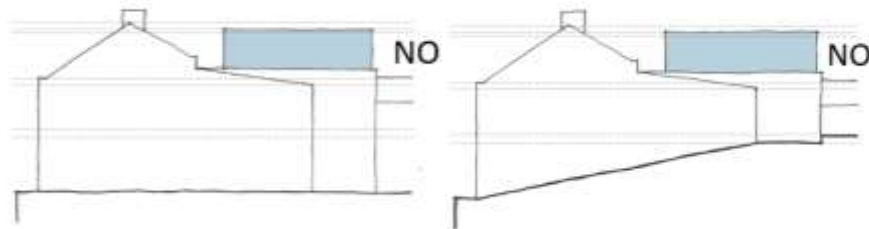
**Commented [DCP22]:** Remove control C1 which is being replaced by proposed control C4 which duplicates the intention.

**Commented [DCP23]:** Enhance this control so that it applies also to pairs of contributory buildings.

**C43** Roofs must be visible and not screened partly or wholly by features such as parapets. The exception may be corner sites. Parapet roof forms may only be considered appropriate where it can be demonstrated that a parapet form is consistent with the bulk, scale and character of the existing building and group.

**C4** No part of a rear alteration and addition can be higher than the gutter line of the principal building form (chimney excluded).

**FIGURE 9A** Intrusive development: rear additions showing additional levels above the gutter line which are not supported by C5. The difference between the two drawings is the topography of the site.



**Commented [DCP24]:** Insert new control C4 (before new diagrams) which does not support rear additions being higher than the gutter line of the principal building form.

**Commented [DCP25]:** Insert new diagrams illustrating intrusive development above the gutter line in a flat scenario and sloping to the rear scenario.

- C5** Alterations and additions at the rear of buildings must:
- not dominate or otherwise adversely compete with the form, height, proportions and the scale of that part of the building which is to be retained;
  - not reproduce or match a building which in terms of its height, bulk, scale and detailing is inappropriate to the heritage character of the area;
  - retain traditional solid to void ratios on elevations visible from the public domain;
  - not employ large areas of glass on upper levels;
  - be designed to minimise or avoid an adverse impact on neighbouring properties in terms of overlooking, loss of sunlight and ventilation;
  - not extend beyond the predominant rear building setbacks at any level of a group or row of buildings; and
  - retain all original chimneys.
- C6** Building boundary to boundary on the ground floor level is permissible provided that:
- the development does not adversely affect the privacy, ventilation, light and the amenity of the adjoining properties; and
  - the development does not disrupt an existing pattern of a group of unaltered contributory buildings.
- C7** Additions are not permitted where single or double storey rear skillion forms exist in an unaltered group. In such cases alterations are to occur within the existing building envelope.
- C8** Where significant original decorative internal elements exist outside of the principal building form they are generally to be retained.

*Unaltered groups*

- C9 Unaltered groups with single storey rear wings must retain their single storey form. Single storey, courtyard housing style additions with attic rooms may be permitted, where the addition does not result in view loss of the main wing from the public domain.

*Contemporary design*

- C10 Sympathetic contemporary design may be permitted at the rear where:
- a) intrusive fabric or fabric of low significance exists;
  - b) the proposal will achieve an aesthetically cohesive relationship between new and existing fabric; and
  - c) the proposal is consistent with the character of the site, the streetscape and the precinct in which it is contained.

*Significant structures and areas at the rear*

- C11 If development is in the form of a dual occupancy, the additional controls for dual occupancies in Part B, Chapter B3 General Development Controls of this DCP also apply (refer to Section B3.8 Additional controls for development other than dwelling houses) .
- C12 Significant backyard toilet structures on rear laneways are to be retained in place if they are one of a group of at least two adjacent original toilets.
- C13 Significant 'night soil' passageways are to be retained in place and interpreted without additional structures other than fencing.
- C14 Significant ancillary structures including stables, coach houses and wells in the rear yard are to be retained in place.

#### C1.4.4 Roofs and roof forms

Main roof forms vary with building types and architectural styles. Cottages have hipped or gable roof forms, or a combination of the two. In terrace housing there are two predominant roof forms. Some roofs are pitched both ways from a central ridge. This is often articulated by the projecting gabled party walls. Corner terraces have segmented hipped forms which address the corner site or composite roofs concealed behind a parapet. Less common is the skillion roof form terrace with a parapet to the street front that steps down along the side elevation.

Below main roof forms there are verandah roofs. Some are stepped down from the main roof. They have distinct profiles and include convex or concave and skillion profiles depending on the architectural character of the building.

There are also secondary roof forms. Lower roofs to rear additions are generally skillion forms. When paired with a similar property, roofs produce patterns of gabled forms to the rear of properties. The simple pitched or skillion roof form on rear elevations is visible, unlike the front elevation roof which may be screened by a parapet.

The earliest roofs in the original Paddington village were covered in timber shingles. Later materials used throughout Paddington are slate, corrugated galvanised iron and zinc coated corrugated steel. Consistent with the style, roofs of Federation period buildings have the characteristic unglazed terracotta tiles.

Associated with the roof and the roofscape are a number of important elements such as traditional flashings, barge rolls, eaves and ridge detailing.

The arrangement of terraces stepping down the hills of Paddington affords views to the roofs. As a consequence, the roofscape is a significant element in the urban character of Paddington.

Replacement of original roofing materials with concrete tiles or glazed tiles, and the replacement of original roof details such as the covering over of lower verandah roof profiles are eroding Paddington's roofscape.

##### Objectives

- O1 To retain and conserve the character of the original roofscape of Paddington.
- O2 To restore or reconstruct missing roof elements.
- O3 To ensure that contemporary roof forms are consistent with the historic roofscape character of Paddington.
- O4 To ensure that the roof form and pitch of upper storey rear additions is consistent with the roof form and pitch of the existing group or pair.

**Commented [DCP26]:** Insert a new objective O4 to ensure that the pitch and roof form of rear additions of coherent groups and pairs is retained.

##### Controls

- C1 The removal of original roofing materials and their details is not permitted unless deteriorated materials are replaced by the same or similar materials and details.
- C2 Existing patterns of roof forms within groups of unaltered buildings must be retained.

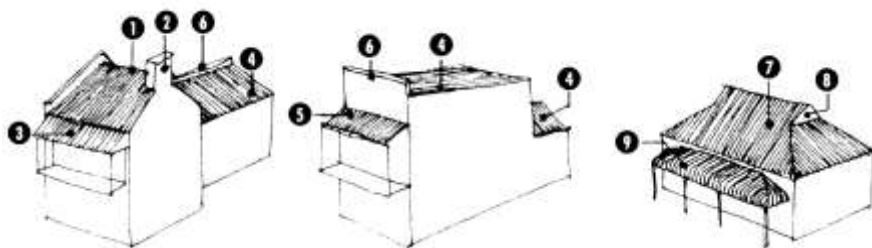
- C3 The roofscape of the principal building form of contributory buildings is to be retained. The possible exceptions are:
- a) a dormer and skylight to the rear roof slope where permitted under Section 1.5.1 Dormers and skylights; and
  - b) a dormer to the front roof slope where permitted under Section 1.5.1 Dormers and skylights.
- C4 Missing roof elements must be reinstated when unsympathetic roofs are replaced.
- C5 Secondary or rear roof forms must not be raised or altered if the rear skillion forms part of a group of similar roof forms. The possible exception is a dormer and a skylight to the rear roof slope. Refer to Section 1.5.1 Dormers and skylights.
- C6 Roof forms are to be consistent with appropriate traditional roof forms, which reflect the diminishing scale of roofscapes towards the rear of buildings.
- C7 Reverse skillion roof forms are not permitted to contributory buildings.
- C8 Roofs are to be clad in materials with profiles that are appropriate to the architectural style of the building. Appropriate materials are described in Section 1.5.8 Materials, finishes and details.
- C9 Unsympathetic roofing materials must only be replaced by roof cladding in either traditional materials or in contemporary materials, which are similar in appearance and profile to traditional materials.
- C10 Rear roof planes are not to incorporate more than 25% transparent material. This includes the area of skylights and dormer windows.

**C11** New rear additions to multi-storey buildings must remain consistent with the group or pair in terms of roof form and roof pitch.

**Commented [DCP27]:** Insert new Control C11 to ensure that the pitch and roof form of rear additions of coherent groups and pairs is retained.

**FIGURE 10** Roof elements

- |                 |                         |                           |
|-----------------|-------------------------|---------------------------|
| 1 Gable roof    | 4 Skillion roof         | 7 Hipped roof             |
| 2 Chimney stack | 5 Skillion balcony roof | 8 Gablet                  |
| 3 Balcony roof  | 6 Parapet               | 9 Bullnosed verandah roof |



### C1.5.7 Lofts over garages and studios

There is a demand for additional structures located over single storey garages and studios located at the rear of properties. Lofts provide benefits such as added accommodation, surveillance to laneways, increased public and private security and safety, and in some instances improvements to a laneway appearance.

However, there are many parts of Paddington where loft structures are inappropriate. To determine whether a loft structure over a single storey garage or a studio would be acceptable, consideration must be given to the significance of the existing rear building form and lot size, the relationship to the adjoining properties, the laneway characteristics where relevant and impacts on privacy.

**Commented [DCP28]:** Changes to this text highlight that these provisions also apply to new rear additions in sites with no rear laneway access.

#### Objectives

- O1 To ensure that loft structures over garages or studios are sympathetic in their location, massing, form and scale to the traditional rear elevations, yards, and laneways.
- O2 To ensure that loft structures over garages or studios do not detract from the significance of unaltered groups of buildings.
- O3 To ensure that loft structures over garages or studios do not impact on the privacy of adjoining properties.
- O4 To ensure that loft structures do not result in a non-compliance with the private open space and deep soil landscaped area requirements.
- O5 To ensure that loft structures are appropriately orientated to minimise overshadowing on adjoining/adjacent open space.
- O6 To minimise the visual impact of loft structures when viewed from public areas and private land.

**O7** To ensure that loft structures above garages and studios do not preclude the maintenance and conservation of items that contribute to the significance of the heritage conservation area.

**Commented [DCP29]:** Insert new objective O7 which aims to maintain and conserve elements that contribute to the significance of the heritage conservation area.

#### Controls

- C1 Loft structures may be permitted where:
  - a) the site dimensions are a minimum of 30m long and 5.24m wide and where the structure will not adversely impact on the traditional character of the rear elevations, yards, and laneways;
  - b) the structure will not adversely impact on the amenity, visual privacy and overshadowing of the property, neighbouring properties and public open space (the controls in Section 1.4.5 Building height, bulk, form and scale apply);
  - c) the structure does not require the footprint of the garage or studio to be extended so that the controls in Section 1.4.8 Private open space, swimming pools, courtyards and landscaping cannot be satisfied. Where there is an existing non-compliance with



these controls, the existing private open space and deep soil landscaping is not to be further reduced;

- d) all access to the loft is provided internally;
- e) habitable room windows within the loft with a direct sightline to the habitable room windows in the existing building on the site and neighbouring buildings have a separation distance of at least 9m;
- f) the structure extends over only a single space garage or studio;
- g) the loft and garage (or studio) structure is a maximum of 4.34m wide;
- h) the roof structure is gable ended to the rear boundary laneway, with a maximum ridge height of 5.5m and maximum wall height of 3.9m (on or adjacent to a side boundary);
- i) windows are located only in the centre of gable ends and must be either: a single double hung sash window, or inward opening window of traditional proportions;
- j) does not include balconies, decks, or other similar cantilevered structures;
- k) a maximum of two skylights per roof plane, provided they comply with controls C28, C29 and C30 in Section 1.5.1 Dormers and skylights; ~~and~~
- l) the ground floor level of the principal building form is higher than the natural ground level at the rear boundary ~~;~~ and
- m) the maintenance of elements that contribute to the heritage conservation area, such as sandstone walls, will not be adversely affected. Also refer to C1.5.6 Fences, walls and gates.

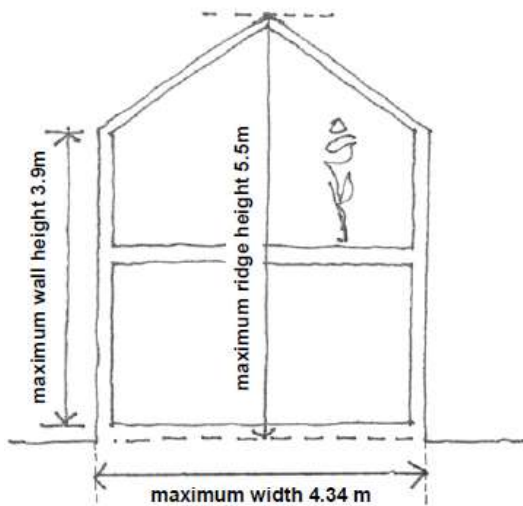
**Commented [DCP30]:** Enhance control C1 (h) by removing “laneway”. With this change, the numerical controls for lofts above garages can be applied also to studios in sites with no rear laneway access.

**Commented [DCP31]:** Insert new sub-clause m) to maintain and conserve elements that contribute to the significance of the heritage conservation area, for example sandstone walls.

C2 Loft structures will not be permitted:

- a) over garages or studios in the street front zone;
- b) if the subject property is part of an original row of houses, comprising an unaltered group, and the proposal demonstrates an adverse impact on this group;
- c) if the rear of the property is orientated towards the north between NNE and NNW (true north) (see Appendix 1);
- d) with a dormer window; and
- e) over a multiple space garage.

**FIGURE 27** Loft structure design example including dimensions



## Chapter C2

# Woollahra Heritage Conservation Area

Part C ► Heritage Conservation Areas

CHAPTER C2 APPROVED ON 27 APRIL 2015  
AND COMMENCED ON 23 MAY 2015



### C2.4.5 Inter-War flat buildings

The Inter-War flat buildings in the Woollahra HCA are usually three storeys high and demonstrate the influence of the Inter-War housing styles found within the Woollahra HCA. These residential flat buildings were usually built in face brickwork with contrasting decorative panels or in textured render in the Georgian Revival, Mediterranean, Spanish Mission or Old English style. Some excellent multi-storey examples of the skyscraper Gothic style within landscaped settings also exist.

There is generally little potential for additions and alterations to Inter-War flat buildings as changes usually have a negative impact on the overall character of the buildings and their settings.

Inter-War flat buildings make a contribution to the conservation area as they illustrate the evolution of Sydney's living accommodation from the single house to the acceptance of multi-unit living during the Inter-War period.

**Commented [DCP1]:** Insert new paragraph to reflect the importance of Inter-War flat buildings in Woollahra.

#### Objectives

**Commented [DCP2]:** Amend objectives so that there are controls for Inter-War flat buildings consistent with B3.8.7.

O1 To conserve and maintain Inter-War flat buildings in Woollahra.

O+2 To ensure that the ~~original~~ significant characteristics of Inter-War flat buildings contributing to the character of the area are retained and protected.

**Commented [DCP3]:** Renumber existing objective O1 with proposed O2.

O3 To conserve the principal street elevations and the character of the Inter-War flat buildings.

O4 To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.

O5 To ensure that alterations and additions to the roofs are discreet and do not detract from the original character, proportions or key elements.

O6 To conserve the established garden settings, including significant elements and features.

O7 To ensure that parking does not detract from the character of the streetscape.

O8 To ensure that external materials, details and finishes respect and complement the original building.

O9 To ensure that works to balconies and verandahs to rear or side elevations do not detract from the character and form of Inter-War flat buildings.

O10 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.

O11 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.

O12 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.

~~O213 To ensure fire safety and access upgrading works are discreet, and retain and respect the original and significant building fabric. To ensure those services upgrading and fire safety works are carried out in a way that retains and conserves the distinctive characteristics of the building.~~

**Commented [DCP4]:** Renumber existing objective O2 with proposed O13.

~~O3 To allow sympathetic additions to the external façade of Inter-War flat buildings that conserve the distinctive or original characteristics of the building.~~

**Commented [DCP5]:** Control deleted as it is replaced by proposed O3, O4 and O5.

~~O4 To encourage redevelopment or modification of intrusive development.~~

**Commented [DCP6]:** Control deleted as it is replaced by proposed O15.

O14 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.

O15 To promote restoration and reconstruction works to restore significance.

#### Controls

**Commented [DCP7]:** Enhance controls for Inter-War flat buildings consistent with B3.8.7.

#### Streetscape

C1 Significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations are to be restored or reconstructed.

C2 Changes to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building.

C3 Alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.

C4 Additions are limited to undercroft areas, roof spaces and the provision of balconies.

C5 Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.

C6 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.

C7 Existing original fanlights and other openings are retained and sealed from behind, if necessary.

C8 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.

C9 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.

C10 New additional security elements are in character with the building. Security bars are:

- a) fitted internally;
- b) respect the existing glazing patterns; and
- c) painted in a dark recessive colour.

- 
- C11 Original verandahs and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.
- C12 New verandahs and balconies are allowed to the rear or side elevations only if they:
- a) respect the character of the existing building; and
  - b) are sympathetically integrated with the character and form of the building.
- C13 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.
- C14 Materials are similar in type and finish to those on the original building or sympathetically integrate with the fabric of the building.
- C15 Original face brickwork, terracotta or decorative concrete panels must not be painted, rendered or coated.
- C16 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building. Skylights are flush with the roof surface.
- C17 Original chimneys and their details are retained.
- C18 Privacy screens are discreet and do not impact on the overall character of the building.
- C19 Protruding shade structures, including awnings and canopies, are not located on the principal building elevations.
- C20 The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.
- C21 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, wall details, light fittings, internal doors and the like.
- C22 New lifts are designed and located so that the addition:
- a) is located outside the principal building form, if practical; and
  - b) does not require significant alterations to existing common areas.
- C23 Previous unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced by reinstating original forms and matching fabric or with new works sympathetic to the age and style of the building.
- C24 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.
- C25 Alarm bell boxes and the like, are not attached to the principal building elevations.
- C26 New or upgraded services are discreetly and sensitively located to minimise visual impact. They are located within existing ducts, behind cornices or bulkheads or within
-

external lightwells that are not visually prominent. Wiring or other services are housed in concealed conduits.

C27 Original timber staircases are retained and smoke isolated, if necessary.

C28 Where the height of the original stair balustrades is to be modified –the modification is discreet and sympathetically integrated with the existing stair balustrade.

C29 Stair treads applied to existing stairs are discreet.

C30 Emergency and exit lighting is incorporated into existing original light fittings, where practical.

C31 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.

C32 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.

C33 Original fencing, gates and mailboxes are retained and conserved.

C34 New ancillary development:

a) is smaller in scale than the principal building;

b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;

c) is constructed in a style, form, materials and finishes that complement the principal building;

d) is single storey with a maximum clear internal height of 2.4m; and

e) is sympathetic in scale and style to traditional forms of ancillary structures.

C35 Characteristic front gardens, and their elements, are retained with minimal alteration.

C36 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.

C37 New fences and gates to the front building alignment must complement the streetscape and the existing building.

C38 Mailboxes are discreetly located and do not impact on the character of the building.

~~C1 Contributory and/or characteristic street front gardens are to be maintained.~~

~~C2 There shall be no structures, including secondary fencing, erected in the front gardens which detract from the feeling of openness or impact upon the principal elevations of the buildings.~~

~~C3 There shall be no alterations or additions to the original forms, details or materials of the principal elevations of the buildings.~~

**Commented [DCP8]:** Control deleted as it is replaced by proposed C35.

**Commented [DCP9]:** Control deleted as it is replaced by proposed C35 and C36.

**Commented [DCP10]:** Control deleted as it is replaced by proposed C2 and C3.



~~C4 All car parking and garage structures are to be located at the rear with access from the rear lane or side driveway.~~

**Commented [DCP11]:** Control deleted as it is replaced by proposed C32.

#### *Landscaped area*

~~C5 The landscaped areas shall not be reduced in area or screen the principal elevation of the building.~~

**Commented [DCP12]:** Control deleted as it is replaced by proposed C35 and C36.

#### *Alterations and additions*

~~C6 Alterations and additions to an individual flat must not adversely affect the cohesiveness of the principal building form of the building.~~

**Commented [DCP13]:** Control deleted as it is replaced by proposed C3 and C4.

~~C7 Additions should not significantly change the overall form of the building. Additions should not be visually disruptive to the form or character of the building.~~

**Commented [DCP14]:** Control deleted as it is replaced by proposed C3.

~~C8 Alterations to windows and external doors are not permitted except where they are not visually prominent, such as to rear ground floor flats or below street level.~~

**Commented [DCP15]:** Control deleted as it is replaced by proposed C6 and C7.

~~C9 Enclosure of balconies and verandahs is not permitted.~~

**Commented [DCP16]:** Control deleted as it is replaced by proposed C11.

~~C10 Proposed alterations to improve accessibility, including lifts, ramps and stairs, must retain the original character and design of the building and setting.~~

**Commented [DCP17]:** Control deleted as it is replaced by proposed C13.

~~C11 Original timber staircases must be retained and smoke isolated if necessary.~~

**Commented [DCP18]:** Control deleted as it is replaced by proposed C27.

#### *Roofs*

~~C12 The original roof form of the building is not to be altered.~~

**Commented [DCP19]:** Control deleted as it contradicts proposed C16.

~~C13 Roofs must not be re-pitched to allow for the introduction of an attic storey.~~

**Commented [DCP20]:** Control deleted as it is replaced by proposed C13.

~~C14 Skylights are not permitted where visible from the public domain.~~

**Commented [DCP21]:** Control deleted as it is replaced by proposed C16.

~~C15 Dormers are not permitted.~~

**Commented [DCP22]:** Control deleted as it contradicts proposed C16.

#### *Fences and gates*

~~C16 Fences and gates at the street frontage must be between 400mm and 900mm in height and consistent in design with the style, form, materials, finishes and character of the building. Appropriate materials are generally masonry for fences and wrought iron for gates.~~

**Commented [DCP23]:** Control deleted as it is replaced by proposed C37.

~~C17 Fencing behind the front outer wall of the building must be timber paling.~~

**Commented [DCP24]:** Control deleted as it is replaced by proposed C14 and C37.

#### *Ancillary development*

~~C18 Ancillary development must be no higher than one storey and located between the principal building and the rear boundary. They should be constructed of material in the style and character of the principal building and with traditional forms of ancillary development.~~

**Commented [DCP25]:** Control deleted as it is replaced by proposed C34.

~~C19 — Shade structures, including awnings and canopies, are not permitted to the principal elevation of the building.~~

**Commented [DCP26]:** Control deleted as it is replaced by proposed C19.

~~C20 — Privacy screens must be discreet, must not be visible from the street and must not adversely affect the overall character of the building.~~

**Commented [DCP27]:** Control deleted as it is replaced by proposed C18.

#### *Extended materials*

~~C21 — Materials for repair or replacement must match the original material in type, profile and colour.~~

**Commented [DCP28]:** Control deleted as it is replaced by proposed C1, C2 and C14.

~~C22 — Original face brick, terracotta or decorative concrete panels on external elevations are not to be rendered, painted or coated.~~

**Commented [DCP29]:** Control deleted as it is replaced by proposed C15.

~~C23 — Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.~~

**Commented [DCP30]:** Control deleted as it is replaced by proposed C13, C24 and C26.

~~C24 — Concrete tiles and metal roofing are not permitted.~~

**Commented [DCP31]:** Control deleted as it is replaced by proposed C14 and C20.

~~C25 — Aluminium windows are not permitted as replacements for timber windows, but may replace steel windows if they match the original windows in all other respects.~~

**Commented [DCP32]:** Control deleted as it is replaced by proposed C6 and C14.

**FIGURE 13** Typical Inter-War flat building



# Chapter C3

## Watsons Bay Heritage Conservation Area

Part C ► Heritage Conservation Areas

CHAPTER C3 APPROVED ON 27 APRIL 2015  
AND COMMENCED ON 23 MAY 2015



### C3.4.1 Precinct A: Entrance

#### Character statement

This precinct stretches from the south end of Upper Gap Park along Old South Head Road to Robertson Place. This area serves as a spectacular gateway to Watsons Bay with a sense of arrival enhanced by elevated views and vistas over Watsons Bay and Upper Gap Park Reserve to the Heads (Figures 1, 2 and 3).

The two storey housing on the north side of Robertson Place terminates the descent into Watsons Bay along Old South Head Road. The historic road alignments of Old South Head Road and Robertson Place have been retained, although the early form of Robertson Place has been altered by the change in levels around a visually intrusive roundabout.

Contrasting built elements within the precinct create a visually diverse streetscape. There is a significant grouping of historic buildings on the north side of Robertson Place, comprising three two storey Federation period semi-detached dwellings, a pair of originally single story Victorian period weatherboard semi-detached dwellings and “Keronga”, a 1920s two storey (plus basement) residential building (Figure 4). The group is relatively consistent in its scale and alignment. Setbacks to each building, although varied, incorporate a set pattern that reflects the road alignment. A contemporary residence, within which remnants of a 1830s stone cottage remain, visually detracts from the group of earlier buildings.

A single detached house at the intersection of Hopetoun Avenue (within the Salisbury Street/Hopetoun Avenue Precinct) and the low-scaled (two storey) retirement housing (within the Vaughan Village Precinct) on the east side of the precinct are both set within gardens behind a low sandstone block wall. This fencing is characteristic of the fencing within this precinct, which consists mainly of sandstone block or rendered brick (Figure 5).

A small sandstone obelisk commemorates the completion of the construction of (Old) South Head Road to Watsons Bay in 1811.

Although partly obscured by the single storey yacht club, significant public views west from Robertson Place to the public baths and Sydney Harbour have been maintained.

**FIGURE 1** Aerial view of the precinct



**FIGURE 2** View over Upper Gap Park and Watsons Bay to the Harbour



**FIGURE 3**

View over Upper Gap Park to the Heads



**FIGURE 4**

Two storey housing on north side of Robertson Place



**FIGURE 5** Old South Head Road featuring low sandstone wall stepping up both sides



## PRECINCT CONTROLS

The precinct specific controls supplement the general controls for development in Section C3.5. If there is an inconsistency between the precinct controls and the general controls, the precinct controls take precedence.

### Topography and vegetation

- C1 Existing scale relationships are to be maintained between more elevated properties along Old South Head Road and the properties lower down along Robertson Place.
- C2 No change in existing building heights is permitted for properties fronting Robertson Place.

### Townscape

- C3 Existing subdivision patterns along Robertson Place are to be retained. Any proposal to create a new lot or amalgamate lots must be of a size (in area and dimensions) which reflects the characteristics of historically relevant lots adjoining and in the vicinity of the site.
- C4 Historic road alignments of Old South Head Road and Robertson Place are to be retained.

### Views and vistas

- C5 Existing views from the public domain are to be retained over roofs to the harbour from the elevated areas of the precinct, including those along Old South Head Road.
- C6 Existing roofscapes (pitched roofs) are to remain uncluttered by intrusive structures so as to not detract from views to and from elevated areas of the public domain.

### Contributory items

Note: Heritage items as identified in Schedule 5 of Woollahra LEP 2014 are also contributory items. Refer to clause 5.10 of the LEP for heritage conservation controls.

Contributory items	
1 Robertson Place	2 storey <u>Inter-War flat building</u> <del>interwar duplex</del> 'Keronga'
3 Robertson Place	2 storey Federation semi-detached dwelling
5 Robertson Place	2 storey Federation semi-detached dwelling
7 Robertson Place	2 storey Federation semi-detached dwelling
9 Robertson Place	2 storey Federation semi-detached dwelling
11 Robertson Place	2 storey Federation semi-detached dwelling
13 Robertson Place	2 storey Federation semi-detached dwelling
15 Robertson Place	Single storey Victorian semi-detached dwelling
17 Robertson Place	Single storey Victorian semi-detached dwelling
19 Robertson Place	2 storey Edwardian semi-detached dwelling
21 Robertson Place	2 storey Edwardian semi-detached dwelling
23 Robertson Place	Portions of an early Victorian cottage [1839] within a 3 storey contemporary house
Old South Head Road	Bus shelters

**Commented [DCP1]:** Administrative change. Amend terminology consistent with other chapters of the DCP.

- C7 Contributory items (i.e. includes heritage items) are to be retained.
- C8 Changes to contributory items is limited to sympathetic alterations and additions consistent with the built form controls for contributory items in Section C3.6 of this chapter.

### Built form

The following controls apply to new dwellings, or the main new building on the site. Separate controls apply to secondary structures such as new garages, carports, ancillary buildings and the like.

### ***Building siting and alignment***

#### ***Streetfront setbacks***

- C9 Existing streetfront setback patterns are to be maintained, particularly those associated with the group of historic buildings on the north side of Robertson Place (Figure 4).
- C10 New buildings are to be orientated parallel with adjacent properties (not parallel to the street frontage) to maintain existing streetscape patterns.

#### ***Side boundary setbacks***

- C11 New buildings adjacent to, and within, Robertson Place are to achieve a similar setback pattern to the contributory items located on the north side of Robertson Place.

### ***Building height***

- C12 The height of new buildings is to be no greater than the predominant height of contributory items within the streetscape and in any case is limited to two storeys.
- C13 Existing views from the elevated areas of the precinct (from the upper areas of Old South Head Road overlooking Watsons Bay to the harbour) are not to be obstructed by higher development below. New buildings on land fronting Robertson Place are to be no higher than the predominant height of existing buildings.

### ***Building form***

- C14 Rectilinear plan and traditional pitched roof forms are to be used to relate to the established streetscape character.

### ***Building materials and details***

- C15 The following materials are appropriate for new buildings:
  - a) Walls: rendered brick or sandstone.
  - b) Pitched roofs (dwellings): slate or tiled with unglazed terracotta or dark earth tones.

### ***Landscaping and site coverage***

- C16 New buildings are to retain and reinforce the typical garden layouts of the front building setbacks with paths, small trees, shrubs and, where space permits, lawns.
- C17 The building footprint plus paved surfaces (patios, pathways, tennis courts and swimming pools together) must not exceed 75% of the site area, in order to provide 25% of the site area for landscaped area, including plantings.

### ***Fences and walls***

- C18 Where existing, original square top picket fencing is to be retained.



- 
- C19 Fencing should be limited to traditional timber paling, or rendered or bagged masonry walls (or, where evidence of previous use exists, composite masonry/timber. Fences should step down in height to 1.2m at front boundary line.

#### Car parking and access

- C20 Garages and carports are to be set back behind the front of the main building, preferably at the rear of the property.
- C21 Hardstand car parking spaces are not to be forward of the main building.
- C22 No new garages or carports are to be constructed for existing contributory items, where these would adversely affect the form and presentation of the item.

#### Inter-War flat buildings or multi dwelling housing

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

**Commented [DCP2]:** Insert reference to the new Inter-War flat buildings controls.

#### C3.4.4 Precinct D: Commercial and residential flat buildings

##### Character statement

Centred on historic Military Road which linked South Head Road to the defence and navigational establishments and the village of Camp Cove, the precinct extends from Gap Road in the north to Robertson Place in the south, and is bounded by properties with frontage to Military Road (Figure 18).

The precinct contains the Military Road commercial centre of Watsons Bay. The visually distinctive former town hall, built on sites associated with the 1887 subdivision around the later demolished Gap Hotel, is surrounded by a group of residential flat buildings. Buildings are aligned close to or at street frontage, thereby forming a relatively enclosed streetscape (or 'hard' built edge) comprising mainly two to three storey buildings set below the high ridge of Upper Gap Park.

The former town hall, a single storey sandstone shop with timber cottage behind, a group of Inter-War shops and residential flat buildings contribute positively to the streetscape. The silhouette of the parapets of the former town hall and Inter-war shops opposite define the streetscape, giving visual prominence to the former town hall and definition to the height of buildings within the streetscape (Figures 19 and 20). The taller height and assertive forms of some of the newer development challenges the prominence of these historic elements within the streetscape.

The Gap Bluff Precinct of the Sydney Harbour National Park and the spire of 'Our Lady Star of the Sea' church visually terminate the streetscape at the north and south ends respectively (Figure 21). While the mix of building styles and forms create an architecturally diverse streetscape, it is very uneven in terms of form, character and detail, which detracts from the contributory items within the streetscape.

**FIGURE 18**  
Aerial view of the precinct



**FIGURE 19** West side of Military Road,  
residential flats and Inter-War shops



**FIGURE 20** East side of Military Road, with former town hall prominent.



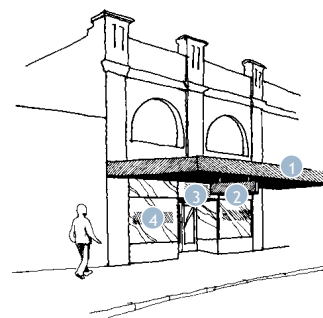
**FIGURE 21** Streetscape with spire above



**FIGURE 22** Extract from the 1887 'Watsons Bay' subdivision plan



**FIGURE 23**  
An example of appropriate shopfront signage



- 1 Awning fascia sign
- 2 Under awning sign
- 3 Top hamper sign
- 4 Painted or etched window

**FIGURE 24** 25 Military Road with weatherboard cottage (11 Gap Road) behind



**FIGURE 25** East side of Military Road, north of the Town Hall



**FIGURE 26** Looking south towards the Town Hall

### PRECINCT CONTROLS

The precinct specific controls supplement the general controls for development in Section C3.5. If there is an inconsistency between the precinct controls and the general controls, the precinct controls take precedence.

#### Topography and vegetation

- C1 New development is not to alter the existing scale relationships between the high natural ridge of Gap Park on the eastern side and the lower scaled buildings below.
- C2 Mixed shrub and groundcover beds in footpaths, as well as private planter boxes attached to building facades or on low walls, detract from the streetscape and should be removed.

#### Townscape

- C3 The surviving subdivision pattern is to be retained, including width and depth of allotments that provides evidence of 1887 subdivision around the Gap Hotel (Figure 22).
- C4 The overall consistency of building alignment is to be retained (i.e. built close to or at the street frontage).
- C5 The cohesiveness of the centre is to be reinforced. New development is to respect the scale, massing and architectural character of adjacent heritage and contributory items.
- C6 Infill development within the neighbourhood business zone is to be of traditional 'main street' form, with shops at ground level and housing or commercial space above.
- C7 The location of outdoor footpath dining must maintain continuity of public access.
- C8 The number of signs is to be limited to avoid visual clutter on individual premises and within the streetscape.

### Signage and advertising (commercial buildings)

#### *Signs are to be:*

- C9 Located at ground level on shopfronts (hampers), awnings and under awnings (Figure 23).
- C10 Designed to fit within the existing architectural elements of buildings and not obscure architectural features.
- C11 Designed to an appropriate size and scale for the building on which they are to be erected.
- C12 Painted and, where illumination is desired, externally spot lit.
- C13 Fixed to buildings in a manner that does not damage significant building fabric.

#### *Signs are to:*

- C14 Identify the building and its use only. General trade advertising signs are not permitted.
- C15 Incorporate style, lettering and colours that complement the style and character of the building to which they are attached.

#### *Signs are not to be:*

- C16 Located on windows other than to indicate the name and nature of the business. Window signs are to be discrete and of a professional design quality. Views to the interior of the building are not to be obscured unduly.
- C17 Fixed above awning level.
- C18 Painted on previously unpainted surfaces of heritage and contributory items.
- C19 Standardised corporate signage.
- C20 Internally lit, neon or with flashing lights. Small and discrete internally illuminated signs may be installed within shopfronts.

### Views and vistas

- C21 Existing public views over roofs to the harbour from Gap Park are to be retained, including views from the former tram corridor.
- C22 The vista from Military Road to Gap Park and cottage behind the sandstone commercial building at 25 Military Road is to be retained (Figure 24).
- C23 Roofs are to remain uncluttered by intrusive structures and services in order not to detract from the significant views from Gap Park towards the harbour.

### Contributory items

Note: Heritage items as identified in Schedule 5 of Woollahra LEP are also contributory items. Refer to clause 5.10 of the LEP for heritage conservation controls.

Contributory items	
3 Military Road	2 storey 1920s <a href="#">Inter-War flat building</a> <del>flats</del> over retail
10 Military Road	2 storey Federation styled housing over retail
12A Military Road	2 storey Federation styled housing over retail with original shopfront

**Commented [DCP3]:** Administrative change: amend terminology consistent with other chapters of the DCP.

- C24 Contributory items (i.e. includes heritage items) are to be retained.
- C25 Change to contributory items is limited to sympathetic alterations and additions consistent with the controls in Section C3.6.
- C26 Reconstruction of the original window configuration in the Inter-War period shops group is encouraged and should occur concurrently when development is proposed for those buildings.
- C27 Original significant shopfronts at 10 Military Road are to be retained.
- C28 Existing setbacks from the street are to be maintained.

### Built form

The following controls apply to new dwellings, or the main new building on the site. Separate controls apply to secondary structures such as new garages, carports, ancillary buildings and the like.

#### *Building siting and alignment*

##### *Street front and side boundaries – east side*

- C29 New buildings are to be built to the street alignment to the north of the former Town Hall, with exception of the allotment immediately adjacent (Figure 25). South of the former town hall building, new buildings are to be set back to match the existing residential flat building alignment, up to the corner site, which should be built to the street alignment (Figure 26).

##### *Street front and side boundaries – west side*

- C30 New buildings are to be built to the street alignment and to side boundaries on all levels. Existing gaps in the street wall are to be infilled when further development occurs to those properties.

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*Rear setbacks*

- C31 Building setbacks from rear should relate to existing setback pattern on adjoining blocks and maintain amenity of neighbouring residential property.

*Building height*

Note: Maximum building height is specified in Woollahra LEP 2014.

*Building form*

- C32 New buildings are to be built with parapeted rectilinear forms in order to relate to similar contributory items and to achieve greater unity within the streetscape.
- C33 New building forms are not to be so visually assertive in the streetscape that the historic character is eroded.
- C34 New buildings on the west side of Military Road are to be constructed with awnings.
- C35 New buildings on the east side of Military Road are to be subservient in form and height to those of the former town hall in order to retain its visual prominence in the streetscape.
- C36 The location and mix of uses in the precinct should ensure adequate residential amenity in terms of sunlight access and visual and acoustic privacy.

*Building character*

- C37 Facades are to be modulated into vertically proportioned bays and openings.

*Building materials and details*

- C38 Walls above awnings are to be rendered and painted masonry. Sandstone or ceramic tiles are permitted at ground level.

**Landscaping and site coverage**

*Commercial buildings*

- C39 Landscaping is not appropriate at street frontage.

*Residential flat buildings or multi dwelling housing*

- C40 Landscaped area is permitted in front of residential flat buildings and multi dwelling housing, except at the street corners.
- C41 The building footprint plus paved surfaces (patios, pathways, tennis courts) and swimming pools together must not exceed 75% of the site area in order to provide 25% of the site area for landscaped area, including planting.

- C42 Planting should be carefully selected to ensure that the mature height and canopy spread is not excessive for the limited space available. Refer to Section 3.5.6 Landscaping and private open space.

#### Fences and walls

- C43 Low masonry walls of a maximum height of 1.2m are to be provided along the street alignment to new residential development on the east side, south of the town hall. Materials are to be sandstone or match the building finish to which they relate.
- C44 Side and rear fences, when not street fronting, are to be traditional timber paling fences or masonry walls of 1.8m maximum height, rendered and painted.

#### Car parking and access

- C45 No new driveways from Military Road are permitted.
- C46 No new garages are permitted on the street frontage.
- C47 The existing multiple garages fronting the east side of Military Road are to be replaced/relocated when development occurs to those sites.

#### Site facilities and aerial devices

- C48 Servicing of the commercial buildings is to be provided from the rear, where possible.

#### Inter-War flat buildings or multi dwelling housing

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

**Commented [DCP4]:** Insert a reference to the new Inter-War flat buildings controls.



### C3.4.10 Precinct K: Camp Cove Village

#### Character statement

Part of the 1855 The Town of Watsons Bay subdivision, the precinct is bounded by Victoria Street, Cliff Street, Short Street and Pacific Street. This part of the early subdivision has mostly retained its historic townscape character, with low-scaled one and two storey detached houses sited on relatively small allotments. Camp Cove Reserve, originally a lagoon behind the sand dunes, is at its core.

Houses are generally built close to the street, with only small setbacks from front and side boundaries. There are limited small areas of garden space at the front behind low fences and within yards at the rear. Trees in the rear yards form a backdrop to the houses when viewed from the streets.

Buildings and groups of buildings that contribute to the character of the precinct date from two key periods: 1850s-1870s and 1910s-1930s. The precinct includes most of the timber weatherboard cottages in Watsons Bay, which is the largest concentration in Woollahra Municipality. The key contributory groups are:

#### Victoria Street

- Surviving single storey weatherboard and masonry cottages, and a two storey c1930s house on a larger allotment, with ~~duplex (flat)~~ [Inter-War flat building](#) at corner of Pacific Street.

**Commented [DCP5]:** Administrative change: amend terminology consistent with other chapters of the DCP.

#### Pacific Street

- Small-scaled one and two storey brick and weatherboard cottages behind low fences and small front gardens. These soften built edge and create more uniform streetscape character than on the opposite side.

#### Cliff Street

- Variety of housing dating from 19th century to early-mid 20th century, including single storey brick and early weatherboard cottages with pitched roofs. Many have very small to negligible setbacks from street with low fences that contribute to the historic townscape.

#### Cove Street

- One and two storey cottages on the north-east side, with pitched roofs, set back from the street frontage behind a variety of fences, some with small front gardens.
- Significant group of early single storey cottages with verandahs aligned with street frontage.
- Larger, two storey buildings at south end, including a group of four two storey terraces (Portuguese terraces) and a two storey weatherboard house, built close to the street frontage.

### **Short Street**

- ▶ The single storey cottage at the intersection of Short Street and Military Road.

### **Camp Street**

- ▶ The laneway character with rear yards of houses set behind fences and carports.

The contrast between the modest cottages of the precinct and the large waterfront mansions of the adjoining precincts creates two visually distinct streetscape components along Victoria Street and Pacific Street. The streetscape of Cliff Street provides further contrast between low-scaled housing on one side and the rising ridge of the national park opposite. These visual distinctions reinforce the historic townscape character of the precinct.

Public views to the harbour from within the precinct from the end of Victoria Street, near the Victoria Wharf Reserve. Camp Cove Reserve provides an internal focus, with views into it from Cove Street, Pacific Street and Camp Street. There are broader vistas to HMAS Watson, and the distant spire of Our Lady Star of the Sea.

**FIGURE 75** Aerial view of the precinct



**FIGURE 76** Victoria Street



**FIGURE 77** Pacific Street



**FIGURE 78** Cliff Street



**FIGURE 79** Stone and weatherboard cottages on Cove Street



**FIGURE 80** Camp Street from Reserve



**FIGURE 81** Extract from 1855 'Town of Watsons Bay' subdivision plan



**FIGURE 82** Intersection of Short Street and Cliff Street



**FIGURE 83** View along Camp Street into Camp Cove Reserve



**FIGURE 84** Portuguese Terraces in Cove Street



**FIGURE 85** Weatherboard and stone cottages on Cove Street



**FIGURE 86** Weatherboard cottage on Cliff Street



**FIGURE 87** Appropriate fencing along Victoria Street



### PRECINCT CONTROLS

The precinct specific controls supplement the general controls for development in Section C3.5. If there is an inconsistency between the precinct controls and the general controls, the precinct controls take precedence.

#### Topography and vegetation

- C1 The streetscape qualities of Cove Street are to be retained, enhanced by landscaped open space of Camp Cove Reserve and variable street trees including bottlebrushes, robinias, silky oaks and eucalyptus.
- C2 Remnant sandstone kerbing and guttering are to be retained, including the section in Victoria Street (opposite the end of Cove Street, and outside No 2 Pacific Street, adjoining Short Street).
- C3 The use of mainly subtropical shrubs (hibiscus, frangipani, bougainvillea, etc.) is encouraged in front gardens.

### Townscape

- C4 The pattern of low-scaled detached dwellings and groups of dwellings on separate allotments is to be retained in order to respect the 1855 subdivision layout (Figure 81).
- C5 New development is to be sited to achieve three visually distinct zones similar to most properties, that is:
  - a) small landscaped setback;
  - b) building zone of one and two storey detached houses with setbacks from side boundaries; and
  - c) landscaped rear yards.
- C6 New development is to retain the contrasts between the character established by low-scaled one and two storey 19th century to early-mid 20th century housing behind low fences and small front gardens and the high-walled mansions on the opposite sides of Victoria Street and Pacific Street.
- C7 The 'gateway' characteristics at the intersection of Short Street and Cliff Street are to be retained, including the distinctive single storey cottage at the corner, enhanced by a group of palms and the natural edge of Cliff Street (Figure 82).
- C8 The laneway character of Camp Street is to be retained, with rear yards of houses set behind high paling fences on both sides of street. Consistency of fencing types is to be achieved in order to foster visual coherence.
- C9 The sense of enclosure and natural edge on Cliff Street is to be retained, formed by coral trees, brush boxes and melaleucas from the edge of the Sydney Harbour National Park.
- C10 High walls and garages on the street frontage are not to be permitted as they would detract from the streetscape appearance of houses and the historic townscape character.

### Views and vistas

- C11 Views to the harbour and Inner South Head from Short Street and from Victoria Wharf Reserve are to be retained.
- C12 Vistas are to be retained to Green (Laings) Point Reserve, HMAS Watson, Camp Cove Reserve and the distant church spire.
- C13 Views into Camp Cove Reserve from Cove Street and Camp Street are to be retained.

### Contributory items

Note: Heritage items as identified in Schedule 5 of Woollahra LEP 2014 are also contributory items. For the protection of heritage items refer to clause 5.10 of the LEP.

Contributory items	
18 Cliff Street	Single storey Edwardian cottage

Contributory items	
22 Cliff Street	Single storey Edwardian weatherboard cottage
23 Cliff Street	Single storey 1920s weatherboard cottage
28 Cliff Street	Single storey Edwardian brick cottage with second storey addition
30 Cliff Street	Single storey 1920s weatherboard cottage
3 Cove Street	2 storey Victorian filigree styled terrace
5 Cove Street	2 storey Victorian filigree styled terrace
7 Cove Street	2 storey Victorian filigree styled terrace
9 Cove Street	2 storey Victorian filigree styled terrace
21 Cove Street	Single storey Edwardian weatherboard cottage
23 Cove Street	Single storey 1920s cottage
25 Cove Street	Single storey Edwardian weatherboard cottage
27 Cove Street	Single storey Edwardian timber cottage
29 Cove Street	Single storey Edwardian weatherboard cottage
41 Cove Street	Single storey 1920s weatherboard cottage
43 Cove Street	Single storey Edwardian weatherboard cottage
45 Cove Street	Single storey Edwardian weatherboard cottage
1 Pacific Street	Single storey Victorian weatherboard cottage with 3 storey extension
3 Pacific Street	Single storey 1920s cottage
5 Pacific Street	Single storey Victorian weatherboard cottage
9 Pacific Street	2 storey Edwardian weatherboard cottage
11 Pacific Street	Single storey 1920s weatherboard cottage
13 Pacific Street	Single storey Edwardian weatherboard cottage
15 Pacific Street	Single storey Victorian weatherboard cottage
17 Pacific Street	Single storey Edwardian weatherboard cottage with attic
21 Pacific Street	Single storey Victorian timber cottage
4 Victoria Street	Single storey Edwardian weatherboard cottage
6 Victoria Street	Single storey Victorian weatherboard cottage
14 Victoria Street	Single storey Victorian weatherboard cottage
16 Victoria Street	Single storey Edwardian weatherboard cottage
18 Victoria Street	Single storey 1920s weatherboard cottage
20 Victoria Street	Single storey Inter-War fibro house

Contributory items	
22-24 Victoria Street	2 storey Inter-War <del>flat building</del> duplex
Camp Cove Reserve	2 Moreton Bay Figs, Camphor laurel, Kaffir Plum, Eucalypts, Podocarpus, Stenocarpus

**Commented [DCP6]:** Administrative change: amend terminology consistent with other chapters of the DCP.

C14 Heritage items and contributory items are to be retained.

C15 Change to the contributory items is limited to sympathetic alterations and additions consistent with the controls in Section C3.6.

#### Built form

The following controls apply to new dwellings, or the main new building on the site. Separate controls apply to secondary structures such as new garages, carports, ancillary buildings and the like.

#### Building siting and alignment

##### Streetfront setbacks

C16 Setbacks of new houses are to correspond to the alignment of adjacent contributory items and to provide garden space between the street and the house.

C17 Garages or carports are to be setback behind the building line.

C18 A maximum of one garage door is to be visible from the street frontage.

##### Side boundary setbacks

C19 All new buildings and structures, including any carport or garage, are to be set back from the side boundaries a minimum of 1.2m to retain the detached dwelling character of the precinct and respect the historic development pattern.

##### Rear setbacks

C20 Building setbacks are to relate to the alignment of adjacent houses provided that a rear yard space is retained.

#### Building height

C21 The height of new buildings is to be consistent with the height of neighbouring contributory items (generally a single storey plus attic).

#### Building form

C22 Established building forms are to be followed, i.e. simple rectilinear plan with traditional pitched roofs and verandahs facing the street.

C23 To relate to traditional roof forms, flat-roofed buildings are not permitted.

**Building character**

- C24 The style of new buildings is to respect the character of the significant 19th to mid-20th century housing.

**Building materials and details**

- C25 The following materials are appropriate for new buildings:
- a) Walls: weatherboards, or exposed, rendered or painted brickwork or masonry.
  - b) Roof cladding: corrugated steel, slate, or tiled in unglazed terracotta or dark earth tones.

**Landscaping and site coverage**

- C26 The building footprint plus paved surfaces (patios, pathways, tennis courts) and swimming pools together are not to exceed 75% of the site area in order to provide 25% of the site area for landscaped area, including plantings.
- C27 For landscape planting details refer to Section 3.5.6 Landscaping and private open space.

**Fences and walls***Front fences*

- C28 With the exception of Camp Street, fences are to be a maximum of 1.2m.
- C29 Materials: sandstone, rendered and painted masonry, timber post and rail with chain wire inserts and timber pickets in keeping with the period of the house to which they relate.
- C30 Low front fences to early cottages should be reconstructed where replaced by unsympathetic higher walls (e.g. in Victoria Street and Cliff Street).

*Side and rear fences (including Camp Street)*

- C31 Side and rear fences, including fences on Camp Street, backing onto Camp Cove Reserve are to be 1.8m maximum in height and of traditional timber paling.
- Note: Appropriate front fencing types are illustrated in Section 3.5.7 Fences and walls.

**Car parking and access**

- C32 With the exception of those on Camp Street, garages or carports are not to be built to street frontage and are to be set back behind the main building. Only one vehicular access driveway is permitted at the street frontage.

**Inter-War flat buildings or multi dwelling housing**

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

**Commented [DCP7]:** Insert a reference to the new Inter-War flat buildings controls.



### C3.4.11 Precinct L: Salisbury Street / Hopetoun Avenue

#### Character statement

This precinct is bounded by Robertson Place, Old South Head Road and the heritage conservation area boundary. Parts of Hopetoun Avenue and Salisbury Street cross through the precinct (Figure 88).

The buildings fronting the south side of Robertson Place include a group of three contributory c1920s bungalows and a single detached house at the Hopetoun Avenue intersection. The group is consistent in the scale, form and alignment of the buildings, which are set back from the street behind low original fences with small gardens. A garage to the street frontage disturbs the consistency of the group.

The Salisbury Street streetscape includes the historic road alignment that marks the boundary of an original land grant and the Beaconsfield Estate owned by John Robertson. The western end of the street, backed by a group of mainly cultural plantings including banana palms, mature phoenix palms, melaleucas and immature Norfolk Island pines, appears to terminate on a cliff above the waterfront, however, it makes a U-turn at this point, leading down to housing at a lower level. Cultural plantings within the south western properties include Port Jackson Figs. The street trees in the upper section of the street include palms, a water gum, a Norfolk Island pine and a melaleuca.

Significant views west to Sydney Harbour are largely retained, being partly obscured by the cultural plantings (Figure 89). There are also views from the harbour to the Church Group beyond.

The built form on the southern side of Salisbury Street includes three contributory single storey Victorian period houses and early 20th century housing. The north side, west of Hopetoun Avenue, includes a contemporary house with a curved roof overlooking the water and 1930s flats below the retaining wall. Variable fencing types exist in this precinct, including face and rendered brick and iron palisade. A large sandstone retaining wall is a significant feature of the west end of the street, forming the U-shaped cul-de-sac.

Hopetoun Avenue was formed during the 1920s, falling towards Robertson Place. It maintains significant vistas to Sydney Harbour. Few buildings on Hopetoun Avenue contribute to the significance of the Watsons Bay Heritage Conservation Area, with the exception of a heritage item, 'Bay Cottage', at 308 Old South Head Road. The remaining buildings consist of two storey detached houses with pitched roofs, fenced front gardens and later development that extends to the land grant boundary that terminates the conservation area at Salisbury Street. These residential properties provide a variety of private garden treatments, plantings and fencing types including brick, timber palings, picket, wire mesh and sandstone. A dominant significant sandstone boundary retaining wall extends along the eastern side of the street.

**FIGURE 88** Aerial of the precinct



**FIGURE 89** The west end of Salisbury Street with views to the harbour



**FIGURE 90**

Contributory item on east side of Hopetoun Avenue



**FIGURE 91**

Significant sandstone retaining wall



**FIGURE 92**

View along Salisbury Street to the Church Group



**FIGURE 93**

Sandstone block retaining wall with traditional timber paling fence above on the east side of Hopetoun Avenue



**FIGURE 94** Composite wall containing sandstone and face brick on Salisbury Street



#### PRECINCT CONTROLS

The precinct specific controls supplement the general controls for development in Section C3.5. If there is an inconsistency between the precinct controls and the general controls, the precinct controls take precedence.

#### Topography and vegetation

- C1 Existing height relationships are to be maintained between the higher properties (located between Old South Head Road and Hopetoun Avenue) and the lower properties (located below Hopetoun Avenue).

#### Townscape

- C2 The existing subdivision patterns of deep allotments that front the public roads are to be retained. Battle-axe shaped lots are not permitted so as to retain the visual balance of the green spaces in both front and rear yards.

#### Views and vistas

- C3 Existing views to the harbour are to be retained over roofs from the upper levels of the precinct, including those from Old South Head Road.
- C4 Roofs are not to be cluttered by intrusive structures/services in order not to detract from views to and from the upper levels of the precinct.
- C5 The plantings that currently block views west along Salisbury Street to the harbour should be removed. New or replacement plantings (on the slope down to the waterfront) are to reinstate the view corridor.

### Contributory items

Note: Heritage items as identified in Schedule 5 of Woollahra LEP 2014 are also contributory items. Refer to clause 5.10 of the LEP for heritage conservation controls.

Contributory items	
Rear 308 Old South Head Road	2 storey Edwardian house
Within Salisbury Street road reserve	Sandstone retaining wall to split roadway with rockery and concrete stairs
Within Hopetoun Avenue East road reserve	Sandstone walls
2 Robertson Place	Single storey 1920s cottage
4 Robertson Place	Single storey 1920s cottage
6 Robertson Place	Single storey 1920s cottage
2 Salisbury Street	Single storey Victorian Gothic styled cottage
4 Salisbury Street	Single storey Victorian weatherboard cottage
8 Salisbury Street	Single storey Victorian sandstone cottage
10 Salisbury Street	Port Jackson fig
1 Salisbury Street	Single storey Edwardian semi-detached dwelling
3 Salisbury Street	Single storey Edwardian semi-detached dwelling
7 Salisbury Street	2 storey Inter-War <del>flat building</del> <del>duplex</del>
11 Salisbury Street	2 storey Inter-War <del>flat building</del> <del>duplex</del>

**Commented [DCP8]:** Administrative change: amend terminology consistent with other chapters of the DCP.

**Commented [DCP9]:** Administrative change: amend terminology consistent with other chapters of the DCP.

C6 Heritage items and contributory items are to be retained.

C7 Change to contributory items is limited to sympathetic alterations and additions consistent with the controls in Section C3.6.

### Built form

The following controls apply to new dwellings, or the main new building on the site. Separate controls apply to secondary structures such as new garages, carports, ancillary buildings and the like.

#### Building siting and alignment

C8 The existing setback patterns, particularly regular or transitional, are to be maintained.

C9 Where an irregular pattern exists, new development is to be set back to correspond to the alignment of contributory items and provide for landscaped area in front yards behind fences or walls.

- C10 The alignment of new buildings is to be parallel with the street frontage, not skewed, to maintain existing streetscape patterns.
- C11 Building setbacks from the rear are to correspond to the setback pattern of adjacent buildings and maintain the amenity of neighbouring residential property.

#### ***Building height***

- C12 Building heights are to respect the natural landform and topography of the precinct. Existing views from the upper levels of the precinct are not to be obstructed by development below.

#### ***Building form***

- C13 The mass and form of new buildings is to respect adjacent contributory items.
- C14 Rectilinear plans with traditional pitched roof forms are to be used to relate to the established character of the area.

#### ***Building materials and details***

- C15 The following materials are appropriate for new buildings:
- a) Walls: exposed brick or rendered/ painted brickwork or masonry.
  - b) Pitched roofs for dwellings: slate, tiled in unglazed terracotta or dark earth tones, or slate-grey corrugated iron.

#### ***Landscaping and site coverage***

- C16 The building footprint plus paved surfaces (patios, pathways, tennis courts) and swimming pools together are not to exceed 70% of the site area in order to provide 30% of the site area for landscaped area, including plantings.
- C17 For landscape planting details refer to Section 3.5.6 Landscaping and private open space.

#### ***Fences and walls***

- C18 Front fences are to be 1.2m maximum in height. Materials are to be in keeping with the building to which they relate, including rendered and painted masonry, brick, palisade or wooden pickets.
- C19 Side and rear fences are to be 1.8m maximum traditional timber paling fences or, preferably rendered, masonry walls, stepping down in height to 1.2m at the front boundary line.
- C20 Garages are not to be built to the street alignment, but are to be set back behind the building alignment or integrated with the building.

**Inter-War flat buildings or multi dwelling housing**

For Inter-War flat buildings, refer to Clause 3.6 Contributory items: additional built form controls.

**Commented [DCP10]:** Added a reference to new Inter-War flat buildings controls.

### C3.4.14 Precinct O: Gibsons Beach Waterfront and Marine Parade South

#### Character statement

This precinct consists of properties with a frontage to Marine Parade, south of Robertson Place.

The waterfront promenade is contained visually by a single storey yacht club and the Watsons Bay public baths at the north end and the two storey Pilot Station at the south end (Figure 106 and 107). A flight of steps leads up to Salisbury Road (Figure 109).

Marine Parade continues south as a walkway to Gibsons Beach, a small beach semi-detached dwelling enclosed by the Pilot Station to the north and the natural landform to the south (Figure 108). A narrow park along the promenade widens at the southern end to form Gibsons Beach Reserve with an open landscape character. The beach and the park curtilage are protected by a sandstone headland, as well as rock benches and sandstone walls to the properties above. A small creek enters the beach from the southwest. Boat sheds and jetties extend out to the point. The mixed public pathway/private driveway allows access around the small reserve behind the beach to Hopetoun Avenue.

The northern part of the precinct contains a variety of built and landscape elements that contribute to its character. These include the distinctive yacht club and Pilot Station buildings with jetties on the western side and the Inter-War period Tea Gardens, formerly the facilities for the Watsons Bay Pool at the north end (Figure 111).

Housing includes single storey detached and semi-detached dwellings (c1920s–1930s) ~~and larger two to three storey duplexes of the same period,~~ with pitched roofs, many of which have been altered (Figure 112). Front gardens are generally set behind low walls and are open in character, elevated above the promenade toward the south end. The two to three storey dwellings above in the southern section (some with remnant cultural plantings) are barely visible from the beach.

Street tree plantings of Casuarinas and a topped Norfolk Island pine opposite Tea Gardens enhance the waterfront setting. The tree and shrub plantings at the west end of Salisbury Street are not of heritage significance and obstruct views to the Harbour.

Properties have harbour views from the water; there are views to the spire of Our Lady Star of the Sea church and cultural plantings on the ridgeline.

Prominent garages on or close to the street frontage detract from the promenade and views from the waterfront. The visual impact of a contemporary dwelling with an uncharacteristic curved roof is partially mitigated by its relatively low scale and sympathetic landscaping when compared with larger buildings behind.

**Commented [DCP11]:** Remove due to the fact that the Inter-War flat building at 4 Marine Parade (the only Inter-War flat building) has been demolished.



**FIGURE 103**

Aerial view of the precinct



**FIGURE 104**

Marine Parade streetscape



**FIGURE 105**

Marine Parade South from the pilot station



**FIGURE 106**

Yacht club at north end



**FIGURE 107**

Pilot Station at the south end of Marine Parade



**FIGURE 108**

North end of Gibsons Beach Reserve





**FIGURE 109**

Open space and steps leading up to Salisbury Street



**FIGURE 110**

Gibsons Beach from the promenade



**FIGURE 111**

'Tea Gardens'



**FIGURE 112**

Marine Parade South from the harbour



**FIGURE 113**

Views to the harbour from Gibsons Beach



## PRECINCT CONTROLS

The precinct specific controls supplement the general controls for development in Section C3.5. If there is an inconsistency between the precinct controls and the general controls, the precinct controls take precedence.

### Topography and vegetation

- C1 New street and promenade planting is to be selected to provide amenity (shade, softening of hard built areas, glare reduction) for pedestrians using the marine promenade, permit views out to the harbour and create opportunities for public views both to Watsons Bay from the harbour and to the harbour from the top of Salisbury Street.
- C2 Additional street or promenade trees may be introduced provided that they are appropriate for waterfront microclimatic conditions, are open-branched with relatively thin and permeable foliage, but with sufficient canopy to provide some shade – such as casuarinas. Araucarias, figs and most palms are unsuitable, although Canary Island palms may be considered.
- C3 Tree and shrub plantings at west end of Salisbury Street should be replaced with species that do not exceed 5m in height, have single trunks and open branching habits. These are to be placed to frame, not obstruct views.
- C4 Plantings down the steep slope between the west end, or ‘elbow’, of Salisbury Street and the waterfront should be selected to consolidate the slope while not obstructing the view. Species should be similar to the park-like plantings around.

### Townscape

- C5 The regular pattern of detached buildings on separate allotments south of Tea Gardens is to be retained in order to respect the established form and provide for public views between buildings.

### The waterfront

- C6 Views of houses, roofs and gardens from the promenade and Harbour are to be retained, unobstructed by high fences.

### Views and vistas

- C7 View sharing from private properties is to be retained within the precinct and with overlooking properties in adjacent precincts.
- C8 Vistas are to be retained to Our Lady Star of the Sea church spire and cultural plantings as viewed from the harbour.
- C9 Existing maritime structures, such as the yacht club and pilot station, are not to be increased in height or bulk so that views to the harbour can be enjoyed.

### Contributory items

Note: Heritage items as identified in Schedule 5 of Woollahra LEP 2014 are also contributory items. Refer to clause 5.10 of the LEP for heritage conservation controls.

Contributory items	
Marine Parade	<b>Watsons Bay Pool (Baths) [SREP Sydney Harbour]</b> A concrete arched pool structure with timber balustrades
Marine Parade	<b>Watsons Bay Ferry Pier [SREP Sydney Harbour]</b> A timber and concrete wharf structure
2 Marine Parade	Single storey Edwardian cottage with second storey addition
3 Marine Parade	Single storey Edwardian cottage
<del>4 Marine Parade</del>	<del>2 storey 1920s flats over garage 'Belvedere'</del>
5 Marine Parade	2 storey house over garages
6 Marine Parade	Single storey semi-detached dwelling
7 Marine Parade	Single storey semi-detached dwelling
8 Marine Parade	Single storey Spanish Mission styled restaurant 'Tea gardens'
Salisbury Street	Pilot station [SREP Sydney Harbour]
12 Salisbury Road	Kaffir Plum, Date palm, sandstone retaining wall to reserve
Within Gibsons Beach Reserve	Coral trees and phoenix palms Exposed rockfaces adjoining the promenade

**Commented [DCP12]:** Delete as 4 Marine Parade has been demolished and it is no longer a contributory item.

C10 Heritage items and contributory items are to be retained.

C11 Change to contributory items is limited to sympathetic alterations and additions consistent with the controls in Section C3.6.

### Built form

The following controls apply to new dwellings, or the main new building on the site. Separate controls apply to secondary structures such as new garages, carports, ancillary buildings and the like.

#### Building siting and alignment

##### Front (waterfront) setbacks

C12 All buildings are to be sited to provide a landscaped setback from Marine Parade to provide for a garden space in front. The setback and alignment are to be related to adjacent buildings and the skewed alignment pattern.

#### *Side setbacks*

- C13 All buildings are to be a minimum of be set back from side boundaries by 1.5m to retain the detached building character of the precinct and provide for public views between buildings.

#### *Rear setbacks*

- C14 Rear setbacks are to be similar to adjacent setbacks in order to maintain the amenity of neighbouring residential property.

#### *Building height*

- C15 Buildings are to comply with the maximum statutory height control in Woollahra LEP 2014 and are to be a maximum of two storeys in height, with roofs pitched to match traditional forms.
- C16 No increase is permitted in the height of marine structures, such as the yacht club (Figure 106) and pilot station (Figure 107), at each end of the precinct.

#### *Building form*

- C17 Established building forms are to be used, i.e. simple rectilinear plan with pitched roofs.
- C18 Buildings should not be flat-roofed or reverse skillion, in order to relate to traditional roof forms when viewed from the water.
- C19 Ridgelines of roofs are to be parallel to the side boundaries in order to minimise the visual impact of roofs on views when viewed from Marine Parade and the waterfront.

#### *Building character*

- C20 The architectural treatment of new buildings is not to stand out in marked contrast to existing contributory items in the area.

#### *Building materials and details*

- C21 The following materials are appropriate for new buildings:
- a) Walls: preferably face brickwork or rendered/painted brickwork or masonry.
  - b) Roofs: slate, corrugated steel or tiles in unglazed terracotta or dark earth tones.

#### *Landscaping and site coverage*

- C22 The building footprint and paved surfaces (patios, pathways, tennis courts) and swimming pools together are not to exceed 75% of the site area in order to provide 25% of the site area for landscaped area, including plantings.
- C23 Structures and infrastructure, including swimming pools and water pipes, are to be designed (including the underside) to minimise the visual impacts upon the reserve and its significant elements (including sandstone rock shelves) when viewed from public areas.

## Fences and walls

### *Marine Parade*

- C24 Fence heights are to be a maximum 1.2m above promenade level or, where privacy from the promenade is an issue, up to 1.8m maximum with 50% transparency above 1.2m. Acceptable materials are sandstone or face brick or rendered or painted masonry in keeping with the building to which it relates.

### *Robertson Place*

- C25 Existing low brick fences facing Robertson Place are to be retained.

### *Salisbury Street*

- C26 Fences are to be a maximum of 1.2m above footpath level and are to be in keeping with the building to which they relate. Brush fences, concrete block, or copies of iron palisade fences are not traditionally associated with houses in this precinct and are not permitted.

### *Gibsons Beach Reserve*

- C27 Fence heights are to be a maximum 1.2m above the walkway level or rockshelf or, where privacy from the reserve or security is an issue, up to an 1.8m maximum with a 50% transparency above 1.2m. Acceptable Materials are sandstone or rendered and painted masonry in keeping with the building to which it relates.

### *Rear and side fences (when not street or reserve fronting)*

- C28 Fences are to be traditional timber paling fences of 1.8m maximum height.

## Car parking and access

- C29 Garages or carports are not to be built to the street frontage, and are to be set back behind the main building whether attached or freestanding.
- C30 A maximum of two garages may be visible from the street provided that a minimum of 50% of the width of the street frontage is retained for landscaped area.
- C31 Parking may be accommodated in a basement or semi-basement level.

### *Gibsons Beach Reserve and Marine Parade promenade and maritime structures*

Given its public ownership, it is strongly recommended that the structures and the reserve are conserved and managed through specific management plans that include or are informed by the following management policies:

- C32 The existing topography and vegetation is to be maintained. New plantings are to be of the same scale and species to that existing, except where these are inconsistent with the

principal character of the precinct. New plantings are not to obscure existing public views and vistas.

- C33 Existing extensive views to and from the waterfront are to be retained. No additional marine structures are to be erected in this area to retain the open landscape character of this part of the beach.
- C34 The existing public access, including disabled access, is to be retained along the promenade to the beach and the reserve.
- C35 New development and alterations and additions to existing buildings are not permitted except where consistent with the policies in the adopted management plan, including those for siting, orientation, height limits and design.
- C36 Structures and infrastructure, including swimming pools and water pipes, are to be designed to minimise the visual impacts upon the precinct and its significant elements when viewed from public areas.
- C37 No additions are to be made to the building envelopes of the existing marine structures (jetties and pilot station).
- C38 New structures are to be limited to commemorative structures, public artworks, interpretive signage and the like, the number of which are to be carefully controlled so as not to result in a visual cluttering of the landscape.
- C39 Beach dinghies are permitted against the promenade edge provided these do not impede public access.
- C40 No additional fencing is to be constructed. If essential, any new fencing is to be low in height (1.2m maximum) and constructed of sandstone, concrete or rendered masonry in neutral tone colours.
- C41 Stormwater run-off into the Harbour is to be carefully managed to protect the seahorse colony in the seagrass beds off the beach.
- C42 No additional car parking or vehicular access is permitted.
- C43 Any new paths throughout the precinct are to be constructed using recessive colours and finishes.
- C44 The management plans should incorporate a cohesive approach for the public areas along Marine Parade, in terms of paving, street furniture, lighting, signage and the like.
- C45 The public domain provisions in Section C3.7 of this chapter apply to the publicly accessible areas of the precinct.

## C3.6 Contributory items: additional built form controls

This section contains additional built form controls for contributory items to ensure that alterations and additions to contributory items do not have an adverse impact on the heritage significance of the building, the streetscape and the surrounding area.

### Contributory items

**Commented [DCP13]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

#### C3.6.1 Contributory items

Contributory items are those individual elements within the area that have heritage significance, either as heritage items or contributory items. Contributory items are the buildings and structures, landscape elements, landmarks or other townscape features such as historic kerbs and gutters that contribute to the overall heritage significance of the Watsons Bay HCA.

The contributory items within the Watsons Bay HCA are identified on Map 3 and also listed in the various precincts in Section C3.4 Precincts of this chapter. Heritage items are listed in Woollahra LEP 2014.

The key contributors in the built form include the late 19th and early 20th century single storey cottages, in particular the early weatherboard cottages. The area retains the largest concentration of weatherboard cottages within the Woollahra Local Government Area.

Other contributory items include the historic commercial development fronting Military Road, 1930s residential flat buildings, historic churches and Inter-War period housing. Landmarks are evident throughout the area in various forms including certain buildings, monuments, trees and other natural features. These items also contribute to the significance of the area and, in some cases, its village character.

#### Objectives

- 01 To ensure that heritage items and contributory items are retained and appropriately managed.
- 02 To ensure that new development respects the significance of heritage items and contributory items.
- 03 To ensure that the contributory single storey dwellings/cottages throughout the area, particularly the weatherboard cottages, are retained as contributory items that also enhance the character and village scale of Watsons Bay.
- 04 To ensure that new development respects the scale and character of significant single storey dwellings/cottages.
- 05 To ensure that significant external and internal fabric and spaces within contributory items are retained and appropriately conserved.
- 06 To ensure that significant landmarks are retained and appropriately managed.

### Controls

- C1 Contributory items are to be retained unless overwhelming physical constraints (such as structural integrity, extensive damaged fabric and fire safety requirements) preclude this option.
- C2 The significant fabric of contributory items is to be retained.

Note: Heritage items are identified in Schedule 5 of Woollahra LEP 2014. For the protection of heritage items refer to clause 5.10 of the LEP.

#### ~~3.7.1.1 Alterations and additions to contributory items~~

**Commented [DCP14]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

#### Alterations and additions to contributory items

Alterations and additions to buildings within Watsons Bay have the potential to adversely affect the streetscape and the heritage significance of the area as a whole.

To retain the heritage significance of the conservation area it is important that changes to contributory items does not adversely affect their heritage value.

Alterations and additions to existing buildings are to be designed and sited to ensure the retention of any contributory features or characteristics of the building and the streetscape in which they are located. It should also remain possible to tell the new work from the old on close inspection.

### Objectives

- O1 To ensure that alterations and additions to a contributory item do not adversely affect the character of the building and the streetscape.
- O2 To ensure that alterations and additions to a contributory item that contributes to the significance of the conservation area (i.e. heritage items and contributory items) respect the contributory and/or streetscape values of these items.
- O3 To ensure retention of the existing heights and form of contributory single storey dwellings/cottages.
- O4 To retain existing significant fabric that contributes to the significance of individual buildings and the overall character of the area.
- O5 To restore or reconstruct missing elements, where possible.



### ~~3.7.1.2 Siting and alignment~~

**Commented [DCP15]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

#### Siting and alignment

- C1 Additions to buildings that are contributory items are to respect their height, form, character and materials.
- C2 Additions to the front of contributory items are not permitted.
- C3 Additions to a single storey dwelling/cottage are to occur at the rear and are to be unobtrusive when viewed from the street (Figures 172 and 174).
- C4 Additions to the side of contributory items, including cottages, may be permitted in rare situations where there is insufficient space at the rear of the building and the addition would respect and enable interpretation of the original form of the existing building.
- C5 Side additions to significant single storey dwellings/cottages are to be located towards the rear of the dwelling and are to be screened with vegetation (Figure 173).

### ~~3.7.1.3 Height of additions~~

**Commented [DCP16]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

#### Height of additions

- C1 The height of contributory items, as they present to the street, is not to be increased. This applies irrespective of whether the building is single storey or whether it adjoins or is located between higher buildings.
- C2 The height of additions is to be no greater than that of the existing building unless the addition is a pavilion form and the upper storey of the rear form is not visible when viewed from the public domain, and the additions do not adversely affect the appearance and setting of the existing building, nor its streetscape contribution.

#### 3.7.1.4 Form and character

**Commented [DCP17]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

##### Form and character

- C1 Attic conversions within contributory items, including cottages, are only permitted where the upper floor can be contained wholly within the existing roof space without change to the roof pitch (Figure 174). Dormer windows may be permitted in these circumstances, but only if located in the rear roof plane.
- C2 Two storey rear extensions to single storey dwellings/cottages may be permitted where:
  - a) the land slopes to the rear and can provide for the additional storey as a basement level;
  - b) the ridgeline of the addition is not to extend above the height of the ridgeline of the existing building; and
  - c) the roof form is to relate to the original existing roof form (Figure 172).
- C3 The form (massing and building arrangement) of additions is to complement and not compete with the existing building. Additions are to generally match the roof pitch, form and proportions of the existing building. (Skillion or 'lean-to' additions may be appropriate at the rear of contributory items, as this is a traditional form of building extension.) (Figure 172 & 174).
- C4 Additions to contributory items are to complement but not mimic their character (i.e. architectural design treatment or 'style').
- C5 Components/elements that contribute to the significance of the building or the conservation area are not to be altered; in particular, those visible from the streetscape.
- C6 The removal of unsympathetic alterations to existing buildings is encouraged, particularly when further work is undertaken.
- C7 Internally, room layouts of original portions of contributory cottages are to be retained.
- C8 Changes to the roof pitch (i.e. slope) of contributory items are not permitted.
- C9 The eaves height of contributory items is not to be raised; for example, by constructing the roof at a higher level in order to accommodate an additional storey.
- C10 Contributory items are not to be 'restyled'; i.e. their architectural style is not to be changed.
- C11 Additions are not to alter original roof forms of contributory items.

#### ~~3.7.1.5 Verandahs and balconies~~

**Commented [DCP18]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

#### Verandahs and balconies

- C1 The enclosure or infilling of existing verandahs or balconies is not permitted.
- C2 Original verandahs and balconies are not to be altered except for the reinstatement of original details and the reversal of unsympathetic alterations.
- C3 Verandahs, balconies and shop awnings may be reinstated on street front elevations where evidence shows that they have previously existed. They should be reconstructed to their former appearance in terms of materials and details.

#### ~~3.7.1.6 Materials and details~~

**Commented [DCP19]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

#### Materials and details

- C1 The removal of original materials, details and decorative elements is not permitted unless they are in poor condition. If removed, they are to be replaced using the same or similar materials, details and decorative elements.
- C2 Previously unpainted brick or stone walls/surfaces are not to be painted, rendered or bagged.
- C3 Mortars for repointing and repair are to match the colour, profile of joint, texture and mix of the original mortar (usually a mixture of lime, putty and sand).

#### ~~3.7.1.7 Dormers~~

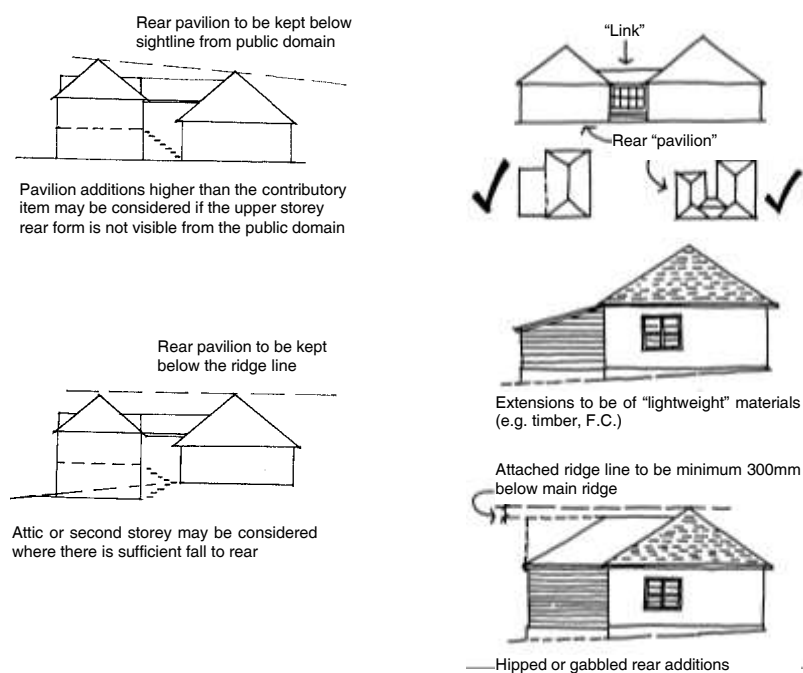
**Commented [DCP20]:** Administrative change. Amend formatting consistent with other parts of the Woollahra DCP 2015.

#### Dormers

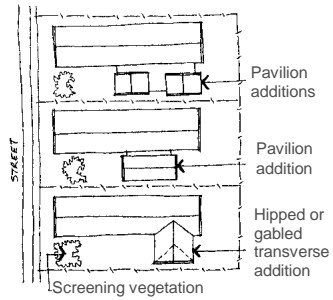
- C1 Dormer windows are not to be added to street front and side elevations unless documentary evidence shows that an original dormer or dormers existed in these locations as part of the original design.
- C2 A dormer may be located within the rear slope of the main roof subject to consideration being given to its visual impact when viewed from the public domain, its impact on the building's significance and, where the building forms part of a group, the impact on the group's significance.

- C3 More than one dormer window may be located within the rear slope of the main roof subject to the width of the roof being greater than 6m and subject to consideration of the impact on the building's significance and appearance.
- C4 The overall height of the dormer window, including the pediment, must be below the main roof ridgeline by at least 300mm.
- C5 The design, proportions and materials of new dormers where permitted, are to be based on traditional models, appropriate to the architectural style of the building and the building's context and have the following characteristics:
- pediment infill for dormer windows must only be weatherboards;
  - the cheeks may be covered in weatherboard or in corrugated profile steel sheeting, depending on the building's architectural style and context;
  - windows shall be traditional double hung windows or pivoting wings with casement stays: and
  - dormers are not to incorporate balconies.

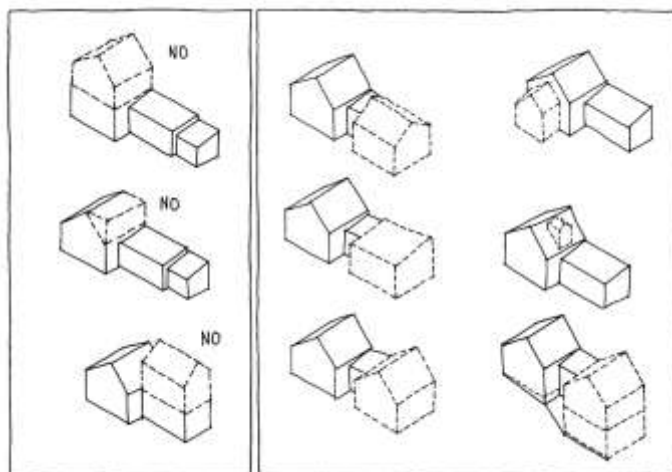
**FIGURE 172** Rear additions to single storey dwellings



**FIGURE 173** Side additions to cottages are to be towards the rear



**FIGURE 174** Rear additions to significant single storey dwellings/cottages



### C3.6.2 Inter-War flat buildings

Residential flat buildings and multi dwelling housing in Watsons Bay generally consist of small two, three and four storey buildings dating from the 1930s to 1950s, taller buildings dating from the 1960s to 1970s, and the infill buildings of the 1990s.

Contributory buildings identified in Clause 3.4 Precincts include some Inter-War flat buildings.

#### General

#### Objectives

- O1 To mitigate the effects of intrusive residential flat building and multi dwelling housing development.
- O2 To encourage redevelopment or modification of intrusive development.
- O3 To ensure that parking does not detract from the character of the streetscape.

#### Controls

- C1 Redevelopment or modification of intrusive development must be to a design that is appropriate to the historic context.
- C2 Alterations and additions that reverse any unsympathetic works is encouraged.
- C3 Alterations and additions to intrusive development must be an appropriate response to 3.4.1the historic streetscape and mitigates intrusiveness.

#### Inter-War Flat Buildings

#### Objectives

- O1 To conserve and maintain Inter-War flat buildings in Watsons Bay.
- O2 To ensure that the significant characteristics of Inter-War flat buildings contributing to the character of the area are retained and protected.
- O3 To conserve the principal street elevations and the character of the Inter-War flat buildings.
- O4 To ensure that the character of original roofscapes, including key elements such as chimneys, is maintained.
- O5 To ensure that alterations and additions to the roofs are discreet and do not detract from the original character, proportions or key elements.
- O6 To conserve the established garden settings, including significant elements and features.
- O7 To ensure that parking does not detract from the character of the streetscape.
- O8 To ensure that external materials, details and finishes respect and complement the original building.

**Commented [DCP21]:** Insert new provisions to address the protection of Inter-War flat buildings and mitigate the adverse impact of intrusive flat buildings to the historic streetscape.

- O9 To ensure that works to balconies and verandahs to rear or side elevations do not detract from the character and form of Inter-War flat buildings.
- O10 To ensure that fences, gates and mailboxes are consistent with the character of Inter-War flat buildings.
- O11 To ensure that internal additions, alterations and repairs retain and respect internal common areas and significant internal character elements.
- O12 To ensure that the installation and maintenance of security devices does not detract from the character and form of Inter-War flat buildings.
- O13 To ensure that fire safety and access upgrading works are discreet and retain and respect the original and significant building fabric.
- O14 To ensure that ancillary development does not detract from the style and character of Inter-War flat buildings and their settings.
- O15 To promote restoration and reconstruction works to restore significance.

#### **Controls**

- C1 Significant and/or original forms, details, fabrics, materials or finishes of the principal building elevations are to be restored or reconstructed.
- C2 Changes to the significant forms, details, materials or finishes of the principal building elevations are sympathetic to the style and period of the building.
- C3 Alterations and additions do not impact on the overall form and character of the building, and are not visually prominent from the public domain.
- C4 Additions are limited to undercroft areas, roof spaces and the provision of balconies.
- C5 Alterations and additions are no higher than the existing roof level, and generally retain the original roof form of the building.
- C6 External windows and doors are repaired or replaced to match the style, materials and finishes of the original building.
- C7 Existing original fanlights and other openings are retained and sealed from behind, if necessary.
- C8 Original leadlight, glass blocks, etched and patterned glazing are retained and conserved.
- C9 Existing original external and internal doors and door hardware are retained and upgraded rather than replaced.
- C10 New additional security elements are in character with the building. Security bars are:
  - a) fitted internally;
  - b) respect the existing glazing patterns; and
  - c) painted in a dark recessive colour.

- 
- C11 Original verandahs and balconies to the principal elevation of the building are not enclosed, glazed, or otherwise altered, except to reinstate original detailing.
- C12 New verandahs and balconies are allowed to the rear or side elevations only if they:
- a) respect the character of the existing building; and
  - b) are sympathetically integrated with the character and form of the building.
- C13 Alterations to improve accessibility (including lifts, ramps and stairs) are sympathetically integrated with the original building and retain the original character and design of the building and landscape areas.
- C14 Materials are similar in type and finish to those on the original building or sympathetically integrate with the fabric of the building.
- C15 Original face brickwork, terracotta or decorative concrete panels must not be painted, rendered or coated.
- C16 Dormer windows or skylights are not visually prominent from the public domain or the principal elevations of the building. Skylights are flush with the roof surface.
- C17 Original chimneys and their details are retained.
- C18 Privacy screens are discreet and do not impact on the overall character of the building.
- C19 Protruding shade structures, including awnings and canopies, are not located on the principal building elevations.
- C20 The roof maintains traditional roofing materials of the area, such as glazed terracotta tiles. Any replacement or repair matches the original roofing in type, profile, colour and materials. Concrete roofing tiles and corrugated metal roofing are not appropriate.
- C21 Internal common areas and significant character elements are retained. This includes: entry doors, foyer areas and fittings, mailboxes, noticeboards, staircases, balustrades, wall details, light fittings, internal doors and the like.
- C22 New lifts are designed and located so that the addition:
- a) is located outside the principal building form, if practical; and
  - b) does not require significant alterations to existing common areas.
- C23 Previous unsympathetic additions and modifications to the building, and its grounds, are to be removed and replaced by reinstating original forms and matching fabric or with new works sympathetic to the age and style of the building.
- C24 Services upgrading and fire safety works must minimise adverse visual impact and damage to original building fabric.
- C25 Alarm bell boxes and the like, are not attached to the principal building elevations.
- C26 New or upgraded services are discreetly and sensitively located to minimise visual impact. They are located within existing ducts, behind cornices or bulkheads or within
-



external lightwells that are not visually prominent. Wiring or other services are housed in concealed conduits.

C27 Original timber staircases are retained and smoke isolated, if necessary.

C28 Where the height of the original stair balustrades is to be modified –the modification is discreet and sympathetically integrated with the existing stair balustrade.

C29 Stair treads applied to existing stairs are discreet.

C30 Emergency and exit lighting is incorporated into existing original light fittings, where practical.

C31 Smoke and/or thermal detectors are discreetly located and do not impact on decorative plaster cornices and ceilings.

C32 Car parking and garage structures are located at the rear, with access from the rear lane or side driveway.

C33 Original fencing, gates and mailboxes are retained and conserved.

C34 New ancillary development:

a) is smaller in scale than the principal building;

b) is not located between the principal building and the street front, and generally located at the rear behind the principal building;

c) is constructed in a style, form, materials and finishes that complement the principal building;

d) is single storey with a maximum clear internal height of 2.4m; and

e) is sympathetic in scale and style to traditional forms of ancillary structures.

C35 Characteristic front gardens, and their elements, are retained with minimal alteration.

C36 Structures erected in the front garden do not significantly reduce or compromise the landscaped area or key elements and features.

C37 New fences and gates to the front building alignment must complement the streetscape and the existing building.

C38 Mailboxes are discreetly located and do not impact on the character of the building.

### C3.6.3 Timber buildings

**Commented [DCP22]:** Insert new provisions aiming to address the protection of timber buildings in Watsons Bay.

Watsons Bay retains the largest concentration of timber weatherboard buildings within the Woollahra local government area. Weatherboard buildings provide evidence of the early village of Camp Cove and contribute to the area's heritage values.

All forms of weatherboard buildings contribute to the diverse character of Watsons Bay streetscapes and the aesthetic value of the conservation area. Timber buildings are also significant because of their increasing rarity and historical association with the early fishing village of Camp Cove that is protected through the listing of the Watsons Bay Heritage Conservation Area.

Weatherboard buildings are vulnerable to change and many have been modified over time, are in a deteriorated condition or suffer from structural instability. Despite these changes, weatherboard buildings in Watsons Bay continue to make an important contribution to the character of the conservation area and are to be conserved.

#### Objectives

- O1 To retain and conserve timber buildings and their setting.
- O2 To retain, restore and conserve the special characteristics and details of timber buildings.
- O3 To restore and reconstruct missing elements of the principal building form within the street front zone.
- O4 To retain and conserve significant side and rear forms of timber buildings.
- O5 To retain, restore and promote the significance, contribution and relationship of a timber weatherboard building within the context of the conservation area.
- O6 To ensure that additions and alterations for fire upgrading and safety are discreet, and retain and respect the original and significant building fabric.

#### Controls

- C1 Additional storeys are not permitted to the principal building form of timber buildings.
- C2 When works are proposed to the principal building form or original significant elevations visible from the street or lane, Council strongly encourages, and may require, restoration or reconstruction of missing elements appropriate to the architectural style of the building or reversal of uncharacteristic elements where:
  - a) balconies or verandahs have been enclosed and details such as balustrade panels, rails, columns, friezes and fringes have been removed;
  - b) original door or window types and patterns have been removed;
  - c) roof cladding is in a unsympathetic material;
  - d) details are missing from chimneys; and

- e) inappropriate reconstruction of period detail and elements has occurred.

Note: Reconstruction and restoration may be guided by traditional models and physical or documentary evidence of an earlier state of the building or architectural style.

- C3 Existing setbacks from the front and side boundaries of the principal building form are to be retained.
- C4 Alterations and additions to the rear of buildings must not dominate or compete with the form, height, proportions or scale of the timber building.
- C5 Where structural stabilisation of a timber building is necessary, a sympathetic structural solution that ensures the conservation of as much original external and internal fabric as possible is required.
- C6 Where alterations to timber buildings are required to meet the provisions of the Building Code of Australia, materials must be consistent with traditional materials and finishes.
- C7 No parking is permitted under or within the principal building form of a dwelling.
- C8 Fire upgrade and access works must be done sympathetically and avoid removal of significant fabric.